

Fixtures and systems		
Hot water		
The applicant must install the following hot water system in the development: gas instantaneous.		
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
internal wall shared with garage: plasterboard (R0.36)	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorbance > 0.70)
Glazing requirements		
Windows and glazed doors		
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.		

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	SW	4.62	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	SE	1.89	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	SE	5.04	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	NE	7.59	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5	NW	0.96	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6	NE	2.96	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	NE	1.7	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	NW	6.98	1.46	2.85	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	NW	6.6	3.17	3.2	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	SE	0.62	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	SE	0.94	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	NE	5.98	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W13	NE	5.98	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14	NE	0.36	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.						
The following requirements must also be satisfied in relation to each skylight:						
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type			
S1	1.5	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)			

02 Schedule of Basix Commitments
As per Certificate No.A436170



DA Drawing List

- A100 Site & Roof Plan & Basix Commitments
A101 Existing Basement & Lower Level Floor Plan
A102 Existing Mid & Upper Level Floor Plan
A103 Existing Elevations
A104 Proposed Basement & Lower Level Floor Plan
A105 Proposed Mid & Upper Level Floor Plan
A200 Proposed Elevations
A300 Shadow Diagrams
A401 View from 43 Attunga St
A402 View from 45 Attunga St
A403 Photo Image Locations
A405 Headland View from No.32 The Serpentine
A801 Landscape Areas
A802 Build Upon Area
A803 8m Building Height Plane
A804 Driveway Plan and Section

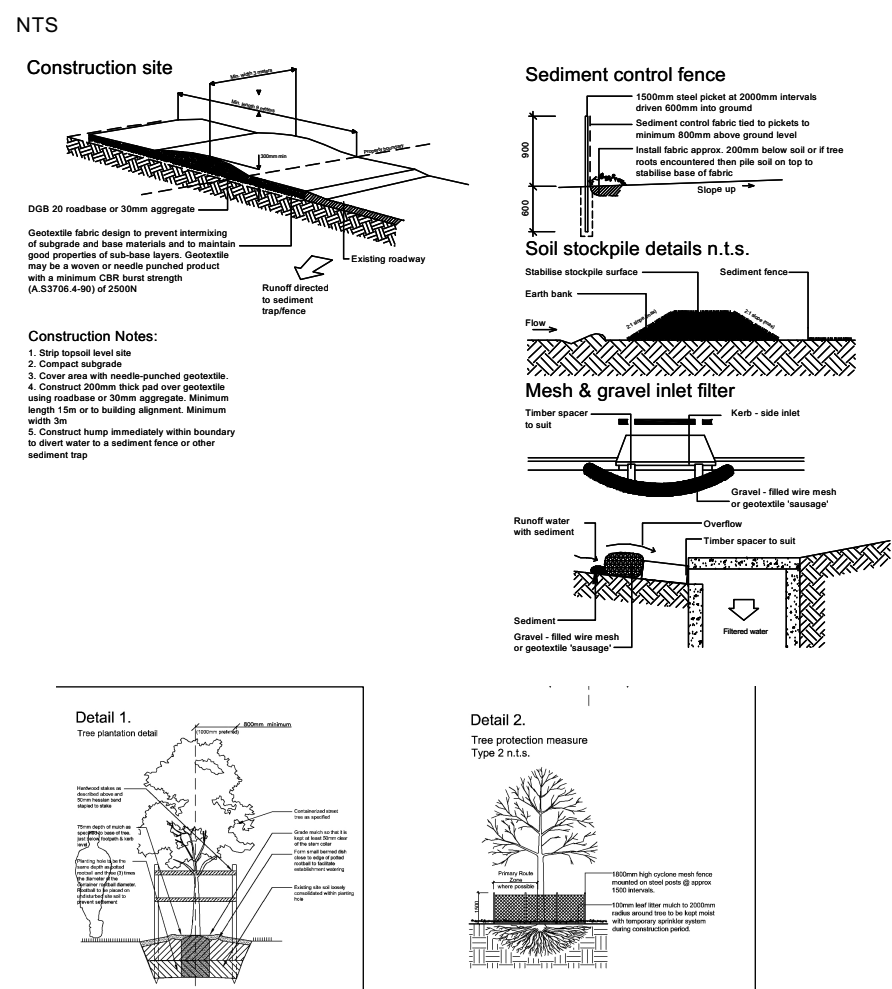
Stormwater Note:
New Downpipes to connect into existing system.

