

Application for a complying development certificate

Information for the Applicant

- This form may be used to apply for a complying development certificate (a "CDC") to carry out development classed as "complying development". To complete this form, please place a cross in the relevant boxes, fill out the white sections as appropriate and attach copies of all documents indicated in the form as being required to be provided. To minimise delay in receiving a decision about the application, please ensure that all relevant information and documents are provided.

- Once completed, this application form should be submitted to a "certifying authority" for determination. Certifying authorities are either a private accredited certifier (which may be either an individual or a company) or the Local Council. A list of private accredited certifiers can be obtained from the Building Professionals Board at <http://www.bpb.nsw.gov.au/page/for-consumers/find-a-certifier/>

- It is recommended that applicants should obtain a planning certificate issued under s.149 Environmental Planning and Assessment Act 1979 from the Local Council and provide it to the certifying authority with this application. This may expedite the determination of the application.

- A single application for a CDC may be made for development comprising the concurrent construction of new single storey or two storey dwelling houses if each is to be erected on existing adjoining lots.

- If the certifying authority issues a CDC, the Applicant (or a subsequent owner of the land on which the development is proposed to be carried out) has permission to carry out the development without the need to obtain further development consent.

However, depending upon factors such as the type of development, the location of the development and whether there will be external work or activities involved (eg. road opening, use of footpath areas) there may still be a need to obtain other approvals in order for the work involved to be performed. A list of the possible additional approvals that may be required can be obtained from the Department of Planning at www.planning.nsw.gov.au. In order to avoid potential delays in commencing any work, Applicants should ascertain whether other approvals will be needed, and if so, the stage at which they will be required.

SECTION A. Details of the Applicant

Mr <input checked="" type="checkbox"/>	Ms <input type="checkbox"/>	Mrs <input type="checkbox"/>	Dr <input type="checkbox"/>	Other: <input type="checkbox"/>
First name:		Family name:		
Andrew		McGregor		
Company name: (if applicable)		ABN: (if applicable)		
DPG Services Pty Ltd				
Unit/street number:	Street name:			
Level 27	135 King Street			
Suburb or town:		State:	Postcode:	
Sydney		NSW	2000	
Daytime telephone:	Fax:	Mobile:		
(02) 9324 8743	(02) 4944 1399	0402 400 796		
Email:				
andrew.mcgregor@opalagedcare.com.au				

SECTION B. Location and title details of the land where the development is to be carried out

Flat/street number:	Street name:		
194	Garden Street		
Suburb or town:		State:	Postcode:
Warriewood		NSW	2102
Lot number	Section		
DP/SP number	Volume/folio		
SP 22115			

B36 REC: 380982 29/7/15.



Application for a complying development certificate

SECTION C. Describe the development proposed to be carried out

Provide a brief description of the development. For example, if a dwelling is proposed, include information such as the type of building (house, townhouse, villa etc), the number of floors, the number of bedrooms, the major building material (brick, brick veneer, timber clad etc).

Internal and external refurbishment and construction of pergola structure

SECTION D. Estimated cost of the development

\$350,000.00 + GST

The contract price, or if there is no contract a genuine and accurate estimate, for all labour and material costs associated with all demolition and construction required for the development, including the cost of construction of any building and the preparation of a building for the purpose for which it is to be used (such as the costs of installing plant, fittings, fixtures and equipment). GST is also to be included.

SECTION E. Environmental planning instrument

Provide the name of the "environmental planning instrument" (*see - definition below) under which the development is complying development.

If the development is specified as complying development by a "development control plan" (*see - definition below) referred to in an environmental planning instrument, also provide the name of that development control plan.

Note: The criteria for complying development may vary between environmental planning instruments. You must nominate which instrument this Application is to be assessed under.

☒ State Environmental Planning Policy (Exempt and Complying Development Codes) 2008

OR

☐ Other environmental planning instrument (EPI)

Name of EPI

Name of Development Control Plan (if applicable)

SECTION F. Asbestos

If any bonded asbestos material or friable asbestos material will be disturbed, repaired or removed in carrying out the development, what is the estimated area of the material?

Square Metres



Application for a complying development certificate

SECTION G. Attachments relating to the proposed development

Applicants must provide the documents listed below that are relevant to the type of development that is proposed. Please confirm that documents relating to the requirements below have been attached by placing a cross in the appropriate box(s). Applicants should confirm with the certifying authority how many copies of documents are required to be provided prior to lodging this application.

1. Attachments for fire link conversions

Does the Application relate ONLY to a fire link conversion? ☐ Yes ☒ No

If 'Yes' provide a document that describes the design and construction, and mode of operation, of the new fire alarm communication link.

2. Attachments for developments other than fire link conversions.

☒ A site plan of the land

Provide a site plan indicating:

- (a) the location, boundary dimensions, site area and north point of the land,
- (b) existing vegetation and trees on the land,
- (c) the location and uses of existing buildings on the land,
- (d) existing levels of the land in relation to buildings and roads,
- (e) the location and uses of buildings on sites adjoining the land.

