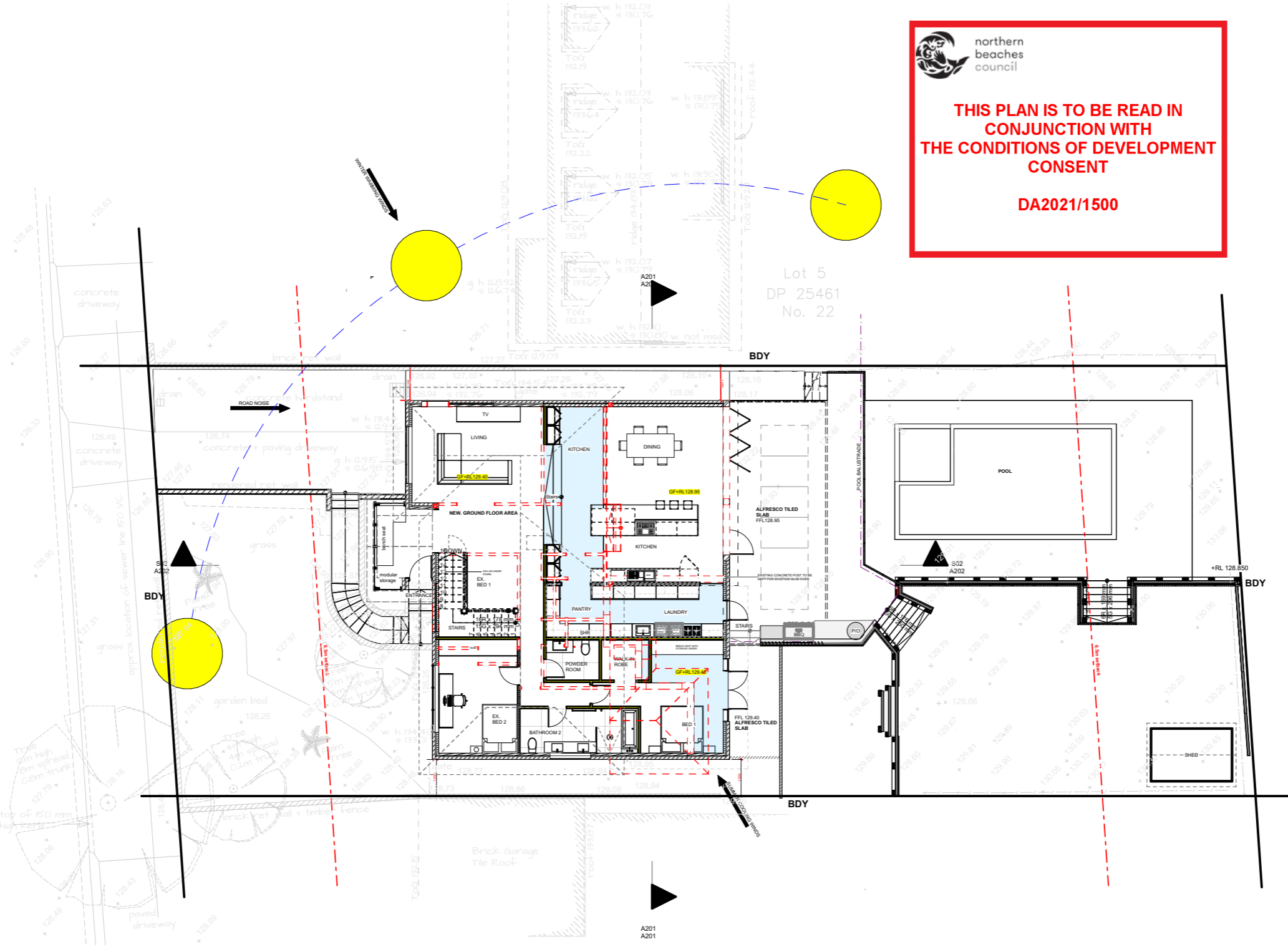


BILKURRA AVENUE



 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

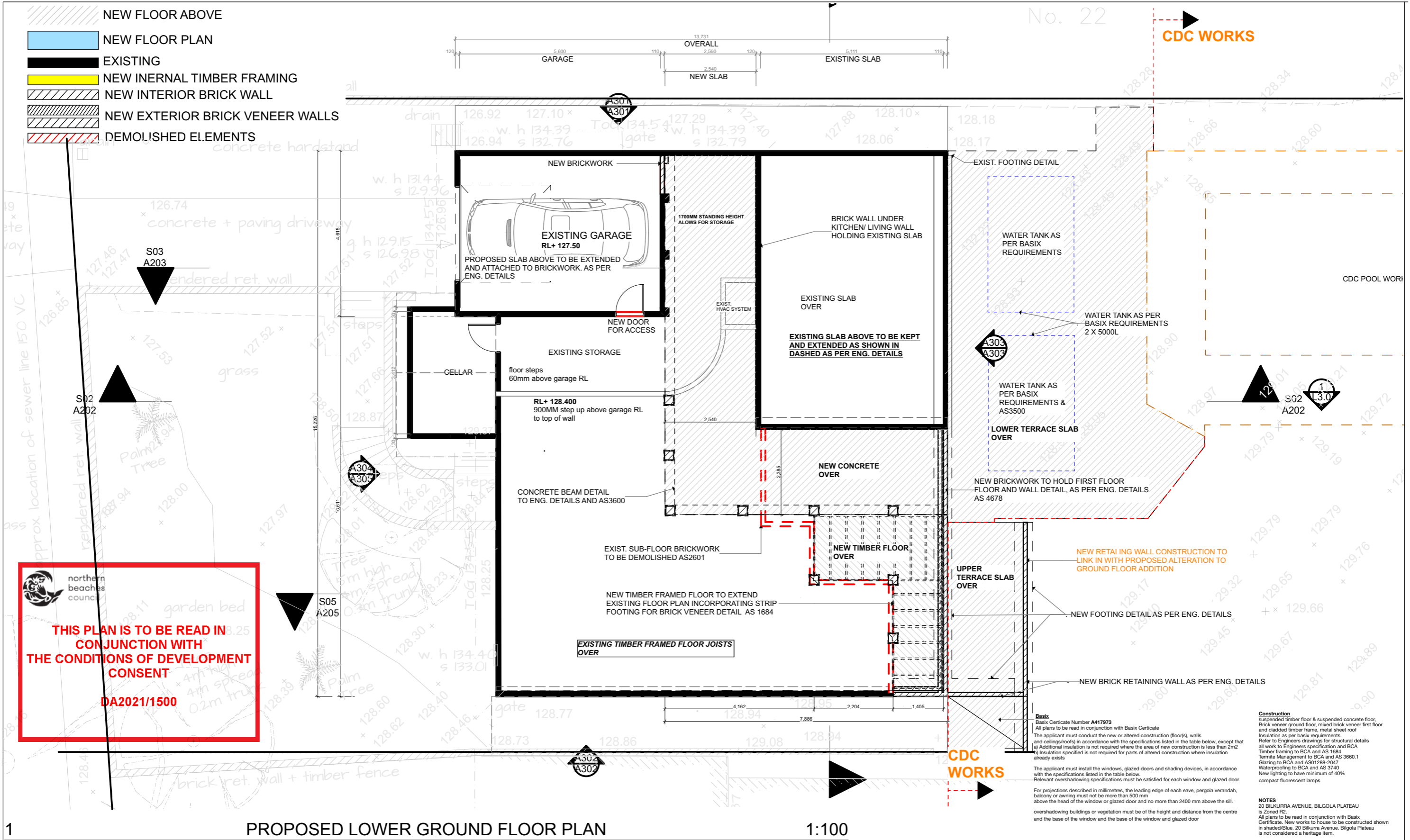
DA2021/1500


DA1

SITE PLAN

1:200

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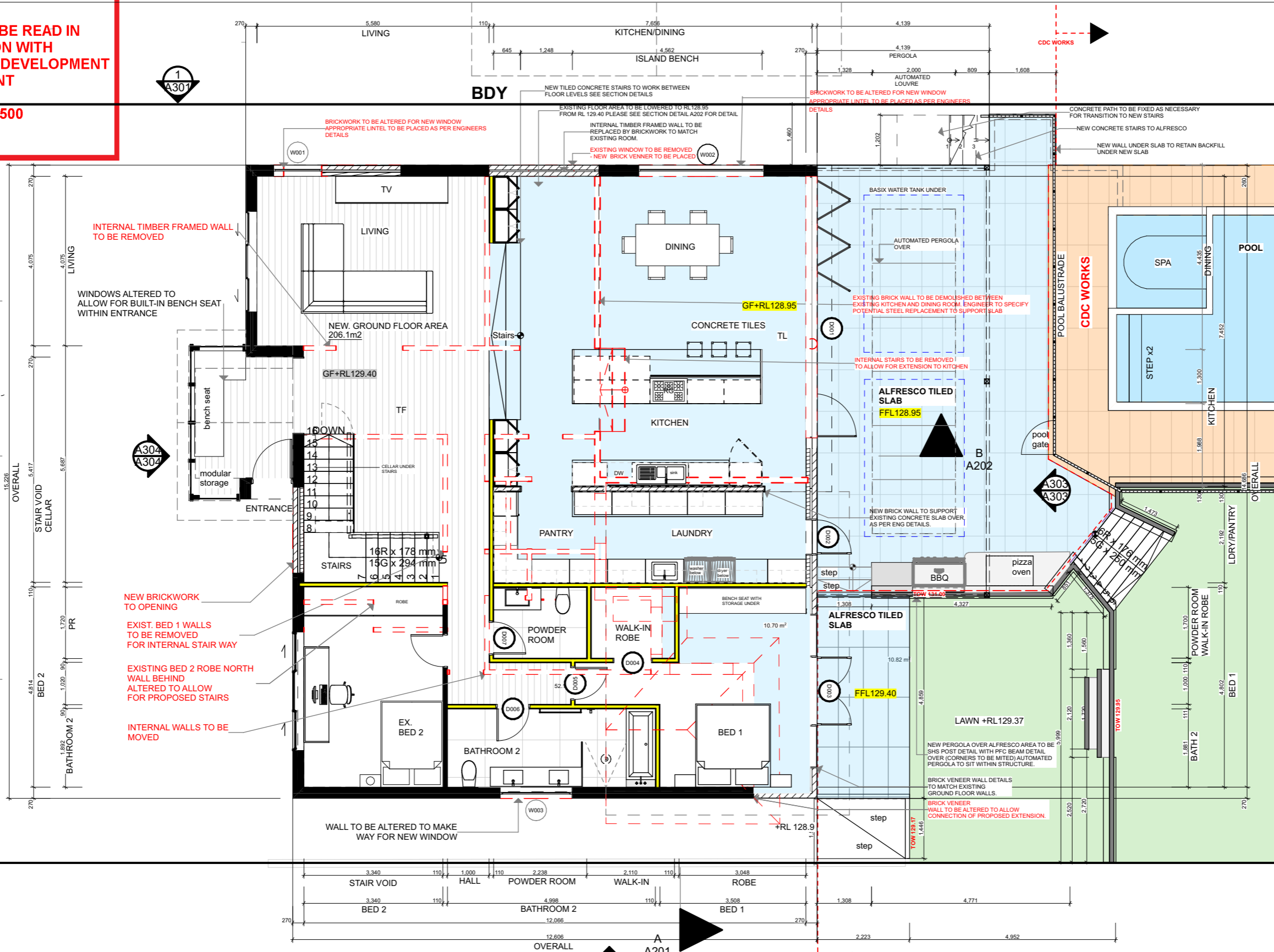
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northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1500



Site Information	Proposed	Compliance
site area	834.21m ²	Yes
Housing Density (Dwelling/m ²)	Yes	Yes
Max Building Height above Natural Ground Level GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side Boundary Setback (Min.)	1.0/2.5m	Yes
Building envelope	3.5m @ 0.5m Bay	Yes
% of landscaped open space (60%/min)	75%	Yes
Impervious area (m ²)	482.6	Yes
Max Cut into Ground (m)	600mm	Yes
Maximum depth of fill (m)	700mm	Yes
Number of car spaces provided	2	Yes

NEW FLOOR ABOVE	
	NEW FLOOR PLAN
	EXISTING
	NEW INTERNAL TIMBER FRAMING
	NEW INTERIOR BRICK WALL
	NEW EXTERIOR BRICK VENEER WALLS
	DEMOLISHED ELEMENTS

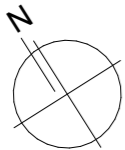
Basix
Basix Certificate Number A417973
All plans to be read in conjunction with Basix Certificate
The applicant must conduct the new or altered construction (floor(s), walls and ceilings/roofs) in accordance with the specifications listed in the table below, except that
a) Additional insulation is not required where the area of new construction is less than 2m²
b) Insulation specified is not required for parts of altered construction where insulation already exists
