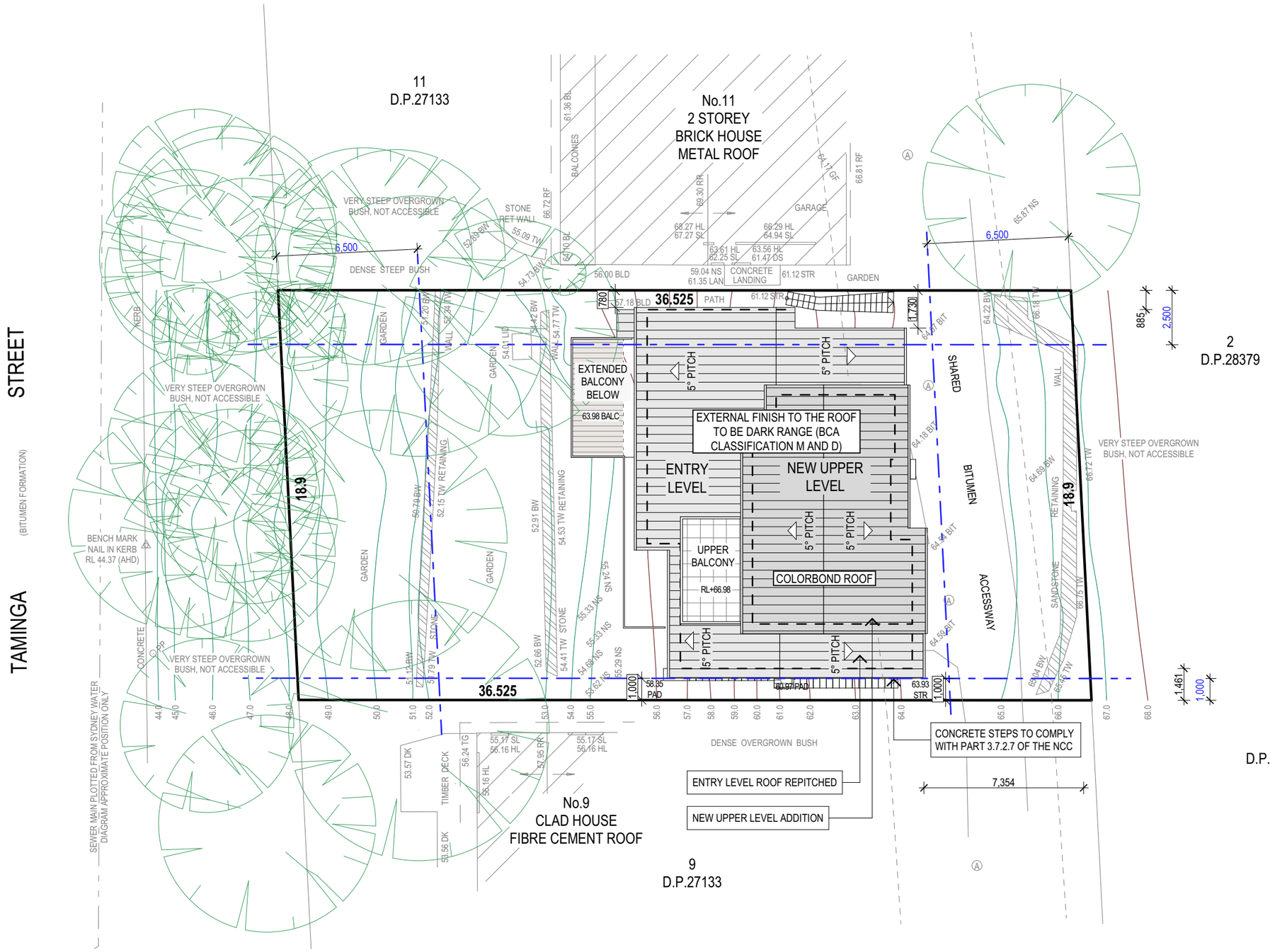
LEGEND:

WALLS - TIMBER / FC HORIZONTAL CLADDING (medium colour).
WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

* BALUSTRADE - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).



NOTE:
ALL CHANGES TO APPROVED DA DRAWINGS SHOWN IN RED

LOT	**10**
DP	**27133**

AREA CALCULATIONS	m²
SITE AREA	689.31

SITE ANALYSIS PLAN
1:200

NOTE:
ALL MODIFICATIONS ARE WITHIN THE BUILDING FOOTPRINT

SA HARD WIRED SMOKE ALARM

TRUE NORTH:

NOTES (E & OE)
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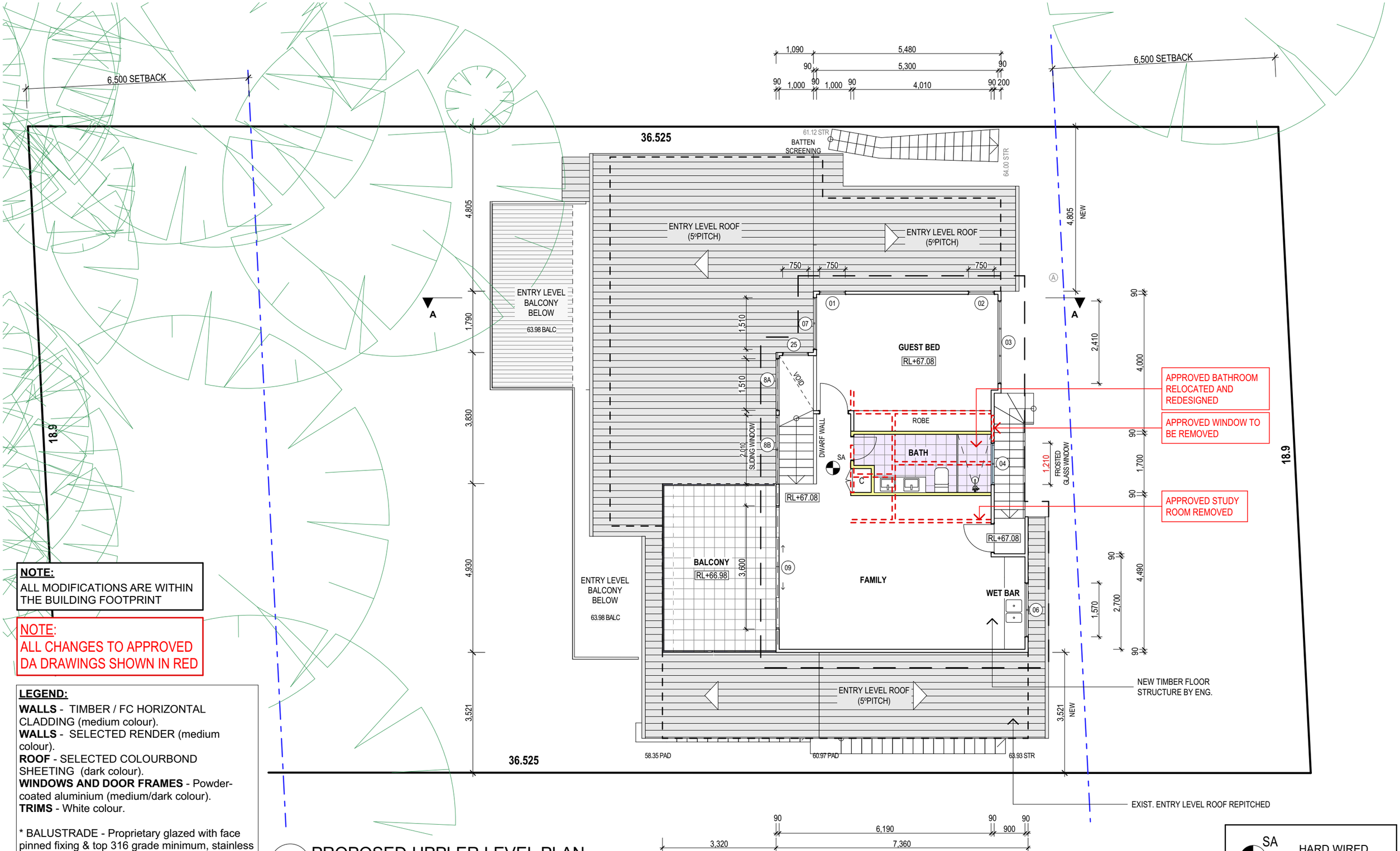
REV:	DATE:	DESCRIPTION:
N	17.10.23	UPPER RET. WALL NO PART OF APPLICATION
G	23.03.21	CHANGES TO DA DRAWINGS
H	17.12.21	CC DRAWINGS
I	17.01.22	CC DRAWINGS UPDATED
J	08.03.22	CC DRAWINGS UPDATED
k	08.03.22	CC DRAWINGS UPDATED
L	21.11.22	SECTION 4.55 DRAWINGS
M	31.08.23	SECTION 4.55 DRAWINGS UPDATED

SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
SITE PLAN

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:200 @ A3
JOB No:	CHECKED BY:	DRAWING No:
815/20	JJ	**MOD.01**



NOTE:
ALL MODIFICATIONS ARE WITHIN THE BUILDING FOOTPRINT

NOTE:
ALL CHANGES TO APPROVED DA DRAWINGS SHOWN IN RED

LEGEND:
WALLS - TIMBER / FC HORIZONTAL CLADDING (medium colour).
WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

* BALUSTRADE - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).

SA HARD WIRED SMOKE ALARM

PROPOSED UPPLER LEVEL PLAN

TRUE NORTH:

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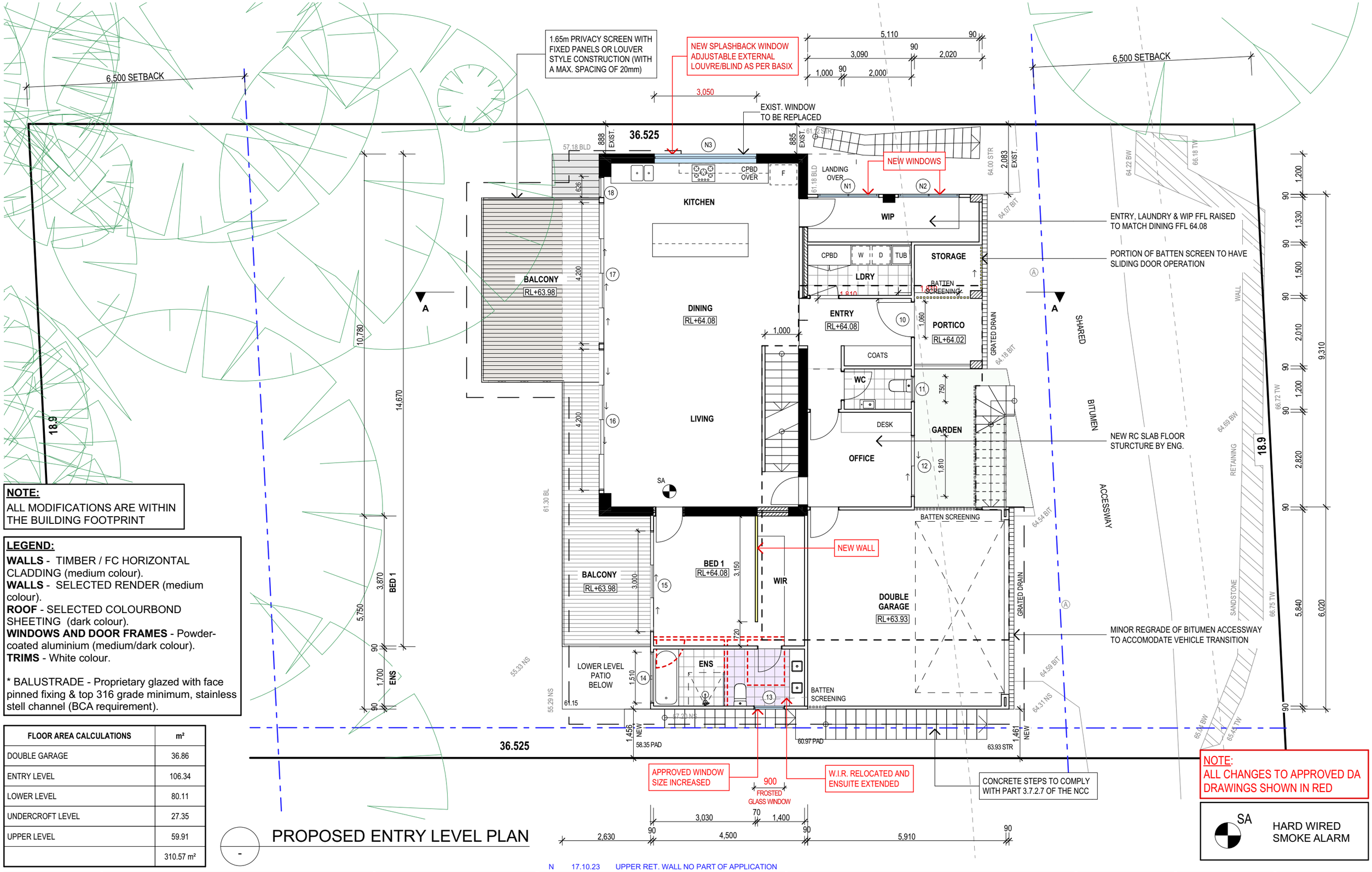
SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED UPPLER LEVEL PLAN

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: MOD.02



NOTE:
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TRIMS - White colour.

* BALUSTRADE - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).