☒ A sketch of the development

Provide a sketch which indicates:

- (a) the location of any proposed buildings or works (including extensions or additions to existing buildings or works) in relation to the land's boundaries and adjoining development,
- (b) floor plans of any proposed buildings showing layout, partitioning, room sizes and intended uses of each part of the building,
- (c) elevations and sections showing proposed external finishes and heights of any proposed buildings (other than temporary structures),
- (d) elevations and sections showing heights of any proposed temporary structures and the materials of which any such structures are proposed to be made (using the abbreviations set out in SECTION P),
- (e) proposed finished levels of the land in relation to existing and proposed buildings and roads,
- (f) proposed parking arrangements, entry and exit points for vehicles, and provision for movement of vehicles within the site (including dimensions where appropriate),
- (g) proposed landscaping and treatment of the land (indicating plant types and their height and maturity),
- (h) proposed methods of draining the land,
- (i) in respect of BASIX affected development, such other matters as any BASIX certificate(s) requires to be included on the sketch. (See-BASIX NOTES at the end of this Section)
- (j) in respect of BASIX optional development for which a BASIX certificate(s) has been obtained, such other matters as the BASIX certificate(s) requires to be included on the sketch. (See-BASIX NOTES at the end of this Section)



Application for a complying development certificate

Does the development involve subdivision work? ☐ Yes ☒ No

If 'Yes' provide appropriate subdivision work plans and specifications, which are to include:

- (a) details of the existing and proposed subdivision pattern (including the number of lots and the location of roads),
- (b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned,
- (c) detailed engineering plans as to the following matters:
 - (i) earthworks,
 - (ii) roadworks,
 - (iii) road pavement,
 - (iv) road furnishings,
 - (v) stormwater drainage,
 - (vi) water supply works,
 - (vii) sewerage works,
 - (viii) landscaping works,
 - (ix) erosion control works,
- (d) copies of any compliance certificates to be relied on.

Does the development involve a change of use of a building (other than a dwelling-house or a building or structure that is ancillary to a dwelling-house and other than a temporary structure or work that relates only to fire link conversion)? ☐ Yes ☒ No

If 'Yes' provide:

- (a) a list of the Category 1 fire safety provisions that currently apply to the existing building,
- (b) a list of the Category 1 fire safety provisions that are to apply to the building following its change of use.

Does the development involve building work (including work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house)? ☒ Yes ☐ No

If 'Yes' provide:

(1) A detailed description of the development by completing SECTION P.

(2) Appropriate building work plans and specifications, which are to include:

- (a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:
 - (i) a plan of each floor section, and
 - (ii) a plan of each elevation of the building, and
 - (iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground, and
 - (iv) the height, design, construction and provision for fire safety and fire resistance (if any).
- (b) specifications for the development:
 - (i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
 - (ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used,
- (c) a statement as to how the performance requirements of the Building Code of Australia are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),



Application for a complying development certificate

- (d) a description of any accredited building product or system sought to be relied on for the purposes of section 85A (4) of the Environmental Planning and Assessment Act 1979**,
- (e) copies of any compliance certificate to be relied on,
- (f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building,
- (g) in respect of BASIX affected development, such other matters as the BASIX certificate(s) requires to be included in the plans and specifications. (See-BASIX NOTES at the end of this Section)
- (h) in respect of BASIX optional development for which a BASIX certificate(s) has been obtained, such other matters as the BASIX certificate(s) requires to be included in the plans and specifications. (See-BASIX NOTES at the end of this Section)

** S.85A(4) EP&A Act provides that a certifying authority must not refuse an Application on the ground that any building product or system does not comply with a requirement of the Building Code of Australia if the building product or system is accredited in respect of that requirement in accordance with the EP&A Regulation 2000.

Does the development involve building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house)?
☒ Yes ☐ No

If 'Yes' provide:

- (a) a list of any existing fire safety measures provided in relation to the land or any existing building on the land, and
- (b) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work.

Does the development involve the erection of a wall to a boundary that has a wall less than 0.9m from the boundary? ☐ Yes ☒ No

If 'Yes' provide:

A report by a professional engineer (within the meaning of the BCA) outlining the proposed method of maintaining support for the adjoining wall after the demolition or removal.

Does the development involve the erection of a temporary structure?
☐ Yes ☒ No

If 'Yes' provide:

- (a) documentation that specifies the live and dead loads the temporary structure is designed to meet,
- (b) a list of any proposed fire safety measures to be provided in connection with the use of the temporary structure,
- (c) in the case of a temporary structure proposed to be used as a place of public entertainment—a statement as to how the performance requirements of Part B1 and NSW Part H102 of Volume One of the Building Code of Australia are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),
- (d) documentation describing any accredited building product or system sought to be relied on for the purposes of section 85A (4) of the Act,
- (e) copies of any compliance certificates to be relied on.



Application for a complying development certificate

Does the development involve the use of a building as an entertainment venue or a function centre, pub, registered club or restaurant? ☐ Yes ☒ No

If 'Yes' complete the relevant portion(s) of the following statement:

The maximum number of persons proposed to occupy, at any one time, that part of the building used as:

- an entertainment venue is persons.
- a function centre is persons.
- a pub is persons.
- a registered club is persons.
- a restaurant is persons.

Does the development involve building work (see - note below) in respect of which an alternative solution under the Building Code of Australia ("BCA") in respect of a fire safety requirement is proposed? ☐ Yes ☒ No

If 'Yes' provide:

Either or both of the following from a "fire safety engineer" (i.e. a private accredited certifier holding Category C10 accreditation):

- (a) a compliance certificate (as referred to in s.109C(1)(a)(v) EP&A Act) that certifies that the alternative solution complies with the relevant performance requirements of the BCA.
- (b) a written report that includes a statement that the alternative solution complies with the relevant performance requirements of the BCA.