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola verandah, balcony or awning must not be more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and the base of the window and glazed door.

Construction
suspended timber floor & suspended concrete floor.
Brick veneer ground floor, mixed brick veneer first floor and clad timber frame, metal sheet roof
Insulation as per basix requirements.
Refer to Engineers drawings for structural details all work to Engineers specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New lighting to have minimum of 40% compact fluorescent lamps

NOTES
20 BILKURRA AVENUE, BILGOLA PLATEAU is Zoned R2.
All plans to be read in conjunction with Basix Certificate. New works to house to be constructed shown in shaded Blue. 20 Bilkurra Avenue, Bilgola Plateau is not considered a heritage item.

1 PROPOSED GROUND FLOOR PLAN 1:100

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REV.	DATE.	DESCRIPTION
B	03/07/21	DA ISSUE
A	13/03/21	SD

LEGEND					
B	BENCH SEAT	FP	FIREPLACE	SD	SLIDING DOOR
BBQ	BUILT IN BBQ	HW	HARDWOOD	SH	SHELVING
BLK-RW	BLOCK RETAINING WALL	KD	KILD DRIED	SHS	SO HOLLOW SECTION
BLK-W(R)	BLOCK WL RENDERED	LS	LANDSCAPEING	TC	TIMBER CLAD
BO	BEAM OVER	MB	METER BOX	SL	SKYLIGHT
CF	CONCRETE FLOOR	P	PANTRY	EX	STEP
CL	CLOTHES LINE	PC	POLISHED CONCRETE	TD	TIMBER DECKING
CONC	CONCRETE	PF G	POOL FENCE GLASS	TF-E	TIMBER FLOORING ENGINEERED
CPT	CARPET	PROJ	PROJECTOR SCREEN	TL	TILE FLOORING
CT	CURTAIN	R	ROBE	TP	TIMBER POST
CTN	CURTAIN CEILING TRACK	REF	FRIDGE	WM	WASHING MACHINE
DP	DOWNPIPE	S	SINK		
FNC	FENCE	SCR	SCREEN		