FLOOR AREA CALCULATIONS	m²
DOUBLE GARAGE	36.86
ENTRY LEVEL	106.34
LOWER LEVEL	80.11
UNDERCROFT LEVEL	27.35
UPPER LEVEL	59.91
	310.57 m²

NOTE:
ALL CHANGES TO APPROVED DA DRAWINGS SHOWN IN RED

SA HARD WIRED SMOKE ALARM

PROPOSED ENTRY LEVEL PLAN

N 17.10.23 UPPER RET. WALL NO PART OF APPLICATION

TRUE NORTH:

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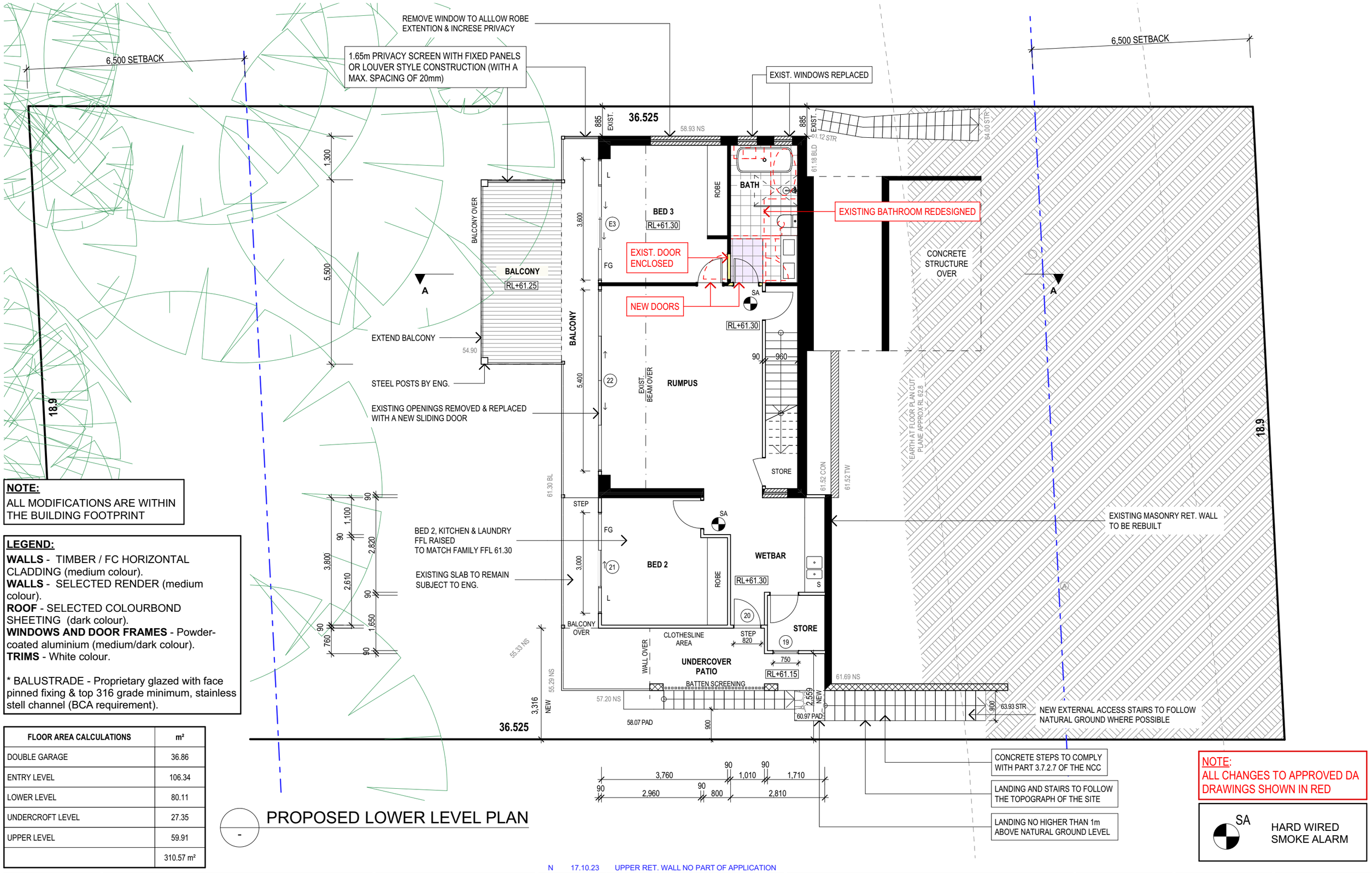
SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED ENTRY LEVEL PLAN

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
815/20	JJ	MOD.03



NOTE:
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TRIMS - White colour.

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FLOOR AREA CALCULATIONS	m²
DOUBLE GARAGE	36.86
ENTRY LEVEL	106.34
LOWER LEVEL	80.11
UNDERCROFT LEVEL	27.35
UPPER LEVEL	59.91
	310.57 m²

PROPOSED LOWER LEVEL PLAN

NOTE:
ALL CHANGES TO APPROVED DA DRAWINGS SHOWN IN RED

SA HARD WIRED SMOKE ALARM

TRUE NORTH:

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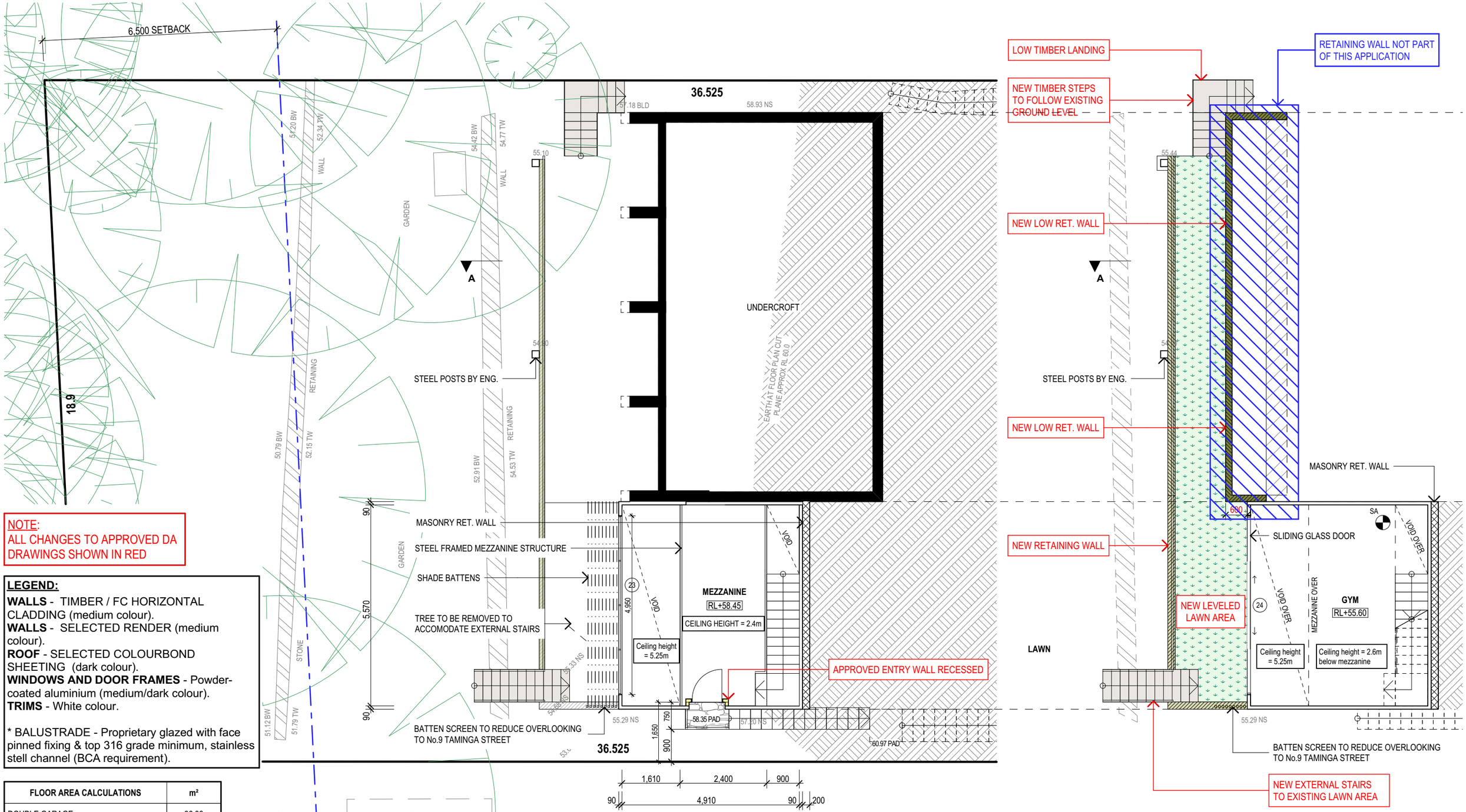
SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED LOWER LEVEL PLAN

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: **MOD.04**



NOTE:
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WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

* BALUSTRADE - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).

FLOOR AREA CALCULATIONS	m²
DOUBLE GARAGE	36.86
ENTRY LEVEL	106.34
LOWER LEVEL	80.11
UNDERCROFT LEVEL	27.35
UPPER LEVEL	59.91
	310.57 m²

PROPOSED GYM & MEZZANINELEVEL PLAN
1:100

SA HARD WIRED SMOKE ALARM

TRUE NORTH:

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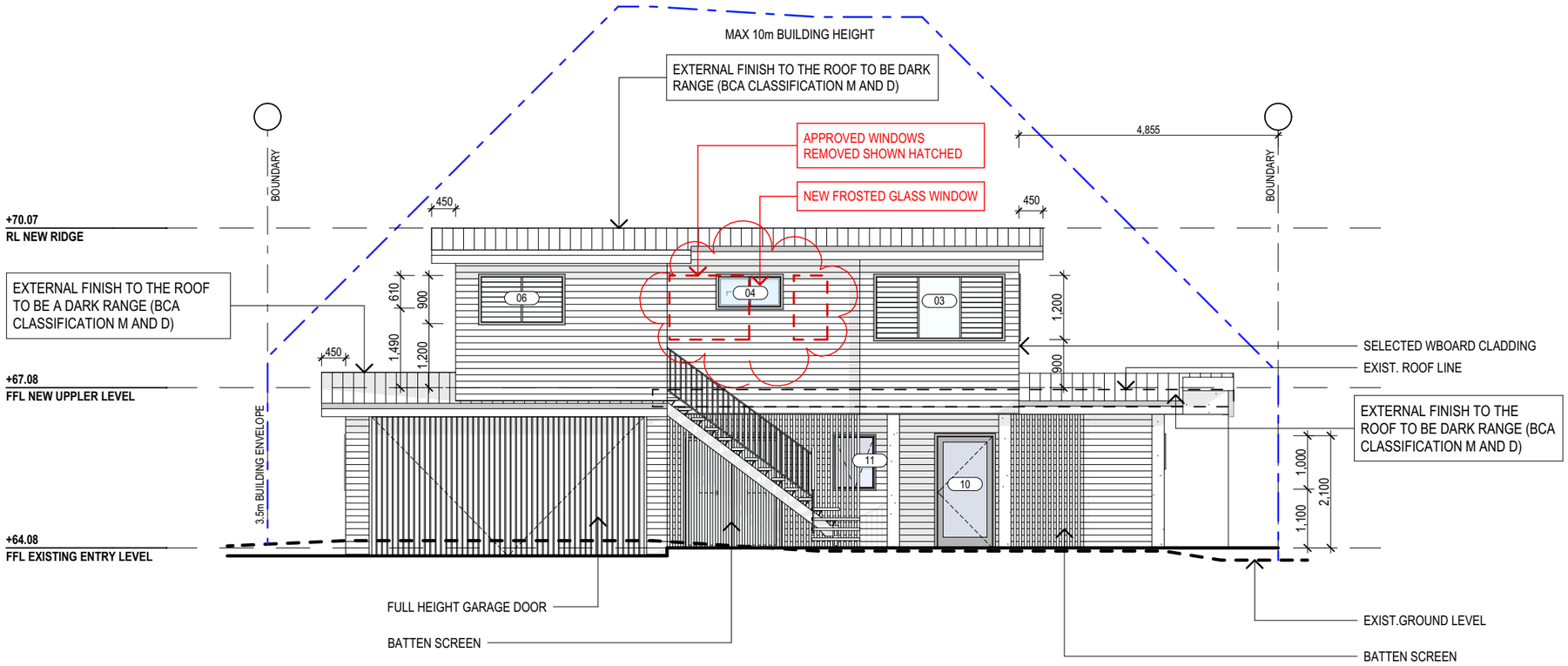
M	31.08.23	SECTION 4.55 DRAWINGS UPDATED

SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED GYM & MEZZANINE LEVEL FLOOR PLAN

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: MOD.05



SOUTH ELEVATION
1:100

LEGEND:

WALLS - TIMBER / FC HORIZONTAL CLADDING (medium colour).
WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

* BALUSTRADE - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).