NOTE

The above requirement only applies to building work in respect of:

- (a) a class 9a building that is proposed to have a total floor area of 2000 square metres or more, and
- (b) any building (other than a class 9a building) that is proposed to have:
 - (i) a fire compartment with a total floor area of more than 2000 square meters, or
 - (ii) a total floor area of more than 6000 square meters,
- (c) that involves an alternative solution under the BCA in respect of the requirements set out in EP1.4, EP2.1, EP2.2, DP4 and DP5 in Volume 1 of the BCA.

Does the proposed development comprise internal alternations to, or changes of use of, an existing building that is subject to an alternative solution relating to a fire safety requirement under the BCA? ☐ Yes ☒ No

If 'Yes' provide:

A written report by another accredited certifier who is accredited for the purpose of issuing a CDC for a building of that kind, which includes a statement that the proposed development is consistent with that alternative solution.

Does the Application involve a BASIX affected development, or a BASIX optional development for which a BASIX certificate has been obtained? ☐ Yes ☒ No



Application for a complying development certificate

If 'Yes' provide:

- (a) the BASIX certificate(s) for the development (being a certificate(s) that has been issued no earlier than 3 months before the date of the Application being made, and
- (b) such other documents as the BASIX certificate(s) for the development requires to accompany the Application.

(See-BASIX NOTES at the end of this Section)

BASIX NOTES

BASIX (the Building Sustainability Index) is a system introduced by the NSW Government to ensure that homes are built to be more energy and water efficient.

BASIX is an on-line program that assesses a building's design, and compares it against energy and water reduction targets. The design must meet these targets before a BASIX Certificate can be printed from the on-line facility.

Any changes made to a building's design after a BASIX Certificate has been issued means that another BASIX assessment must be completed and a new BASIX Certificate obtained.

Buildings which are affected by the BASIX system ("BASIX affected buildings") are those that contain one or more dwellings (but do not include hotels or motels).

A BASIX Certificate **MUST** be obtained for every "BASIX affected development", which are any of the following developments (other than development that is "BASIX excluded development"-see below):

- (a) development that involves the erection (but not the relocation) of a BASIX affected building,
- (b) development that involves a change of building use by which a building becomes a BASIX affected building,
- (c) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimated construction cost of the development is \$50,000 or more,
- (d) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of 40,000 litres or more.

BASIX excluded development is:

- (a) development for the purpose of a garage, storeroom, car port, gazebo, verandah or awning,
- (b) alterations, enlargements or extensions to a building listed on the State Heritage Register under the Heritage Act 1977,
- (c) alterations, enlargements or extensions that result in a space that cannot be fully enclosed (for example, a veranda that is open or enclosed by screens, mesh or other materials that permit the free and uncontrolled flow of air), other than a space can be fully enclosed but for a vent needed for the safe operation of a gas appliance,
- (d) alterations, enlargements or extensions that the Director-General has declared, by order published in the Gazette, to be BASIX excluded development.

A BASIX Certificate **MAY** be obtained for certain developments by an Applicant even though there is no obligation to do so. This is called "BASIX optional development".

BASIX optional development means any of the following development that is not BASIX excluded development:

- (a) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimate of the construction cost of the development is less than \$50,000
- (b) development for the purpose of a swimming pool or spa, or combination of swimming pools and spas, that services or service only one dwelling and that has a capacity, or combined capacity, of less than 40,000 litres.



Application for a complying development certificate

If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned.

Further information about BASIX and to obtain a BASIX Certificate, go to <http://www.basix.nsw.gov.au>. You should review the website to determine whether your development is affected or exempt from the BASIX provisions.

SECTION H. List of Documents

Prepare and attach a list of all of the documents provided under SECTION G.

SECTION I. Copyright

Information for the Applicant: Upon an application being made for a complying development certificate, the Applicant (not being entitled to copyright) is taken to have indemnified all persons using the application and any accompanying documents in accordance with the Act against any claim or action in respect of breach of copyright (See-Cl.129 EP&A Regulation 2000).

SECTION J. Authority to enter and inspect land

Information for the Applicant: A certifying authority must not issue a complying development certificate for development unless the certifying authority, or an accredited certifier or council on behalf of the certifying authority, has carried out an inspection of the site of the development.

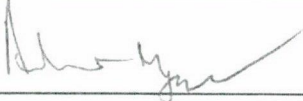
By signing this Application, the Applicant, and if the Applicant is not the owner of the property, the owner also, authorise the certifying authority, or an accredited certifier or council, to enter the subject property at any reasonable time for the purpose of carrying out an inspection in connection with the assessment of this Application. The Applicant and the owner undertake to take all necessary steps make access available to the property to enable the inspection to be carried out.

SECTION K. Long Service Payment Levy

Information for the Applicant: Where a certifying authority completes a complying development certificate, that certificate must not be forwarded or delivered to the Applicant unless any long service payment levy payable under s.34 of the Building and Construction Industry Long Service Payments Act 1986 (or, where such a levy is payable by instalments, the first instalment of the levy) has been paid.

The Applicant should attach a copy of a receipt for any long service payment levy that has been made or make arrangements for a copy to be available to be provided to the certifying authority in the event that a complying development certificate is completed.

SECTION L. Signature of Applicant(s)

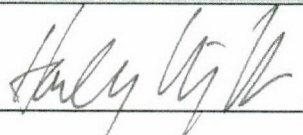
Signature of Applicant(s)		Name(s)	Andrew McGregor
Date	9 July 2015		



Application for a complying development certificate

SECTION M. Consent of owner(s)

NOTE: If the Applicant is not the owner of the property, the owner(s) must sign the following statement
As the owner(s) of the above property, I/we consent to this application.