PROPOSED GROUND FLOOR

CLIENT	MOSS
PROJECT	20 BILKURRA AVENUE, BILGOLA PLATEAU
DRAWING	DEVELOPMENT APPLICATION
DATE	03 JULY 2021
SCALE @ A2	AS NOTED
DRAWN BY	CL
CHECKED BY	CL
REV	B

LOVETT
DESIGNS

phone: 0406 213 365
email: Cameron@lovettdesigns.com
web: lovettdesigns.com

A110



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beaches
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CONSENT

DA2021/1500

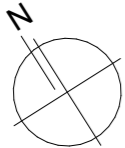
S03
A203

B
A202

S05
A205

1 PROPOSED FIRST FLOOR 1:100

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LEGEND
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BLK-W(R)
BO
CF
CL
CONC
CPT
CT
CTN
DP
FNC

BENCH SEAT
BUILT IN BBQ
BLOCK RETAINING WALL
BLOCK WL RENDERED
BEAM OVER
CONCRETE FLOOR
CLOTHES LINE
CONCRETE
CARPET
COOKTOP
CURTAIN CEILING TRACK
DOWNPIPE
FENCE

FP
HW
KD
LS
MB
P
PC
PF G
PROJ
R
REF
S
SCR

FIREPLACE
HARDWOOD
KLD DRIED
LANDSCAPEING
METER BOX
PANTRY
POLISHED CONCRETE
POOL FENCE GLASS
PROJECTOR SCREEN
ROBE
FRIDGE
SINK
SCREEN

SD
SH
SHS
TC
SL
STEP
TD
TF-E
TL
TP
WM

SLIDING DOOR
SHELVING
SQ HOLLOW SECTION
TIMBER CLAD
SKYLIGHT
EX STEP
TIMBER DECKING
TIMBER FLOORING ENGINEERED
TILE FLOORING
TIMBER POST
WASHING MACHINE

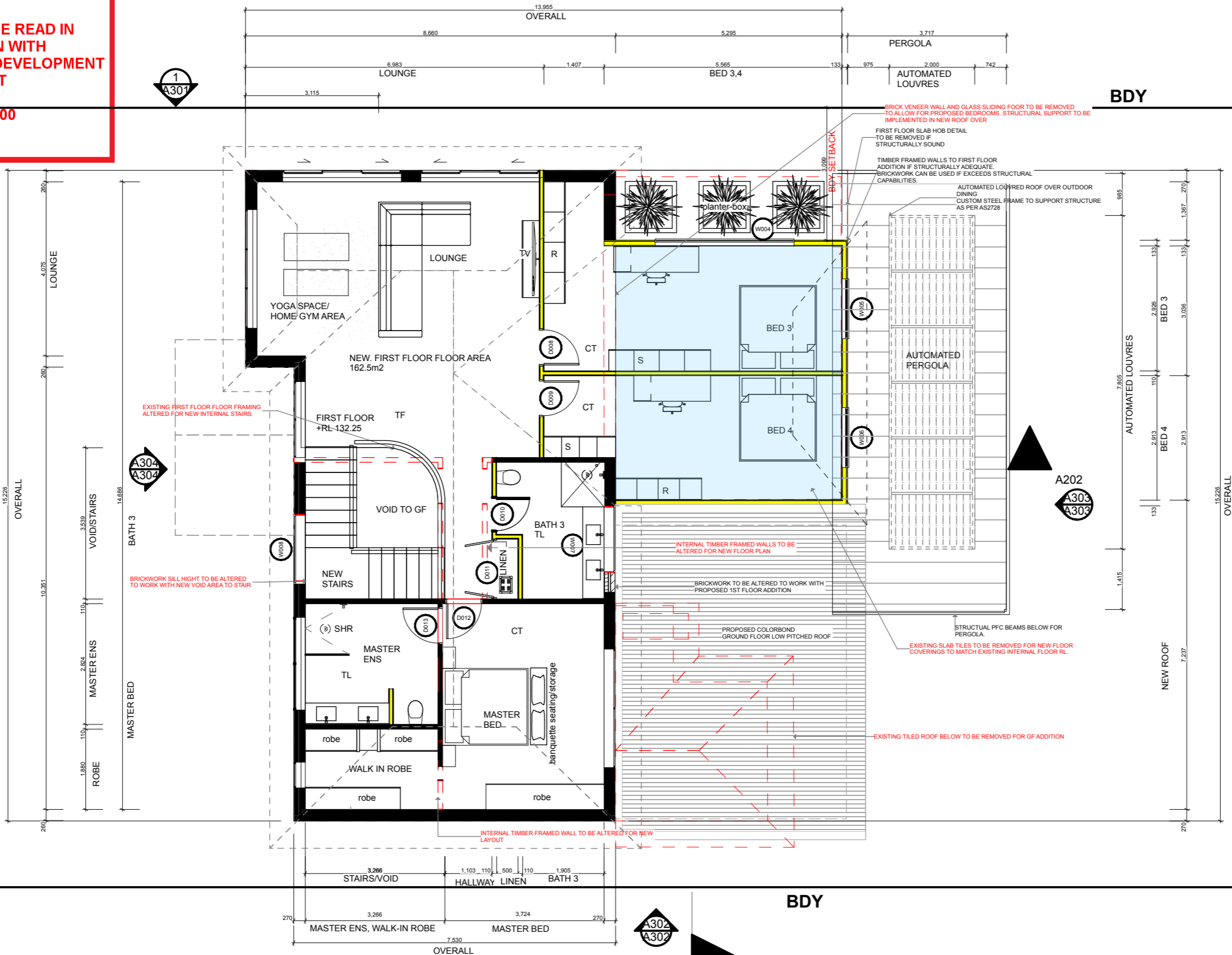
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CLIENT	MOSS
PROJECT	20 BILKURRA AVENUE, BILGOLA PLATEAU
DRAWING	DEVELOPMENT APPLICATION
DATE	03 JULY 2021
SCALE @ A2	AS NOTED
DRAWN BY	CL
CHECKED BY	CL
REV	B

LOVETT
DESIGNS

phone: 0406 213 365
email: Cameron@lovettdesigns.com
web: lovettdesigns.com

A111



NEW FLOOR ABOVE	NEW FLOOR PLAN
EXISTING	NEW INTERNAL TIMBER FRAMING
NEW INTERIOR BRICK WALL	NEW EXTERIOR BRICK VENEER WALLS
DEMOLISHED ELEMENTS	