LEGEND	
	Area of New or Altered Work
	Existing Wall To Remain
	Proposed New Brick Veneer Walls
	Proposed New Lightweight Walls
	Structure or Wall To Be Demolished
	Sediment Control Fence

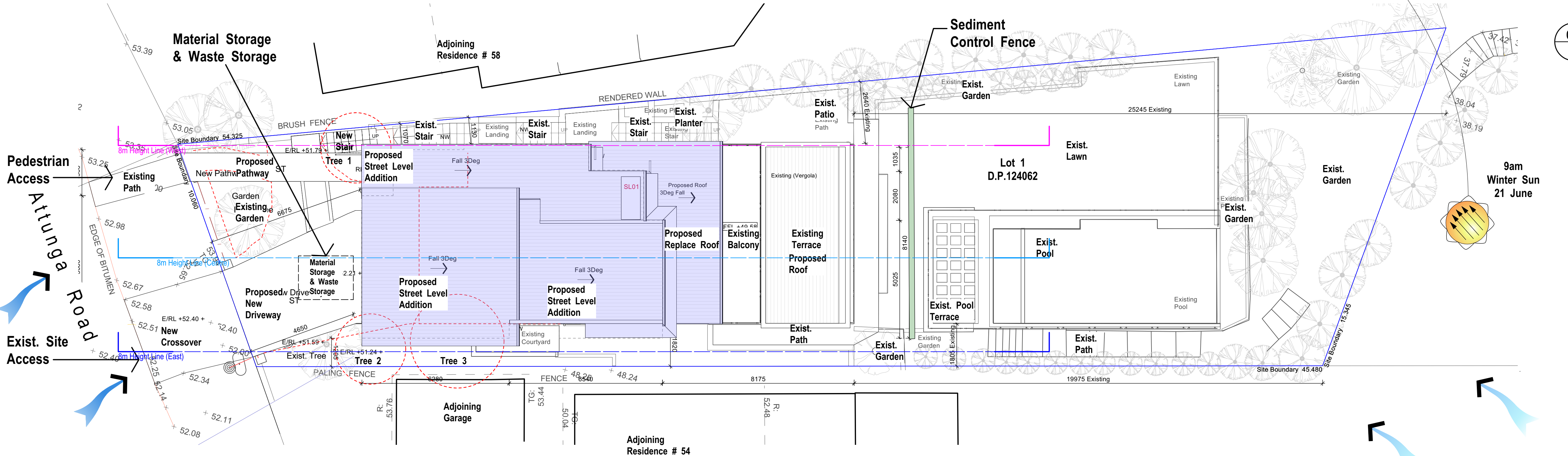


01 Location Plan

PROPOSED DEVELOPMENT



04 Sediment Control Diagrams



03 Site & Roof Plan

Scale: 1:100

B	29/3/22	DA Re-Issue	PCA
A	26/10/21	DA Issue	PCA
rev	date	revision notes	by
Figured dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings			
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project	project # 19-778		