Signature of Owner(s)		Name(s)	HARLEY WRIGHT.
Date	23/07/15		

SECTION N. Delivery of the Application

Information for the Applicant. Applications for complying development certificates must be delivered:

- by hand, or
- sent by post, or
- transmitted electronically

to the principal office of the certifying authority.

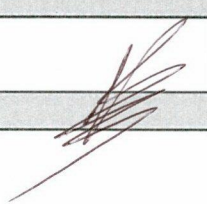
Applications MAY NOT be sent by facsimile transmission.

SECTION O. Date of Receipt of Application

To be completed by the certifying authority immediately after receiving this Application.

This application was received on

24/7/15



NOTE: COMPLETE SECTION P ON FOLLOWING PAGE



Application for a complying development certificate

SECTION P. Description of the development

1. For each proposed new building, indicate:

The number of storeys (including underground storeys) in the building

2 Storeys

The gross floor area of the building (in square metres)

3,800m²

The gross site area of the land on which the building is to be erected (in square metres)

11,550m²

2. For each proposed new residential building, indicate:

The number of existing dwellings on the land on which the new building is to be erected

The number of those existing dwellings that are to be demolished in connection with the erection of the new building

The number of dwellings to be included in the new building

Whether the new building is to be attached to any existing building

Whether the new building is to be attached to any other new building

Whether the land contains a dual occupancy

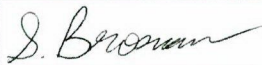
The materials to be used in the construction of the new building by completing the table below

Place a cross in each appropriate box.

Wall	Code	Roof	Code	Floor	Code	Frame	Code
<input type="checkbox"/> Brick (double)	11	<input type="checkbox"/> Tiles	10	<input type="checkbox"/> Concrete/ Slate	20	<input type="checkbox"/> Timber	40
<input type="checkbox"/> Brick (veneer)	12	<input type="checkbox"/> Concrete/ Slate	20	<input type="checkbox"/> Timber	40	<input type="checkbox"/> Steel	60
<input type="checkbox"/> Concrete/ Stone	20	<input type="checkbox"/> Fibre Cement	30	<input type="checkbox"/> Other	80	<input type="checkbox"/> Aluminium	70
<input type="checkbox"/> Fibre Cement	30	<input type="checkbox"/> Steel	60	<input type="checkbox"/> Not Specified	90	<input type="checkbox"/> Other	80
<input type="checkbox"/> Timber	40	<input type="checkbox"/> Aluminium	70			<input type="checkbox"/> Not Specified	90
<input type="checkbox"/> Curtain Glass	50	<input type="checkbox"/> Other	80				
<input type="checkbox"/> Steel	60	<input type="checkbox"/> Not Specified	90				
<input type="checkbox"/> Aluminium Cladding	70						
<input type="checkbox"/> Timber/	40						
<input type="checkbox"/> Other	80						
<input type="checkbox"/> Not Specified	90						




Record of Inspection

1. Details of application for occupancy certificate			
Name of applicant		Name of certifying authority	
Andrew McGregor		Shawn Brosnan - TT Building Surveyors	
Date of application	Date application received by certifying authority		Application Number/ File Number
9 July 2015	24 July 2015		S150603
2. Address of property			
Unit/street number		Street name	
194		Garden Street	
Suburb or town		State	Postcode
Warriewood		NSW	2102
3. Details of Inspection (tick as appropriate)			
<input checked="" type="checkbox"/> Inspection by accredited certifier			
Name of accredited certifier		Accreditation number	
Shawn Brosnan - TT Building Surveyors		BPB0758	
Date inspection carried out	27 July 2015		
Type of inspection	Pre-CDC site inspection under CI.129B EP&A Regulation 2000		
4. Current fire safety measures			
Provide details of any current fire safety measures in the existing buildings on site that were affected by the proposed development work			
N/A (or list)			
5. CDC Plans and specifications			
Do the plans and specifications that accompany the application adequately and accurately depict the condition of the existing building? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If no, list deficiencies or inaccuracies			
6. Features of the Site or Buildings			
Are there any features of the site, or of any building on the site, that would result in the proposed development either NOT being complying development or NOT complying with the Building Code of Australia? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If YES, provide details			
7. Signature			
Name of accredited certifier conducting inspection	Signature	Date	
Shawn Brosnan - TT Building Surveyors		27 July 2015	



Notice to applicant of determination of application for a complying development certificate

NOTICE TO (insert applicant's details and address below)					
Mr <input checked="" type="checkbox"/>	Ms <input type="checkbox"/>	Mrs <input type="checkbox"/>	Dr <input type="checkbox"/>	Other: <input type="checkbox"/>	
First name:		Family name			
Andrew		McGregor			
Unit/street number:		Street name:			
Level 27		135 King Street			
Suburb or town:			State:	Postcode:	
Sydney			NSW	2000	
SECTION A. Details of the development					
Flat/street number:		Street name:			
194		Garden Street			
Suburb or town:			State:	Postcode:	
Warriewood			NSW	2102	
SECTION B. Details of the application for complying development certificate					
Date received		Date determined			
24 July 2015		28 July 2015			
SECTION C. Determination					
<input checked="" type="checkbox"/> Application approved		<input type="checkbox"/> Application refused			
SECTION D. Reasons					
If the application is refused, the reasons for refusal					
SECTION E. Certifying authority					
Name of accredited certifier		Shawn Brosnan - TT Building Surveyors			
Signature					
Accreditation number		BPB0758	Date	28 July 2015	

1 | Notice to council of determination of application for a complying development certificate



Complying Development Certificate

Certificate number - S150603

This certificate authorises the Applicant (or a person having the benefit of this certificate) to carry out the development in accordance with the conditions set out in the certificate and the plans and specifications that have been approved.