Basix
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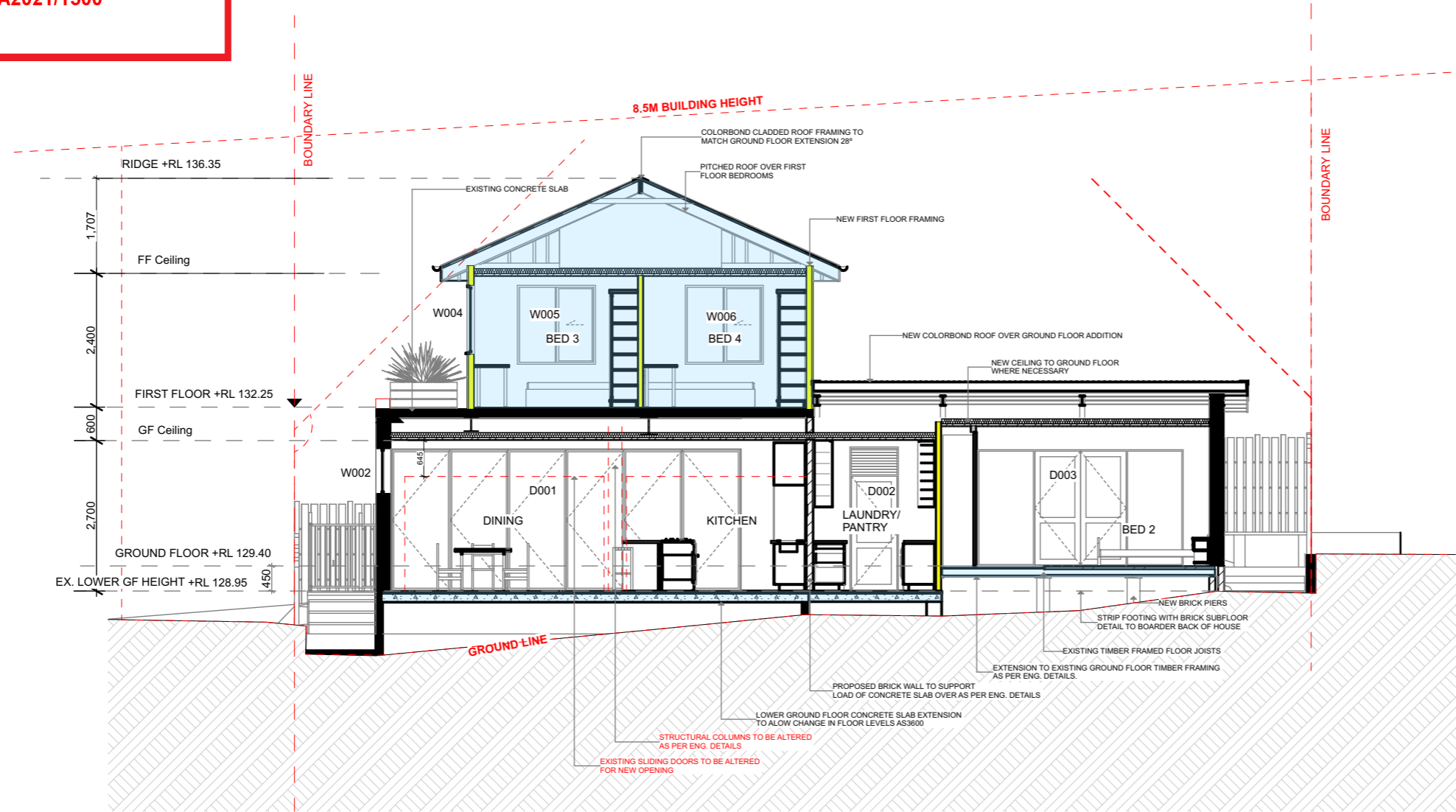
NOTES
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Site Information	Proposed	Compliance
site area	834.21m2	Yes
Housing Density (Dwelling/m2)	Yes	Yes
Max Building Height above Natural Ground Level GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side Boundary Setback (Min.)	1.0/2.5m	Yes
Building envelope	3.5m @ 6.5m Bay	Yes
% of landscape open space (60%min)	75%	Yes
Impervious area (m2)	482.6	Yes
Max Cut into Ground (m)	600mm	Yes
Maximum depth of fill (m)	700mm	Yes
Number of car spaces provided	2	Yes



THIS PLAN IS TO BE READ IN
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CONSENT

DA2021/1500



Site Information	Proposed	Compliance
site area	834.21m ²	Yes
Housing Density (Dwelling/m ²)	8.5m	Yes
Max Building Height above Natural Ground Level GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	1.0/2.5m	Yes
Minimum side Boundary Setback (Min.)	3.5m @ 45 Deg	Yes
Building envelope	75%	Yes
% of landscaped open space (60%min)	482.6	Yes
Impervious area (m ²)	600mm	Yes
Max Cut into Ground (m)	700mm	Yes
Maximum depth of fill (m)	2	Yes
Number of car spaces provided		

NEW FLOOR ABOVE
NEW BUILDING WORKS
EXISTING
NEW INTERNAL TIMBER FRAMING
NEW INTERIOR BRICK WALL
NEW EXTERIOR BRICK VENEER WALLS
DEMOLISHED ELEMENTS

Basix
Basix Certificate Number **A417973**
All plans to be read in conjunction with Basix Certificate

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Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola verandah, balcony or awning must not be more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and the base of the window and glazed door.

Construction
suspended timber floor & suspended concrete floor,
Brick veneer ground floor, mixed brick veneer first floor and clad timber frame, metal sheet roof
Insulation as per basix requirements.
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New lighting to have minimum of 40% compact fluorescent lamps

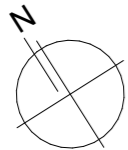
NOTES
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is Zoned R2.
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A

SECTION S01

1:100

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REV.	DATE.	DESCRIPTION
B	03/07/21	DA ISSUE
A	13/03/21	SD

LEGEND					
B	BENCH SEAT	FP	FIREPLACE	SD	SLIDING DOOR
BBQ	BUILT IN BBQ	HW	HARDWOOD	SH	SHELVING
BLK-RW	BLOCK RETAINING WALL	KD	KILD DRIED	SHS	SO HOLLOW SECTION
BLK-W(R)	BLOCK WL RENDERED	LS	LANDSCAPEING	TC	TIMBER CLAD
BO	BEAM OVER	MB	METER BOX	SL	SKYLIGHT
CF	CONCRETE FLOOR	P	PANTRY	STP	EX. STEP
CL	CLOTHES LINE	PC	POLISHED CONCRETE	TD	TIMBER DECKING
CONC	CONCRETE	PF. G	POOL FENCE GLASS	TF-E	TIMBER FLOORING ENGINEERED
CPT	CARPET	PROJ	PROJECTOR SCREEN	TL	TILE FLOORING
CT	COOKTOP	R	ROBE	TP	TIMBER POST
CTN	CURTAIN CEILING TRACK	REF	FRIDGE	WM	WASHING MACHINE
DP	DOWNPIPE	S	SINK		
FNC	FENCE	SCR	SCREEN		

Sections

CLIENT	MOSS
PROJECT	20 BILKURRA AVENUE, BILGOLA PLATEAU
DRAWING	DEVELOPMENT APPLICATION
DATE	03 JULY 2021
SCALE @ A2	AS NOTED
DRAWN BY	CL
CHECKED BY	CL
REV	B