Wearne Residence

56 Attunga Road
Newport, NSW 2096
Lot 1, DP 124062
client

Claire & Tim Wearne

dwg

Site & Roof Plan

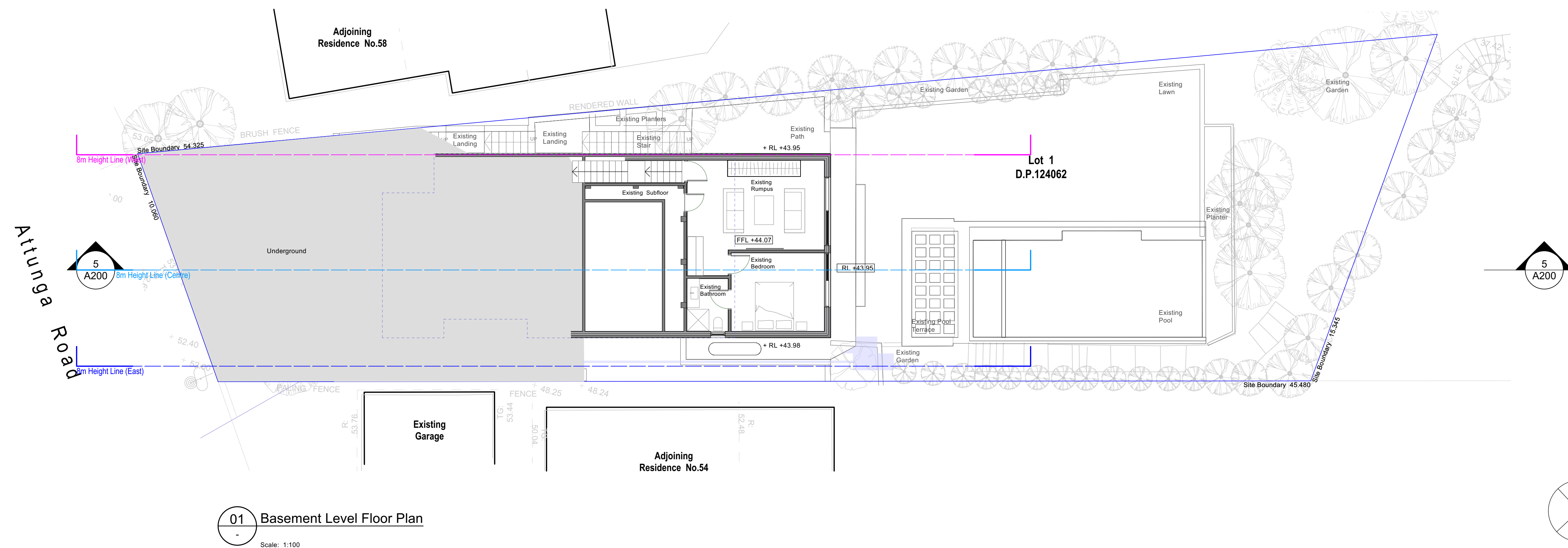
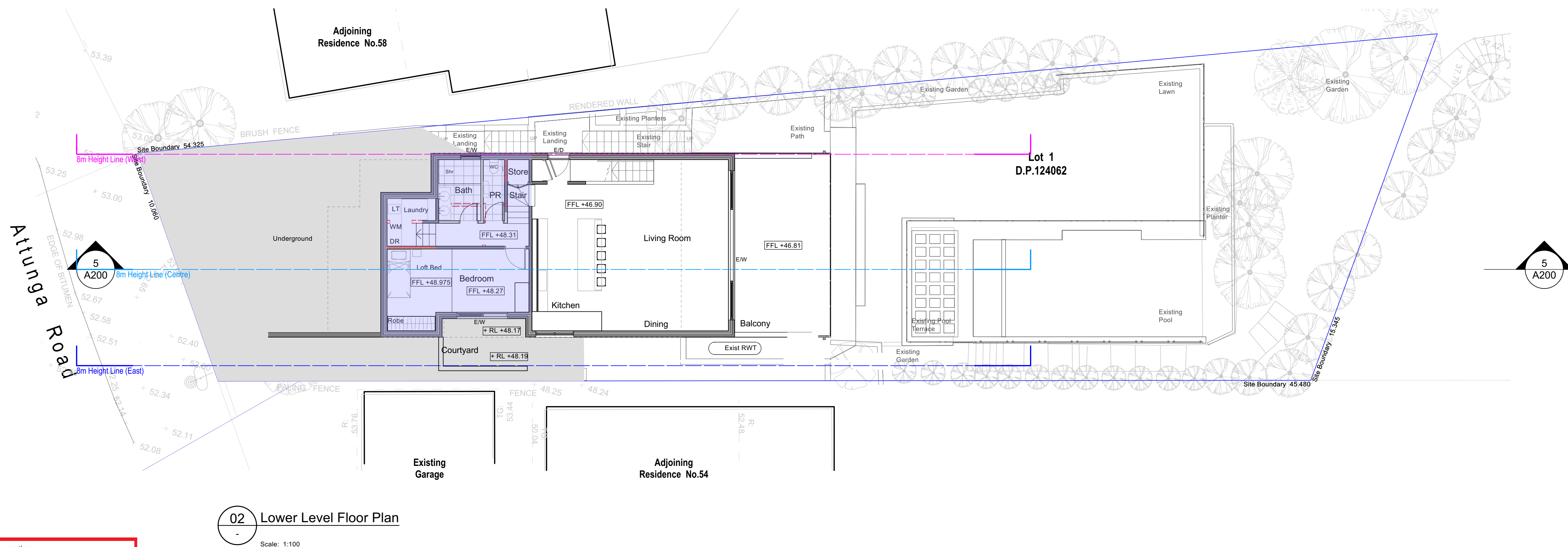
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29/3/22	PCA	LP	1:100