A. THE APPLICATION

1. The applicant

Mr <input checked="" type="checkbox"/>	Ms <input type="checkbox"/>	Mrs <input type="checkbox"/>	Dr <input type="checkbox"/>	Other:
First name:		Family name:		
Andrew		McGregor		
Company name: (if applicable)		ABN: (if applicable)		
DPG Services Pty Ltd				
Unit/street number:	Street name:			
Level 27	135 King Street			
Suburb or town:			State:	Postcode:
Sydney			NSW	2000
Daytime telephone:	Fax:	Mobile:		
(02) 9324 8743	(02) 4944 1399	0402 400 796		
Email:				
andrew.mcgregor@opalagedcare.com.au				

2. The land

Flat/street number:	Street name:		
194	Garden Street		
Suburb or town:		State:	Postcode:
Warriewood		NSW	2102
Lot number	Section		
DP/SP number	Volume/folio		
SP 22115			
Land Use Zone			
R3 - Medium Density Residential			

3. Description of the proposed development

Internal and external refurbishment and construction of pergola structure

4. Date of the application

9 July 2015

5. Date application received by the certifying authority

24 July 2015



Complying Development Certificate

Certificate number - S150603

B. CERTIFYING AUTHORITY

Name	Shawn Brosnan - TT Building Surveyors
Address	Level 2, 10 King Street ROCKDALE NSW 2216
Accreditation number	BPB0758

C. CERTIFICATION

I certify that the proposed development is complying development, and if carried out as specified in this certificate will comply with all development standards applicable to the development and with the requirements prescribed by the Environmental Planning & Assessment Regulation 2000 concerning the issue of this certificate.

The issue of this certificate has been endorsed on the documents listed below which were provided in connection with the application for this certificate.

Note: List all plans, specifications and other documents approved and endorsed by the issue of the certificate.

150625_Marked Floor Plan_OAC Seaside Rev150626

D. CLASS OF BUILDING

Note: To be completed if the development involves the "erection of a building" (which includes the rebuilding, alteration, enlargement or extension of a building- see definition at s.4(2)(b) Environmental Planning & Assessment Act 1979 ("the Act"))

The proposed building will be a class* **9a** building under the Building Code of Australia.

**Note: If parts of the building will have different classes, include all classes*

E. CONDITIONS

This certificate is subject to the conditions set out in the attached Schedule of Conditions.

Note: Conditions may only be those required to be imposed by legislation or an environmental planning instrument.

F. ZONING

Note: To be completed for complying development under the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 ("the Policy").

The land use zone within which the land is situated is **R3 - Medium Density Residential**

Note: Also to be completed if the land is not zoned under a 'standard instrument' (ie. an environmental planning instrument made in a standard form, by order of the Governor under s.33A(2) of the EP&A Act). See-Clause 134(1A) EP&A Reg.

The equivalent land use zone applicable to the land under the Policy is **NA**



Complying Development Certificate

Certificate number - S150603

G. ATTACHMENTS

The following documents are attached (tick as appropriate):

Plans endorsed by the Certifying Authority (listed below)

150625_Marked Floor Plan_OAC Seaside Rev150626

☐ Fire Safety Schedule

☐ Fire Link Conversion Schedule

☒ Schedule of Conditions

H. DATES

Date of this certificate

28 July 2015

Date which certificate lapses

28 July 2017

I. SIGNATURE OF CERTIFYING AUTHORITY

Name

Shawn Brosnan - TT Building Surveyors

Signature



Complying Development Certificate - Schedule of Conditions

Date: 28 July 2015

Our Ref: S150603

RE: Internal and external refurbishment and construction of pergola structure
184 Garden Street, Warriewood, NSW, 2102

COMPLYING DEVELOPMENT CERTIFICATE NUMBER: S150603

Existing Classification	9a	Proposed Classification	9a
Rise in Storeys	2 Storeys	Type of Construction	N/A
Site Area	11,550m ²	Building Area	3,800m ²

A. CONDITIONS OF APPROVAL

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 – Schedule 6 & 7:-

- 1 Toilet facilities must be available for works on site to the ratio nominated within this schedule.
- 2 Garage receptacle must be provided onsite with a tight fitting lid and be maintained during all times of the works.
- 3 Construction work may only be carried out between 7.00am and 5.00pm on Monday to Saturday and no construction is to be carried out at any time on a Sunday or Public Holiday.
- 4 All Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.
- 5 Any demolition must be carried out in accordance with AS2601, The Demolition of Structures.
- 6 All materials and equipment must be stored wholly within the work site unless approval to store them elsewhere is held.
- 7 Waste materials must be managed on the site and then disposed of at a waste management facility.
- 8 At the completion of the works, the work site must be left clear of waste and debris.

B. GENERAL ADVICE

- 1 All structural work is to be completed in accordance with the approved plans and/or site instructions issued by the Structural Engineer during inspections of the various components.
- 2 All new materials and assemblies shall comply with the Fire Hazard Properties as outlined in BCA Clause C1.10 and Specification C1.10 & C1.10a. Details and specifications of the products showing compliance with the required Properties must be supplied to the Building Certifier prior to the Occupation Certificate being issued.
- 3 If alterations occur to the fire sprinkler system it must be installed in accordance with BCA E1.5 and AS2118.1. The main valves must be provided with a local alarm. A block plan must be provided to illustrate the new and/or altered system. Installation and commissioning certification must be submitted to the Building Certifier prior to the Occupation Certificate being issued.
- 4 The alterations to the existing smoke detection must be completed in accordance with BCA Clause E2.2 and AS1670.1. Installation and commissioning certification must be supplied to the Building Certifier prior to the Occupation Certificate being issued.
- 5 Waterproofing to wet areas shall be provided in accordance BCA Clause F1.7 and AS3740.