LOVETT

DESIGNS

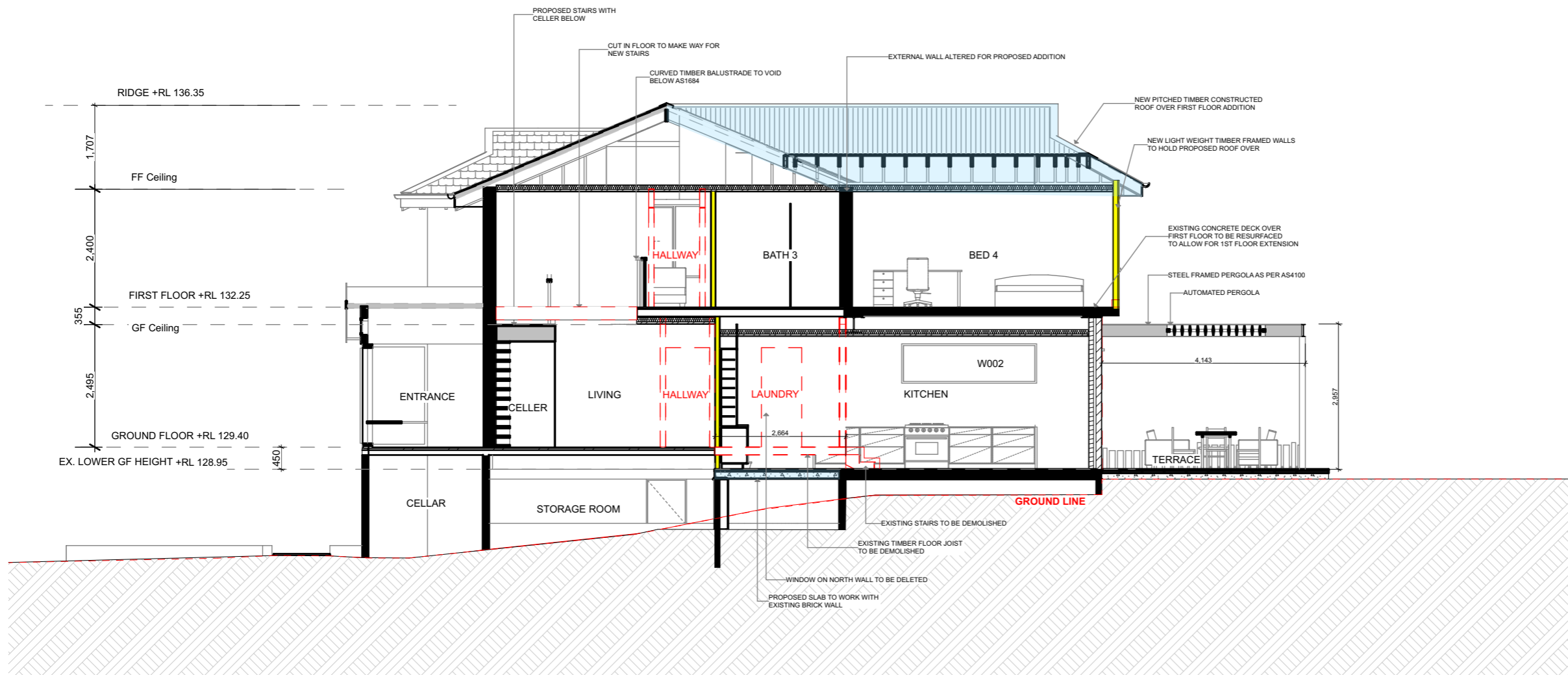
phone: 0406 213 365
email: Cameron@lovett-designs.com
web: lovettdesigns.com

A201



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1500



Site Information	Proposed	Compliance
site area	834.21m ²	Yes
Housing Density (Dwelling/m ²)		Yes
Max Building Height above Natural Ground Level GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side Boundary Setback (Min.)	1.0/2.5m	Yes
Building envelope	3.5m @ 45 Deg	Yes
% of landscape open space (60%/min)	75%	Yes
Impervious area (m ²)	482.6	Yes
Max Cut into Ground (m)	600mm	Yes
Maximum depth of fill (m)	700mm	Yes
Number of car spaces provided	2	Yes

- NEW FLOOR ABOVE
- NEW BUILDING WORKS
- EXISTING
- NEW INTERNAL TIMBER FRAMING
- NEW INTERIOR BRICK WALL
- NEW EXTERIOR BRICK VENEER WALLS
- DEMOLISHED ELEMENTS

Basix
Basix Certifi cate Number **A417973**
All plans to be read in conjunction with Basix Certificate

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Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New lighting to have minimum of 40% compact fluorescent lamps

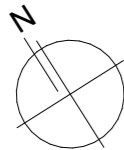
NOTES
20 BILKURRA AVENUE, BILGOLA PLATEAU is Zoned R2.
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B

SECTION S02

1:100

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REV.	DATE.	DESCRIPTION
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A	13/03/21	SD

LEGEND					
B	BENCH SEAT	FP	FIREPLACE	SD	SLIDING DOOR
BBQ	BUILT IN BBQ	HW	HARDWOOD	SH	SHELVING
BLK-RW	BLOCK RETAINING WALL	KD	KILD DRIED	SHS	SO HOLLOW SECTION
BLK-W(R)	BLOCK WL RENDERED	LS	LANDSCAPEING	TC	TIMBER CLAD
BO	BEAM OVER	MB	METER BOX	SL	SKYLIGHT
CF	CONCRETE FLOOR	P	PANTRY	EX	EX. STEP
CL	CLOTHES LINE	PC	POLISHED CONCRETE	TD	TIMBER DECKING
CONC	CONCRETE	PF G	POOL FENCE GLASS	TF-E	TIMBER FLOORING ENGINEERED
CPT	CARPET	PROJ	PROJECTOR SCREEN	TL	TILE FLOORING
CT	COOKTOP	R	ROBE	TP	TIMBER POST
CTN	CURTAIN CEILING TRACK	REF	FRIDGE	WM	WASHING MACHINE
DP	DOWNPIPE	S	SINK		
FNC	FENCE	SCR	SCREEN		

SECTIONS

CLIENT	MOSS
PROJECT	20 BILKURRA AVENUE, BILGOLA PLATEAU
DRAWING	DEVELOPMENT APPLICATION
DATE	03 JULY 2021
SCALE @ A2	AS NOTED
DRAWN BY	CL
CHECKED BY	CL
REV	B

LOVETT
DESIGNS

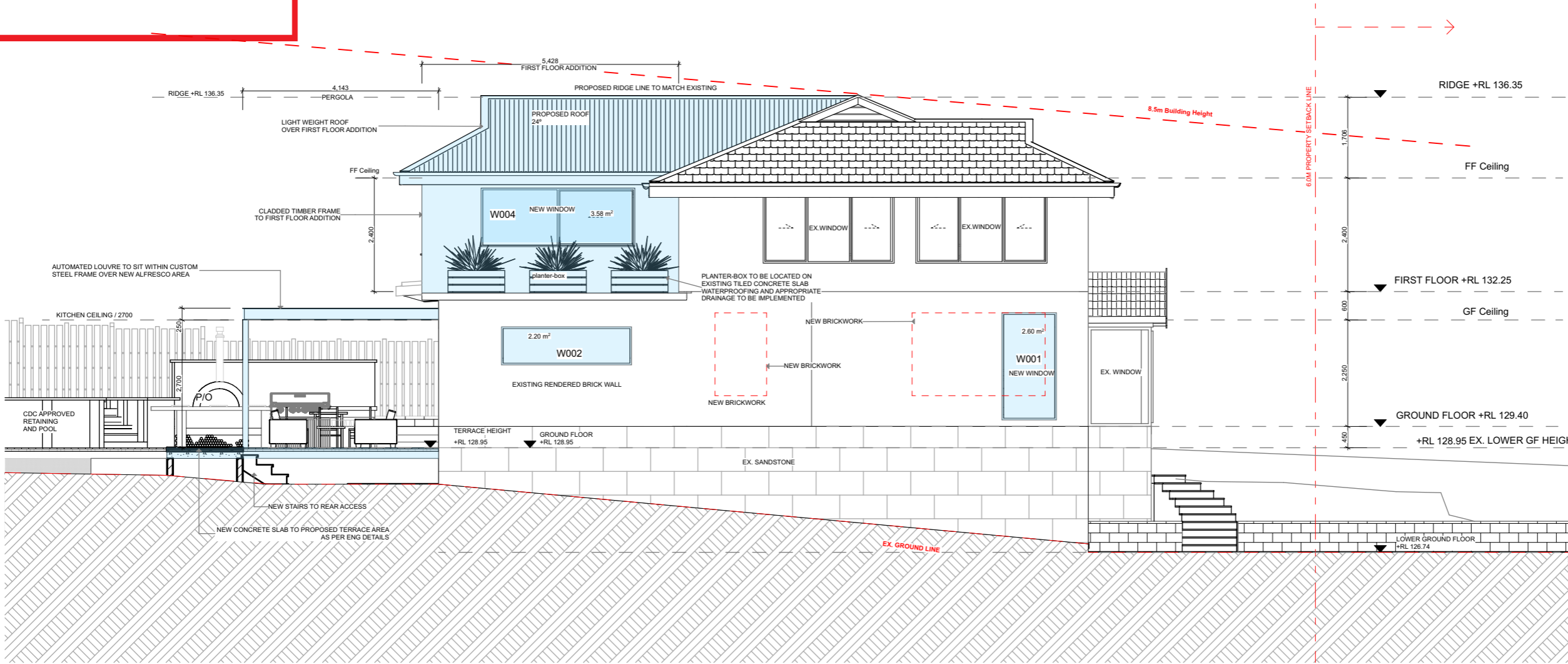
phone: 0406 213 365
email: Cameron@lovett-designs.com
web: lovettdesigns.com