NOTE:
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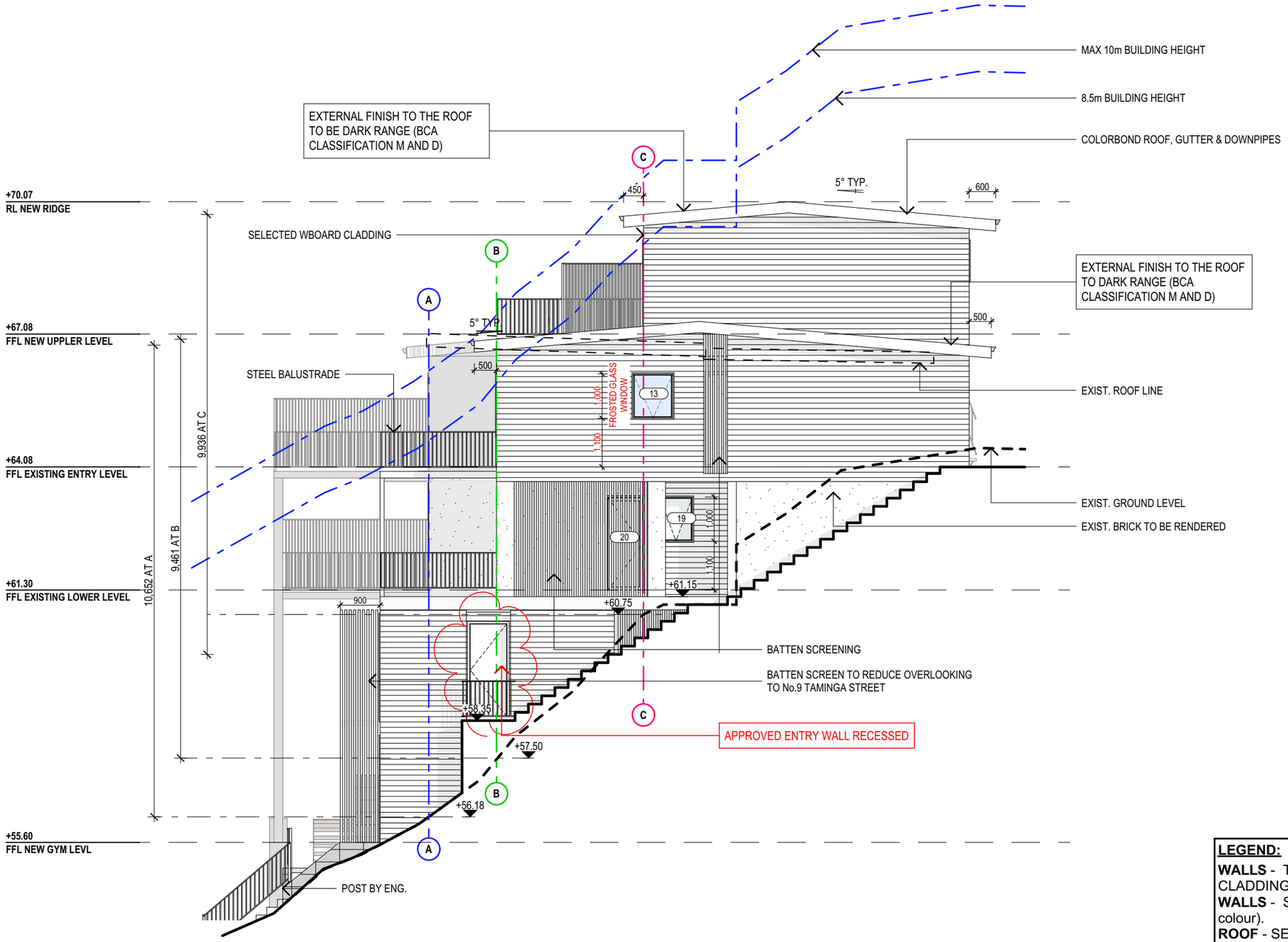
SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED ELEVATIONS SHEET 1

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
815/20	JJ	**MOD.06**



WEST ELEVATION
1:100

NOTE:
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LEGEND:

WALLS - TIMBER / FC HORIZONTAL CLADDING (medium colour).
WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

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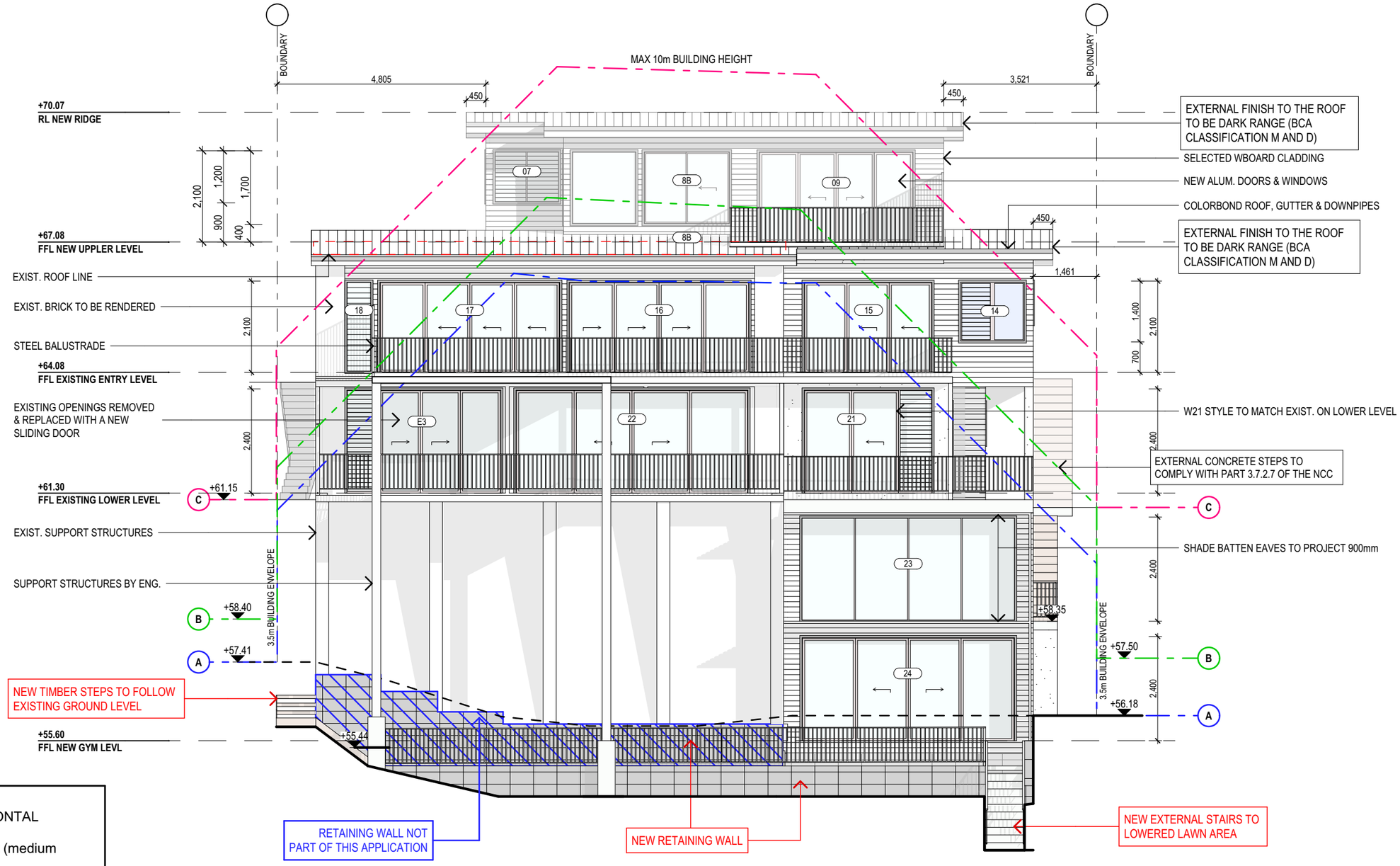
SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED ELEVATIONS SHEET 2