- ⁶ All new glazing assemblies in external walls shall comply with AS2047 and are limited to those specific assemblies noted in BCA Clause F1.13.
- ⁷ Specific to the new detached pergola, the following conditions will need to be met to ensure the proposed works meets the requirements of the State Environmental Planning Policy:-
- a** Have a floor area of not more than 25m²;
 - b** Not have an enclosing wall higher than 1.4m;
 - c** Be located at least 900mm from any lot boundaries;
 - d** Not be higher than 3m at its highest point above ground level;
 - e** Ensure roofwater is disposed of into an existing stormwater drainage system;
 - f** Must not interfere with the functioning of existing drainage fixtures or flow paths;
 - g** Be constructed of non-combustible material.

C. INSPECTIONS

- ¹ A final inspection shall be carried out by the PCA prior to any occupation certificate being issued. A minimum of 5 days notice is normally required.

D. CERTIFICATES

The following certificates must be provided to the Building Certifier in a single submission with all forms completed in accordance with Clause 109 of the Environmental Planning and Assessment Act 1979.

In accordance with the Environmental Planning and Assessment Act 1979 Clause 109. Occupation of this building is not permitted, until an Occupancy Certificate has been issued. This certificate is issued when the works have reached the stage of substantially completed and is dependant upon:-

- A** Satisfaction of all conditions nominated in association with the review of this application;
- B** Satisfaction of the requirements in regard to inspections;
- C** Certificates generally to be provided:-
 - ¹ Structural engineers inspection certification for all structural elements;
 - ² Details and Specification for assemblies and floor coverings showing Fire Hazard Properties compliance with BCA Specification C1.10;
 - ³ Installation certification for the waterproofing of wet areas stating compliance with AS3740;

Please do not hesitate to contact the writer should you have any queries or require further clarification relating to these conditions.

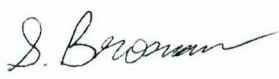
Yours faithfully,



**Shawn Brosnan - TT Building Surveyors
Building Consultants**

BPB0758

Notice to council of appointment of principal certifying authority (PCA)

NOTICE TO (insert applicant's details and address below)			
Council name:		Street number/street name:	
Pittwater Council		PO Box 882	
Suburb or town:		State:	Postcode:
Mona Vale		NSW	1660
SECTION A. Development details			
Development address	194 Garden Street Warriewood NSW 2102		
Description of the building work or subdivision work			
Internal and external refurbishment and construction of pergola structure			
SECTION B. Details of complying development certificate (CDC)			
Name of certifying authority		Date of CDC	CDC number/identifier
Shawn Brosnan - TT Building Surveyors		28 July 2015	S150603
SECTION C. Details of person appointing the PCA			
Name:		Street number/street name:	
Andrew McGregor		Level 27 135 King Street	
Suburb or town:		State:	Postcode:
Sydney		NSW	2000
Daytime telephone:	Fax:	Email:	
(02) 9324 8743	(02) 4944 1399	andrew.mcgregor@opalagedcare.com.au	
SECTION D. PCA details			
Name of PCA:		Accreditation Number:	
Shawn Brosnan - TT Building Surveyors		BPB0758	
Address:	Level 2, 10 King Street ROCKDALE NSW 2216		
Business Phone:	Fax:	Email:	
(07) 3253 1200	(07) 3253 1299	shawn@ttbuildingsurveyors.com.au	
SECTION E. Consent to appointment			
Name of PCA:	Shawn Brosnan - TT Building Surveyors	consent to being appointed as the PCA for the development.	
Signed By the PCA:			
Date:	28 July 2015		



Notice of Inspections

NOTICE TO (insert details of the person who appointed the PCA)

Name:	Street number/street name:	
Andrew McGregor	Level 27 135 King Street	
Suburb or town:	State:	Postcode:
Sydney	NSW	2000
Daytime telephone:	Fax:	Email:
(02) 9324 8743	(02) 4944 1399	andrew.mcgregor@opalagedcare.com.au

SECTION A. Development details

Development address	194 Garden Street Warriewood NSW 2102
---------------------	--

Description of the building work or subdivision work

Internal and external refurbishment and construction of pergola structure

SECTION B. Details of complying development certificate (CDC)

Name of certifying authority	Date of CDC	CDC number/identifier
Shawn Brosnan - TT Building Surveyors	28 July 2015	S150603

SECTION D. PCA details

Name of PCA:	Accreditation Number:
Shawn Brosnan - TT Building Surveyors	BPB0758

Address:	Level 2, 10 King Street ROCKDALE NSW 2216
----------	--


Business Phone:	Fax:	Email:
(07) 3253 1200	(07) 3253 1299	shawn@ttbuildingsurveyors.com.au