A202





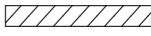

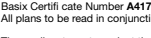
 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/1500



Site Information	Proposed	Compliance
site area	834.21m ²	Yes
Housing Density (Dwelling/m ²)		Yes
Max Building Height above Natural Ground Level GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
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Impervious area (m ²)	482.6	Yes
Max Cut into Ground (m)	600mm	Yes
Maximum depth of fill (m)	700mm	Yes
Number of car spaces provided	2	Yes

	NEW FLOOR ABOVE
	NEW BUILDING WORKS
	EXISTING
	NEW INTERNAL TIMBER FRAMING
	NEW INTERIOR BRICK WALL
	NEW EXTERIOR BRICK VENEER WALLS
	DEMOLISHED ELEMENTS

Basix
Basix Certificate Number **A417973**
All plans to be read in conjunction with Basix Certificate

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New lighting to have minimum of 40%
compact fluorescent lamps

NOTES
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is Zoned R2.
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Certificate. New works to house to be constructed shown
in shaded/Blue. 20 Bilkurra Avenue, Bilgola Plateau
is not considered a heritage item.

1 A301 - NORTH ELEVATION

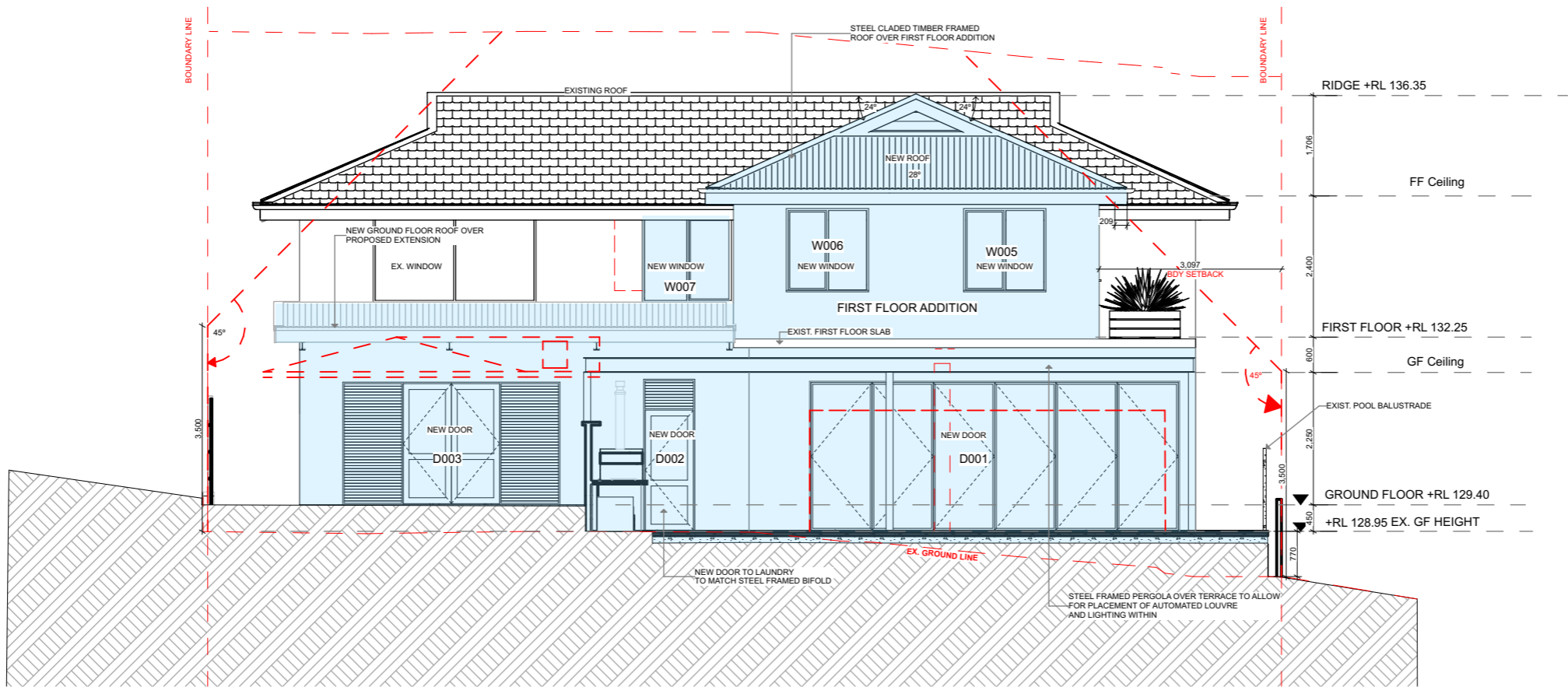
1:100

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				<div><div>B BENCH SEAT</div><div>BBQ BUILT IN BBQ</div><div>BLK-RW BLOCK RETAINING WALL</div><div>BLK-W(R) BLOCK WL RENDERED</div><div>BO BEAM OVER</div><div>CF CONCRETE FLOOR</div><div>CL CLOTHES LINE</div><div>CONC CONCRETE</div><div>CPT CARPET</div><div>CT CURTAIN</div><div>CTN CURTAIN CEILING TRACK</div><div>DP DOWNPIPE</div><div>FNC FENCE</div><div>FP FIREPLACE</div><div>HW HARDWOOD</div><div>KD KILD DRIED</div><div>LS LANDSCAPEING</div><div>MB METER BOX</div><div>P PANTRY</div><div>PC POLISHED CONCRETE</div><div>PF-G POOL FENCE GLASS</div><div>PROJ PROJECTOR SCREEN</div><div>R ROBE</div><div>REF FRIDGE</div><div>S SINK</div><div>SCR SCREEN</div><div>SD SLIDING DOOR</div><div>SH SHELVE</div><div>SHS SQ HOLLOW SECTION</div><div>TC TIMBER CLAD</div><div>SL SKYLIGHT</div><div>EX STEP EX. STEP</div><div>TD TIMBER DECKING</div><div>TF-E TIMBER FLOORING ENGINEERED</div><div>TL TILE FLOORING</div><div>TP TIMBER POST</div><div>WM WASHING MACHINE</div></div>										PROJECT 20 BILKURRA AVENUE, BILGOLA PLATEAU													
														DRAWING DEVELOPMENT APPLICATION													
		B		03/07/21	DA ISSUE		Elevations										DATE	03 JULY 2021	SCALE @ A2	AS NOTED	DRAWN BY	CL	CHECKED BY	CL	REV	B	A301
		A		13/03/21	SD																						
		REV.		DATE.	DESCRIPTION																						