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: **MOD.07**



LEGEND:

WALLS - TIMBER / FC HORIZONTAL CLADDING (medium colour).
WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

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NORTH ELEVATION
1:100

NOTE:
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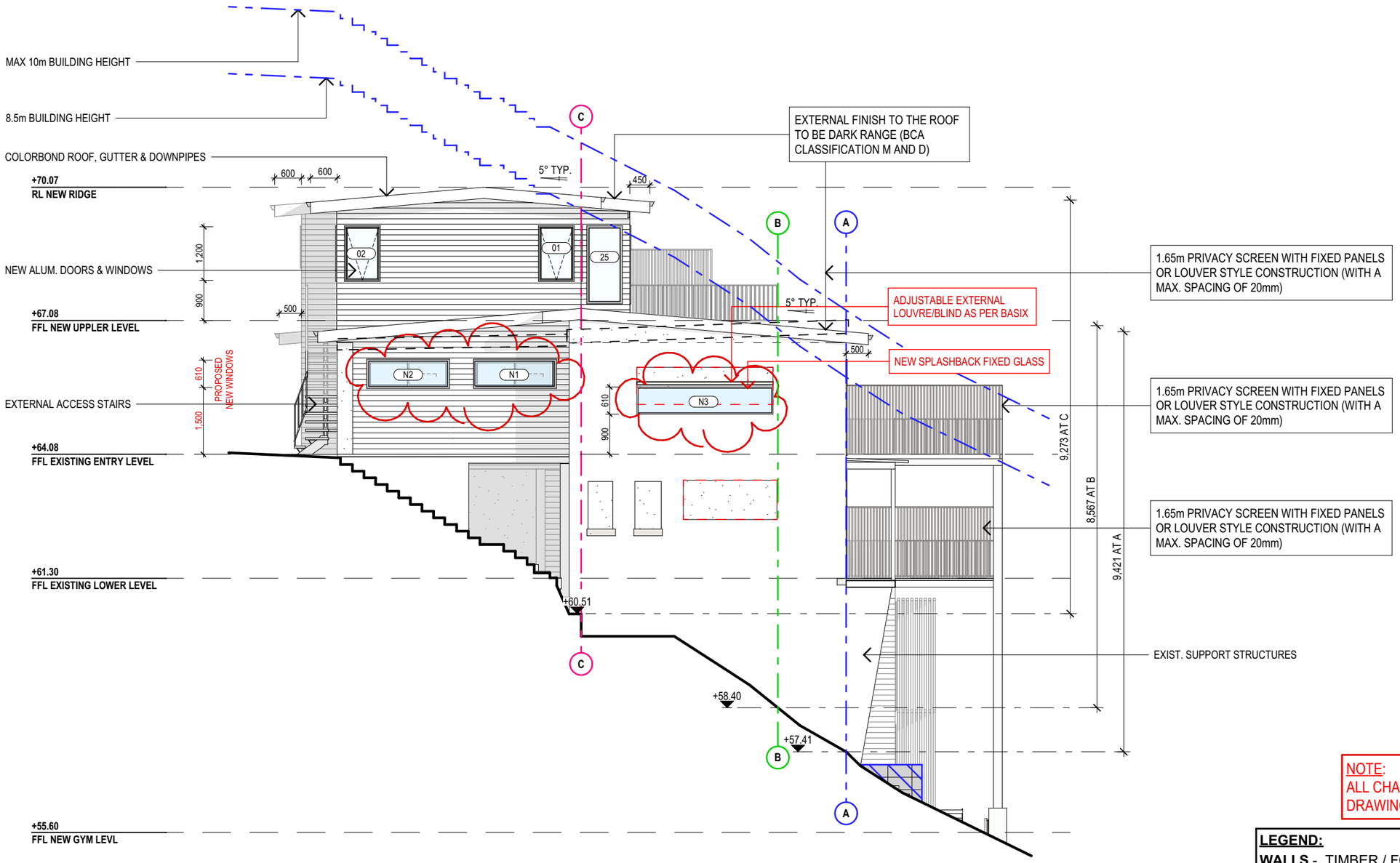
SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED ELEVATIONS SHEET 3

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: **MOD.08**



EAST ELEVATION
1:100

NOTE:
ALL CHANGES TO APPROVED DA DRAWINGS SHOWN IN RED

LEGEND:

WALLS - TIMBER / FC HORIZONTAL CLADDING (medium colour).
WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

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10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED ELEVATIONS SHEET 4