SECTION D. Inspections

The work is required to be inspected on the occasions listed below

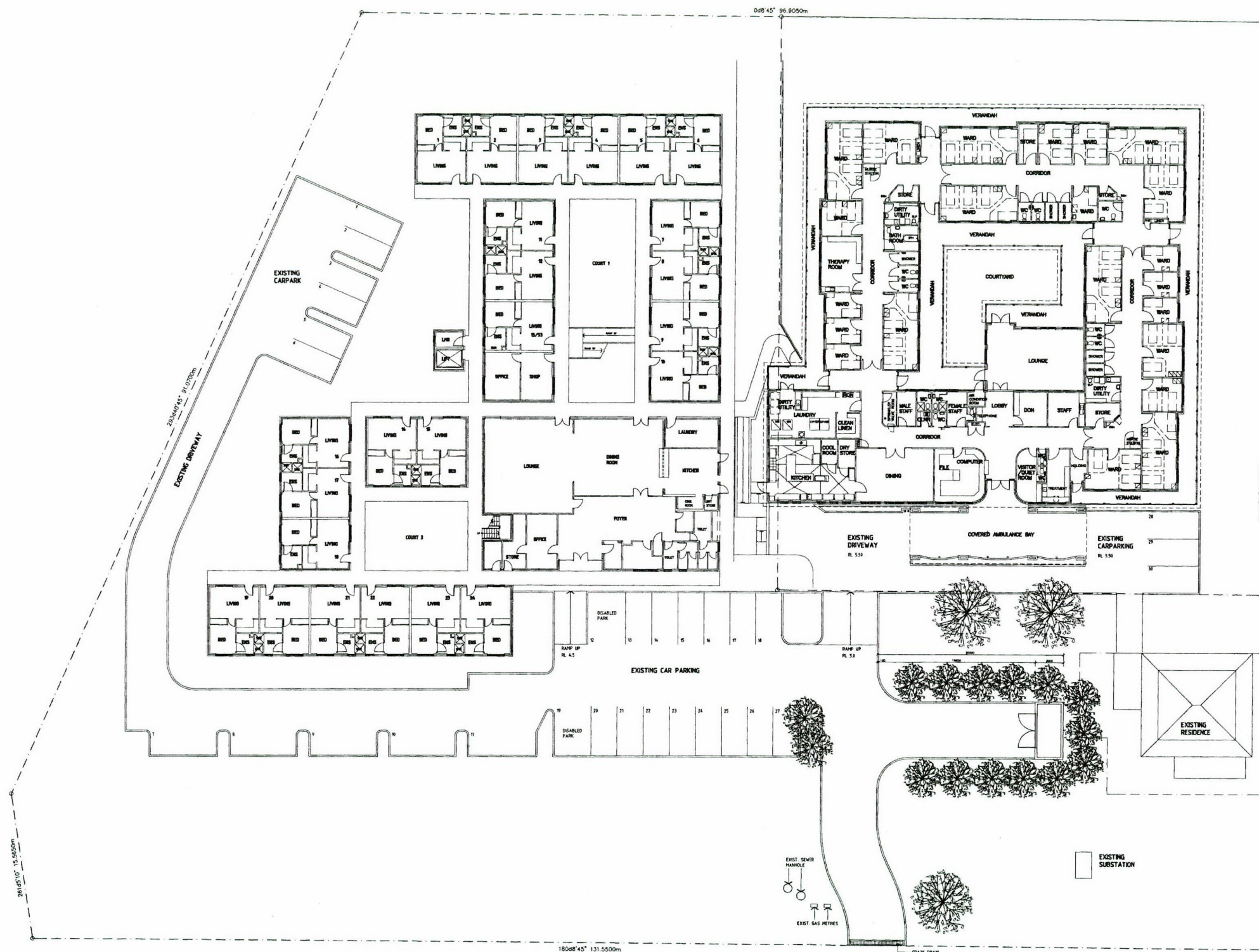
- Final Inspection

NOTE: If a principal contractor has been appointed, a copy of this notice should be provided to that contractor

PCA's Signature		Date	28 July 2015
-----------------	---	------	---------------------



NOTES -



SITE PLAN

0 2m 4m 10m
1m 3m 5m

RECEIVED BY TT BUILDING
SURVEYORS PTY LTD

Job # S150603

Date Received 6th June 2015

APPROVED BY TT BUILDING
SURVEYORS PTY LTD

Certificate # S150603

Date Approved 28th July 2015

This is an Approved Document accompanying the
approval and conditions for the proposed development

Date Rev. Amendments By
PROJECT
SEASIDE RESIDENTIAL AGED CARE
FACILITY

LOT DP
184 GARDEN STREET
WARRIEWOOD NSW 2102

CLIENT
MORAN HEALTH CARE (AUST.) PTY. LTD.
ACN 082 466 457

PROJECT MANAGERS
MORAN HEALTH CARE GROUP
ACN 008 585 242

SHEET TITLE

SITE PLAN

Scale 1:200 Job number Sheet
Date 26.02.2002
Checked Drawn cad Rev. A

**MORAN HEALTH
CARE GROUP**
A C N 008 585 242



13-15 BRIDGE STREET,
SYDNEY, N.S.W. 2000
Ph: (02) 9247 6666 Fax: (02) 9247 5510

NOTE
Contractors must verify all dimensions before commencing any work
or shop drawings.
Any discrepancies must be clarified with Moran Health Care Group.
Figured dimensions in preference to scale readings.

COPYRIGHT ©
This drawing is the property of Moran Health Care Group and must
not be used and/or reproduced in whole or part in any way
without the company's written permission.

2.000
SEA-SITE

3'45" 96.9050m

MARKED UP PLAN & SCOPE 25/06/15
SHEET 1 of 1 A/C.HIGH CARE WING - OPAL AGED CARE "SEASIDE"
INTERNAL & EXTERNAL WORKS.

KEY

- ☐ New Floor Vinyl (Flat Laid)
- ☐ New Wet Area Vinyl (Floor and Wall)
- ☐ New Carpet.