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1500



	NEW FLOOR ABOVE
	NEW BUILDING WORKS
	EXISTING
	NEW INTERNAL TIMBER FRAMING
	NEW INTERIOR BRICK WALL
	NEW EXTERIOR BRICK VENEER WALLS
	DEMOLISHED ELEMENTS

Basix
Basix Certificate Number **A417973**
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New lighting to have minimum of 40%
compact fluorescent lamps

NOTES
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Certificate. New works to house to be constructed shown
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is not considered a heritage item.

1

A302 - EAST ELEVATION

1:100

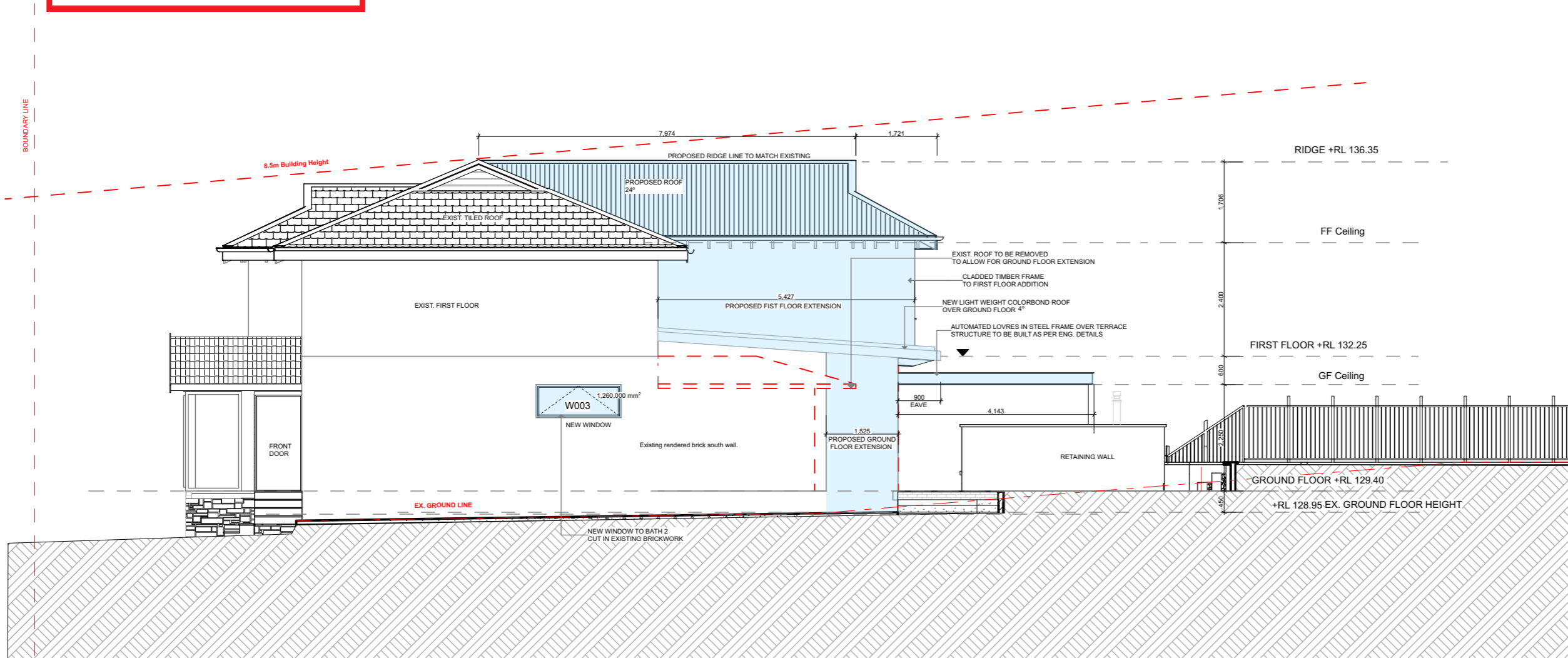
Lovett Designs reserves all rights to this drawing, this drawing remains the property of Lovett Designs and may not be copied without written consent, all content including intellectual, remain the property of Lovett Designs, all copies of this drawing will be returned to Lovett Designs upon request.					LEGEND B BENCH SEAT BBQ BUILT IN BBQ BLK-RW BLOCK RETAINING WALL BLK-W(R) BLOCK WL RENDERED BO BEAM OVER CF CONCRETE FLOOR CL CLOTHES LINE CONC CONCRETE CPT CARPET CT CURTAIN CEILING TRACK CTN CURTAIN CEILING TRACK DP DOWNPIPE FNC FENCE FP FIREPLACE HW HARDWOOD KD KILD DRIED LS LANDSCAPEING MB METER BOX P PANTRY PC POLISHED CONCRETE PF G POOL FENCE GLASS PROJ PROJECTOR SCREEN R ROBE REF FRIDGE S SINK SCR SCREEN SD SLIDING DOOR SH SHELVE SHS SQ HOLLOW SECTION TC TIMBER CLAD SL SKYLIGHT EX STEP EX. STEP TD TIMBER DECKING TF-E TIMBER FLOORING ENGINEERED TL TILE FLOORING TP TIMBER POST WM WASHING MACHINE	CLIENT MOSS PROJECT 20 BILKURRA AVENUE, BILGOLA PLATEAU DRAWING DEVELOPMENT APPLICATION DATE 03 JULY 2021 SCALE @ A2 AS NOTED DRAWN BY CL CHECKED BY CL REV B	 LOVETT DESIGNS phone: 0406 213 365 email: Cameron@lovettdesigns.com web: lovettdesigns.com A302
		B	03/07/21	DA ISSUE			
		A	13/03/21	SD			
		REV.	DATE.	DESCRIPTION			



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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1500



A303 - SOUTH ELEVATION

1:100

	NEW FLOOR ABOVE
	NEW BUILDING WORKS
	EXISTING
	NEW INTERNAL TIMBER FRAMING
	NEW INTERIOR BRICK WALL
	NEW EXTERIOR BRICK VENEER WALLS
	DEMOLISHED ELEMENTS

Basix
Basix Certificate Number A417973
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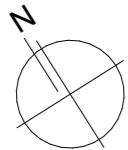
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B	03/07/21	DA ISSUE
A	13/03/21	SD
REV.	DATE.	DESCRIPTION