DATE:	DRAWN BY:	SCALE:
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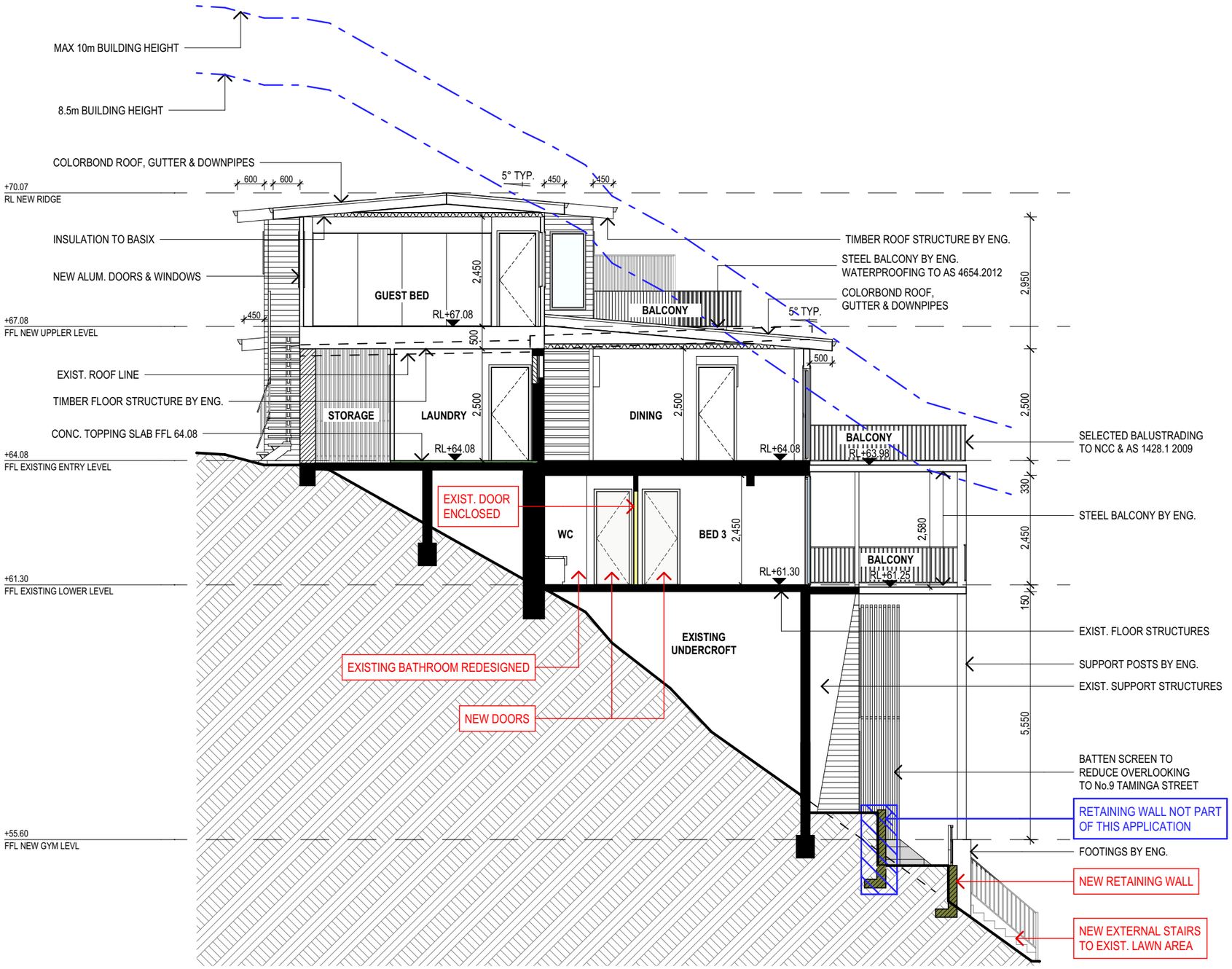
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: **MOD.09**



LEGEND:

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WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

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SECTION A-A

1:100

NOTE:
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REV:	DATE:	DESCRIPTION:
N	17.10.23	UPPER RET. WALL NO PART OF APPLICATION
G	23.03.21	CHANGES TO DA DRAWINGS
H	17.12.21	CC DRAWINGS
I	17.01.22	CC DRAWINGS UPDATED
J	08.03.22	CC DRAWINGS UPDATED
k	08.03.22	CC DRAWINGS UPDATED
L	21.11.22	SECTION 4.55 DRAWINGS
M	31.08.23	SECTION 4.55 DRAWINGS UPDATED

SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
SECTION AA

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
815/20	JJ	MOD.10

BASIX REQUIREMENTS

BASIX INCLUSIONS FOR 10 TAMINGA STREET BAYVIEW NSW 2104

LIGHTING

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

FIXTURES

SHOWER RATING	MIN. 3 STARS
TAP RATING	MIN. 3 STARS
WC RATING	MIN. 3 STARS

HOT WATER

SOLAR HOT WATER (ELECTRIC BOOSTED)

INSULATION

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)
Conc. slab on ground	Nil
Suspended floor with opoen subfloor: Conc. (R0.6)	R0.9 (down) (or R1.50 including construction)
Suspended floor above garage: Framed (R0.70)	Nil
Floor above existing dwelling or building	Nil
External wall: Framed (Weatherboard, fibro, Metal clad)	R1.30 (or R1.70 including construction)
Flat ceiling, pitched roof	Ceiling: R2.08 (up), Roof: foil backed blanket (55mm). Medium solar absorptanced 0.475 - 0.70)

GLAZING - DOORS & WINDOWS

Standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Numbers: W1, W2, W3, W4, W6, W7, W8A, W8B, W9, W10, W11, W12, W14, W15, W16, W17, W18, W19, W20, W21, W22, W23, W24, E3, N3

Standard aluminium, single pyrolytic low-e, (or U-value: 5.7, SHGC: 0.47)

Numbers: W13, W25, N1, N2

LEGEND:

WALLS - TIMBER / FC HORIZONTAL CLADDING (medium colour).
WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

* BALUSTRADE - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).

SPECIFICATION NOTES

INTERNAL LINING
- PROVIDE PLASTERBOARD LINING.

EXTERNAL WALLS:
- BRICK VENEER WALLS WITH SELECTED BRICKS TO DWELLING.
- ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 – ABCB HOUSING PROVISIONS PART 7, AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES.
- ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

CONDENSATION MANAGEMENT:
- CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 – HOUSING PROVISIONS PART 10.8.

FLOOR:
- GROUND FLOOR TO BE REINFORCED CONCRETE SLAB IN ACCORDANCE WITH NCC 2022.
- FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

WET AREAS:
- ALL WATERPROOFING TO NCC 2022 – ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE.

BEARERS AND JOISTS:
- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

ANT CAPS:
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

PROFILED STEEL ROOF:
- COLORBOND ROOF CLADDING
- METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 7, AS 1562.

ROOF TILES OR SHINGLES:
- NCC VOL.2 PART 3.5.2.

CONCRETE:
- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

BRICK AND BLOCKWORK:
- MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

FOOTINGS:
- FOOTINGS TO BE IN ACCORDANCE WITH NCC 2022.
- RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 – ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES.

CARPENTRY:
- TIMBER TO COMPLY WITH NCC 2022.
-TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.4 & AS 3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK.

TIMBER FRAMING:
-ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE THAT COMPLIES, INSTALLED WITH AS/NZS 4200.1 & AS/NZS 4200.2.- TO COMPLY WITH NCC2022.
-TIMBER FRAMING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS.
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

STEEL FRAMING:
-ALL STEEL FRAMING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 4100 STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD.

TERMITE CONTROL:
- TO BE IN ACCORDANCE WITH TO NCC2022.

FLASHING AND CAPPINGS:
- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5, 7 & 12 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

CONCRETE BLOCKS OR BRICKS:
- TO COMPLY WITH TO NCC2022

LIGHTING:
- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

WATERPROOFING FOR EXTERNAL TILED BALCONIES:
- WATERPROOFING TO COMPLY WITH NCC2022

DOORS & WINDOWS:
- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH NCC2022 - ALUMINIUM WINDOWS AND TIMBER WINDOWS.
- ALUMINIUM FRAMED WINDOWS AND DOORS.
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE THAN 2M.
- PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4.