GENERAL SCOPE

+++ Pool Type Fencing (Black) 1500 high.

- ☐ External concrete path approx 1400mm wide "curved &/or figure 8 looped path".
- ☒ Pre-finished Pergola (weatherproof).

- New floor finishes as nominated (refer finishes schedule).
- Paint & Patch corridor walls, doors and frames.
- Re-stain (varnish) handrails and skirtings to corridors.
- ⊗ New pendant type lights to lounge/lobby.
- New joinery as nominated (refer finishes schedule).
- Landscaping works as nominated.
- WC & Bathroom refurbishment including new fixtures (enhanced operational use).
- 4 nurse wash station upgrades

New lights (LED oyster round type) to replace existing ceiling mounted fluorescents (reduce lighting levels).

New Nurse station (joinery & services relocation)

Existing fence & egress gate (keypad & fire trip)

New tapware, mirror & splashback.

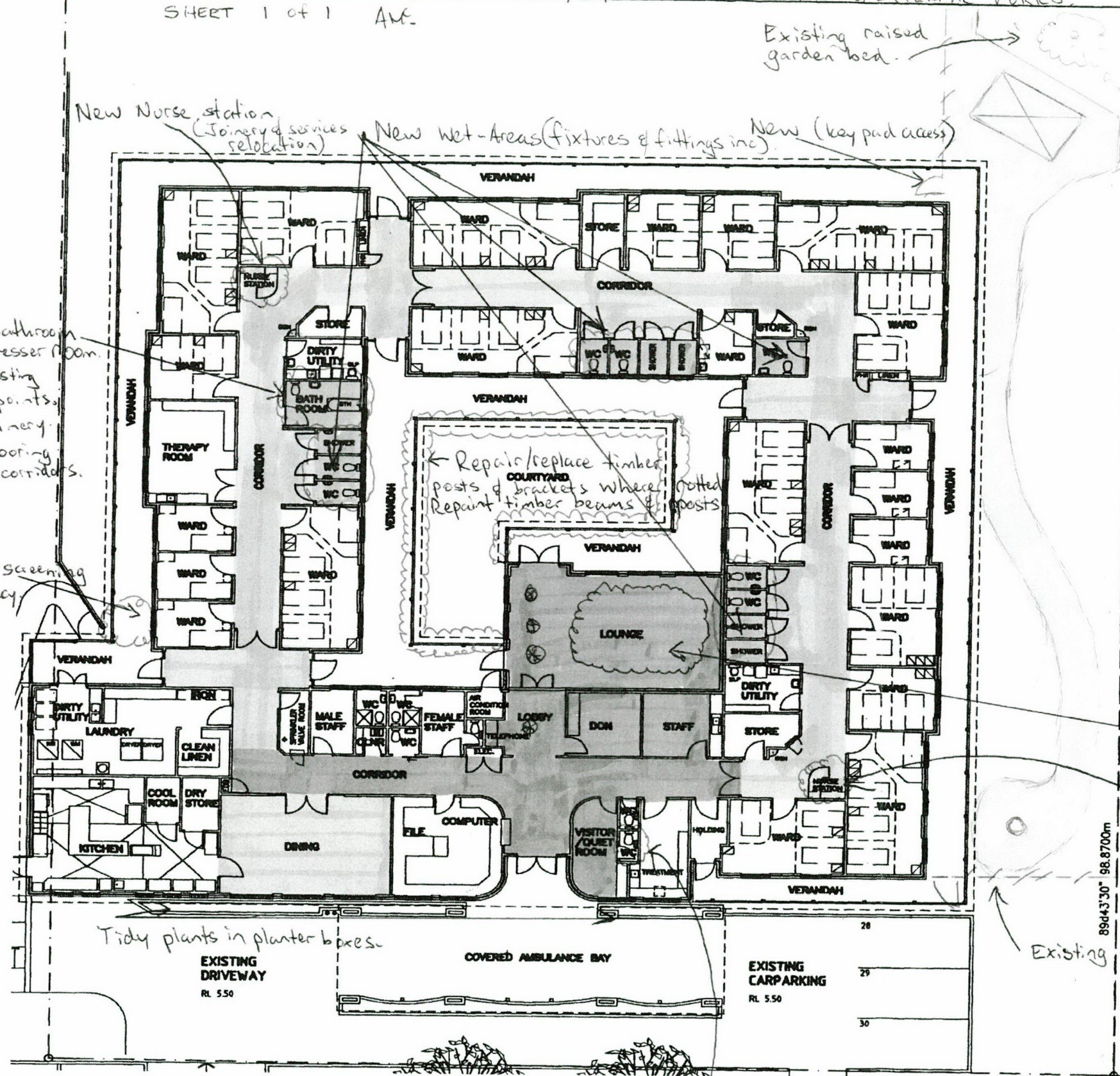
Convert bathroom to hairdresser room.
Keep existing plumbing points.
New joinery.
New flooring as per corridors.

Provide screening for privacy.

New Nurse station
(Joinery & services relocation)

New Wet-Areas (fixtures & fittings inc.)

New (key pad access)

Repair/replace timber posts & brackets where rotted
Repaint timber beams & postsRECEIVED BY TT BUILDING
SURVEYORS PTY LTD

Job # S150603

Date Received 6th June 2015

APPROVED BY TT BUILDING
SURVEYORS PTY LTD

Certificate # S150603

Date Approved 28th July 2015

This is an Approved Document accompanying the
approval and conditions for the proposed development