LEGEND					
B	BENCH SEAT	FP	FIREPLACE	SD	SLIDING DOOR
BBQ	BUILT IN BBQ	HW	HARDWOOD	SH	SHELVING
BLK-RW	BLOCK RETAINING WALL	KD	KILD DRIED	SHS	SO HOLLOW SECTION
BLK-W(R)	BLOCK WL RENDERED	LS	LANDSCAPEING	TC	TIMBER CLAD
BO	BEAM OVER	MB	METER BOX	SL	SKYLIGHT
CF	CONCRETE FLOOR	P	PANTRY	STP	EX. STEP
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CT	COOKTOP	ROBE	ROBE	TP	TIMBER POST
CTN	CURTAIN CEILING TRACK	REF	FRIDGE	WM	WASHING MACHINE
DP	DOWNPIPE	S	SINK		
FNC	FENCE	SCR	SCREEN		

Elevations

CLIENT	MOSS
PROJECT	20 BILKURRA AVENUE, BILGOLA PLATEAU
DRAWING	DEVELOPMENT APPLICATION
DATE	03 JULY 2021
SCALE @ A2	AS NOTED
DRAWN BY	CL
CHECKED BY	CL
REV	B

LOVETT

DESIGNS

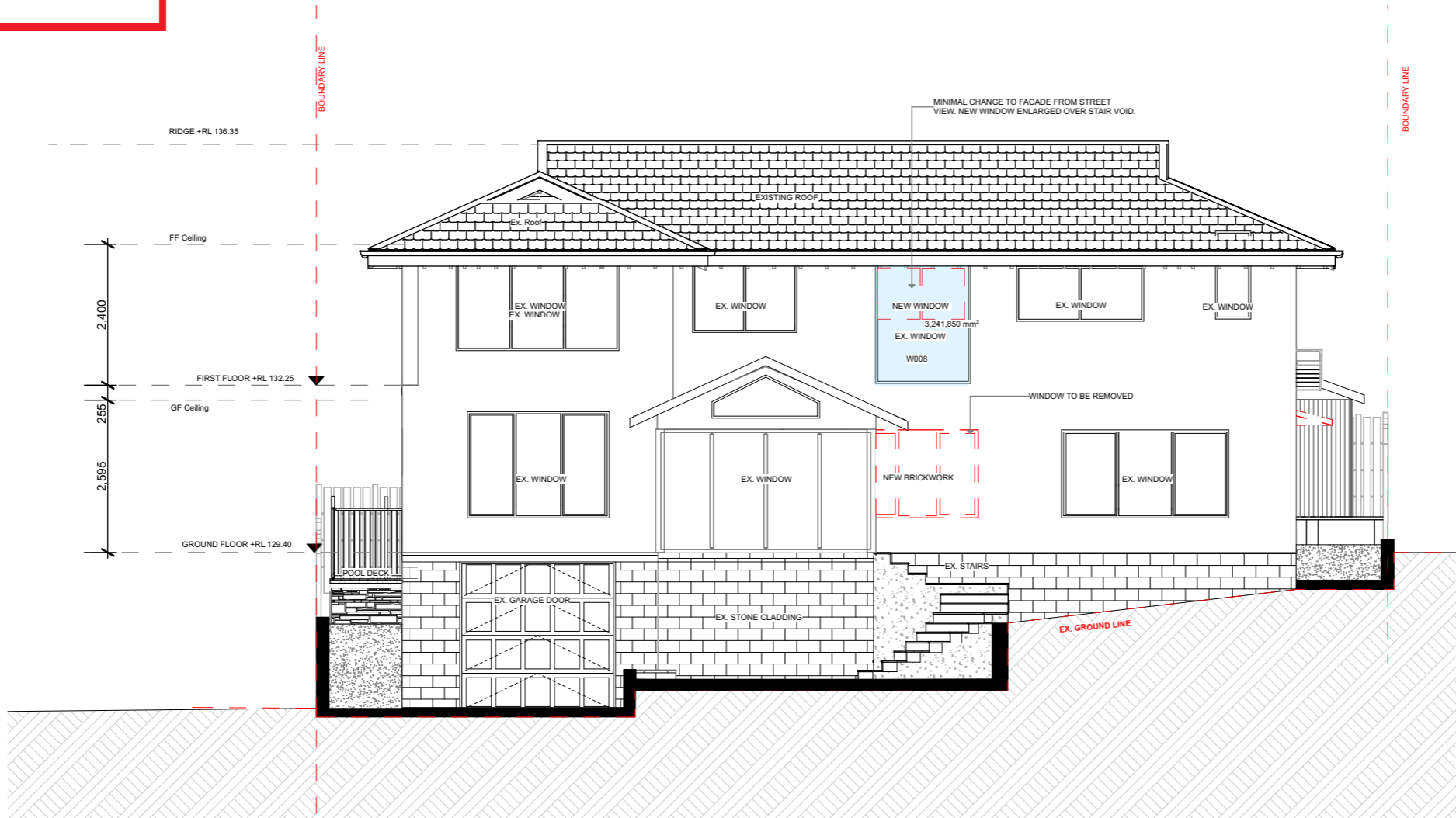
phone: 0406 213 365
email: Cameron@lovett-designs.com
web: lovettdesigns.com

A303



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1500



1

A304 - WEST ELEVATION

1:100

Site Information	Proposed	Compliance
site area	834.21m ²	Yes
Housing Density (Dwelling/m ²)		Yes
Max Building Height above Natural Ground Level GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side Boundary Setback (Min.)	1.0/2.5m	Yes
Building envelope	3.5m@45 Deg	Yes
% of landscape open space (60%/min)	75%	Yes
Impervious area (m ²)	482.6	Yes
Max Cut into Ground (m)	600mm	Yes
Maximum depth of fill (m)	200mm	Yes
Number of car spaces provided	2	Yes

	NEW FLOOR ABOVE
	NEW BUILDING WORKS
	EXISTING
	NEW INTERNAL TIMBER FRAMING
	NEW INTERIOR BRICK WALL
	NEW EXTERIOR BRICK VENEER WALLS
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Basix Certificate Number **A417973**
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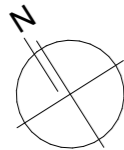
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REV.	DATE.	DESCRIPTION
B	03/07/21	DA ISSUE
A	13/03/21	SD

LEGEND									
B	BENCH SEAT	FP	FIREPLACE	SD	SLIDING DOOR				
BBO	BUILT IN BBQ	HW	HARDWOOD	SH	SHELVING				
BLK-RW	BLOCK RETAINING WALL	KD	KILD DRIED	SHS	SO HOLLOW SECTION				
BLK-W(R)	BLOCK WL RENDERED	LS	LANDSCAPEING	TC	TIMBER CLAD				
BO	BEAM OVER	MB	METER BOX	SL	SKYLIGHT				
CF	CONCRETE FLOOR	P	PANTRY	STP	EX. STEP				
CL	CLOTHES LINE	PC	POLISHED CONCRETE	TD	TIMBER DECKING				
CONC	CONCRETE	PF G	POOL FENCE GLASS	TF-E	TIMBER FLOORING ENGINEERED				
CPT	CARPET	PROJ	PROJECTOR SCREEN	TL	TILE FLOORING				
CT	COOKTOP	R	ROBE	TP	TIMBER POST				
CTN	CURTAIN CEILING TRACK	REF	FRIDGE	WM	WASHING MACHINE				
DP	DOWNPIPE	S	SINK						
FNC	FENCE	SCR	SCREEN						

Elevations

CLIENT	MOSS				
PROJECT	20 BILKURRA AVENUE, BILGOLA PLATEAU				
DRAWING	DEVELOPMENT APPLICATION				
DATE	03 JULY 2021	SCALE @ A2	DRAWN BY	CHECKED BY	REV
		AS NOTED	CL	CL	B

LOVETT

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