STAIRS, HANDRAILS AND BALUSTRADES:
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN NCC2022.
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.
- ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

SLIP RESISTANCE:
- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN NCC2022.
- ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

STORMWATER:
EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES
- IN ACCORDANCE WITH NCC 2022
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE
- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

GLAZING:
-ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.
- SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.
- GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

FIRE SAFETY, SMOKE DETECTORS/ALARMS:
- PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 – ABCB HOUSING PROVISIONS PART 3.7.5
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1a AND 1b MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SECTIONS 3.7.5.3 and 3.7.5.4.
- FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS
- BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

WASTE MANAGEMENT:
- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

SEDIMENT CONTROL:
- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

SWIMMING POOLS & SAFETY:
-POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS
- ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 – 2012 - SAFETY BARRIERS FOR SWIMMING POOLS, AS NCC2022 – LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH NCC2022 – SAFETY GLASS,
- AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

MISCELLANEOUS ITEMS:
- ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4.
- GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS.

NOTE:
ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

NOTES (E & OE)
- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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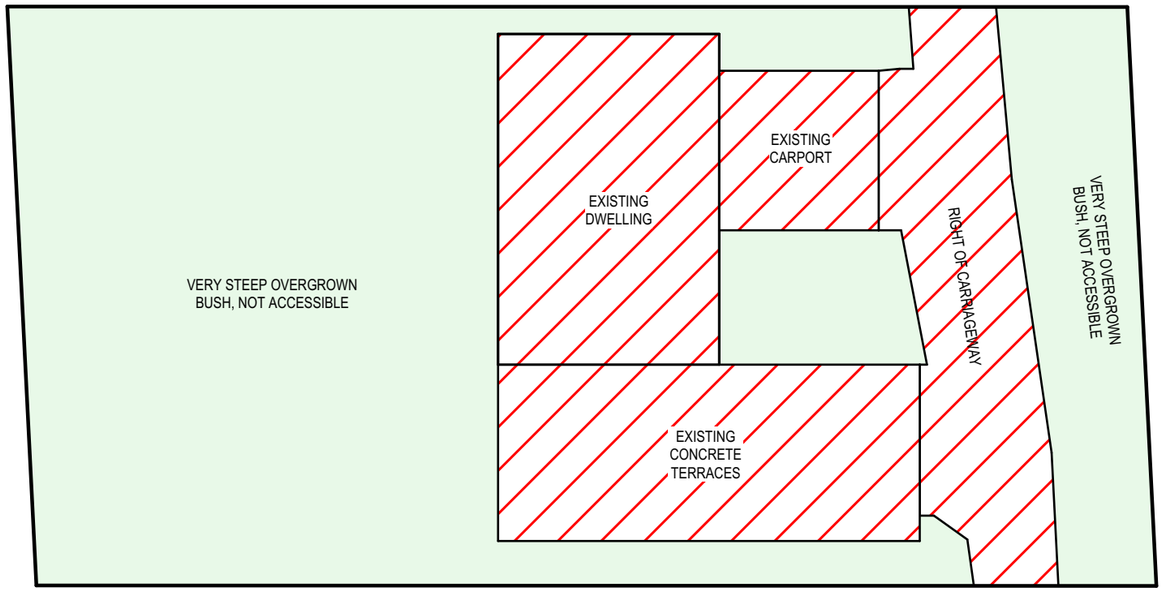
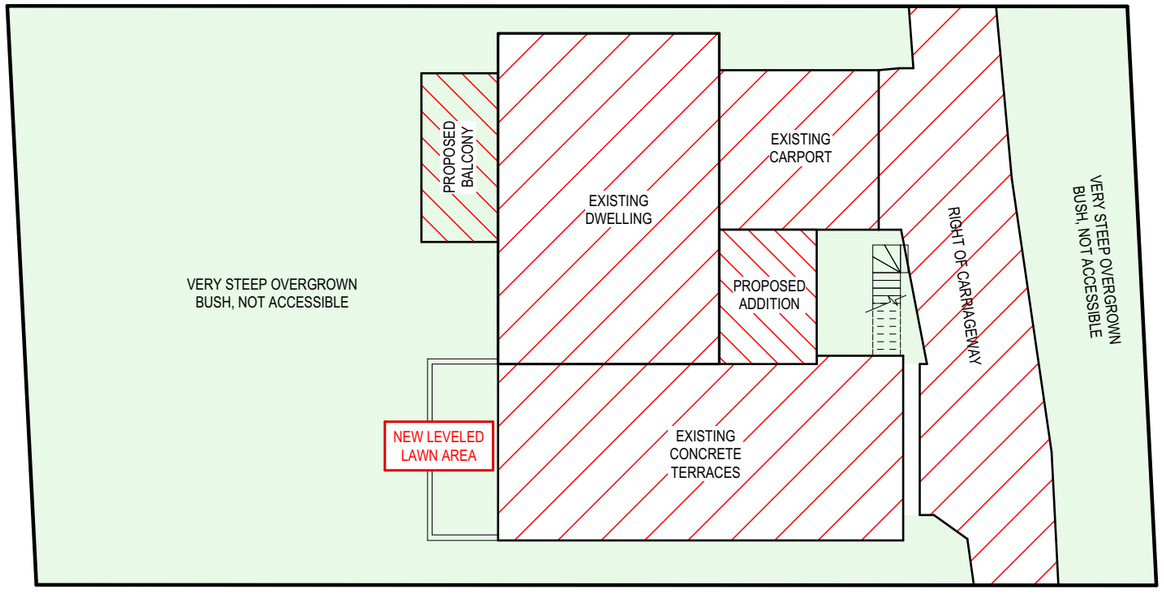
SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS 10 TAMINGA STREET, BAYVIEW NSW 2104	DATE: JULY/20	DRAWN BY: AHB	SCALE: @ A3
DRAWING TITLE: SPECIFICATIONS / BASIX	JOB No: 815/20	CHECKED BY: JJ	DRAWING No: **MOD.11**



EXISTING LANDSCAPED AREA
1:200



PROPOSED LANDSCAPED AREA
1:200

NOTE: NO CHANGES TO LANDSCAPE AREA

CALCULATIONS			
SITE AREA			689.31m²
LANDSCAPE CONTROL		60%	413.59m²
EXISTING LANDSCAPED AREA		62.85%	433.25m²
OUTDOOR RECREATIONAL AREA			13.75m²
TOTAL LANDSCAPED AREA		60.83%	419.32m²
EXISTING HARD SURFACE AREA			256.07m²
NEW HARD SURFACE AREA			27.68m²
TOTAL HARD SURFACE AREA			283.75m²

TRUE NORTH:

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DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:200 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: **MOD.12**