DEVELOPMENT APPLICATION

stage	drawing #	revision
DA	A100	B








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GENERAL LEGEND	
COS	Check On Close
DAR	Dressed All Round
EAR	Existing (Where E shown at start of abbreviation it is existing)
FCL	Finished Floor Level
G.L	Finished Ceiling Level
G.L	Ground Level
MI	Mirror Image
SFL	Structural Floor Level
SOFS	Soft of Slab
TBC	To Be Confirmed
TBA	To Be Advised
WINDOWS AND DOORS	
AW	Awining Window
CD	Concertina Door
CSD	Cavity Sliding Door
CW	Casement Window
D	Door
DH	Double Hung Window
FD	Front Door
FG	Fixed Glass
FP	Fixed Panel
GA	Glazed Assembly
MI	Mirror Image
SD	Swing Door
SDH	Sashless Double Hung
SL	Sliding Door
SW	Sliding Window
W	Window
FINISHES LEGEND	
AL	Aluminium
AR	Architrave
BBO	Barquette
BL	Balustrade
BWK	Brickwork
CBF	Concrete Broom Finish
CBO	Colour Back Glass
CP	Concrete Paver
CPRT	Carpet and Underlay
CR	Cement Render
FC	Cement Rendered Formboard
CS	Concrete Slab
FT	Finished Floor Level
CT	Ceramic Tile
DP	Dowplice
SP	Downpiping
DS	Door Sill
EG	Eaves Fascia
ES	Eaves Gutter
EGF	Eaves Gable Fascia
ESF	Eaves Soffit
F	Fence
FC	Fibre Cement
FFL	Finished Ceiling Level
FCL	Finished Floor Level
FGR	Floor Grate
FL	Flue
FP	Fixed Panel
FLP	Fire Place
FT	Floor Tiles
G	Gate
GC	Grated Cocks
GD	Garage Door
GRD	Grated Drain
GU	Guard
GMT	Glaze Mosaic Tiles
HC	Hot Cold Roof
HC	Hose Cock
HR	Handrail
HWR	Hot Water Unit
INS	Insulation
M	Metal
MC	Metal Cladding
MFC	Metal Fascia Capping
MR	Membrane Roof
MRO	Metal Roofing Colorbond
MS	Mild Steel
OP	Overflow Spitter
PF	Paint Finish
PB	Plasterboard Paint
PBM	Plasterboard Moisture Resistant Paint
PCRS	Polyconcrete Roof Sheet
PFN	Pool Finish
PR	Picture Rail
RB	Roller Blind
RD	Roller Door
RWH	Rain Water Head
RL	Rendered Lightweight Concrete
RT	Roof Tile
SC	Steel Column
SCE	Steel Column External
SE	Steel Frame
SK	Skirting
SL	Skylight
SP	Spigot
SPR	Spreader
SS	Stainless Steel
SSL	Structural Slab Level
ST	Stone
STP	Stone Paving
STS	Stone Slab
T	Timber
TB	Timber Battens
TC	Timber Cladding
TD	Timber Decking
TF	Timber Floor
TFA	Timber Fascia
TP	Timber Post
TPL	Timber Pergola
TS	Timber Screen
TSS	Timber Shingles
TSH	Timber SLEEPER Wall
TSH	Timber Screen Sliding
TV	Television
TV	Water Treat Unit
WB	Weather Board
WPC	Western Red Cedar
WT	Wall Tile

LEGEND

	Area of New or Altered Work
	Existing Wall To Remain
	Proposed New Brick Veneer Walls
	Proposed New Lightweight Walls
	Structure or Wall To Be Demolished

B	28/3/22	DA Re-issue	PCA
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rev		revision notes	by

Figure dimensions to be taken in preference to scaling. Contractor to verify all dimensions on job before commencing any work or making shop drawings.

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project	project #	19-778
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Wearne Residence

56 Attunga Road
 Newport, NSW 2096
 Lot 1, DP 124062


client

Claire & Tim Wearne

dwg

Proposed Basement & Lower Level Floor Plan

printed	drawn	chkd	scales
28/3/22	PCA	ldp	1:100

DEVELOPMENT APPLICATION		
stage	drawing #	revision
DA	A104	B
11 marian street killara new 2071 P 0 2 9458 0811 F 0 2 9458 4970		
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Scale: 1:100

+36.24	Exist. Level
RL +37.40 -	New Site Level
FFL +37.40 -	Finished Floor Level

Scale: 1:100

LEGEND

	Area of New or Altered Work
	Existing Wall To Remain
	Proposed New Brick Veneer Walls
	Proposed New Lightweight Walls
	Structure or Wall To Be Demolished

B	28/3/22	DA Re-issue	PCA
A	26/10/21	DA Issue	PCA
rev	date	revision notes	by

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Wearne Residence
56 Attunga Road
Newport, NSW 2096
Lot 1, DP 124062

Claire & Tim Wearne

Proposed Mid & Upper Level Floor Plan

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28/3/22	PCA	LP	1:100

DEVELOPMENT APPLICATION

stage	drawing #	revision
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DA	A105	B
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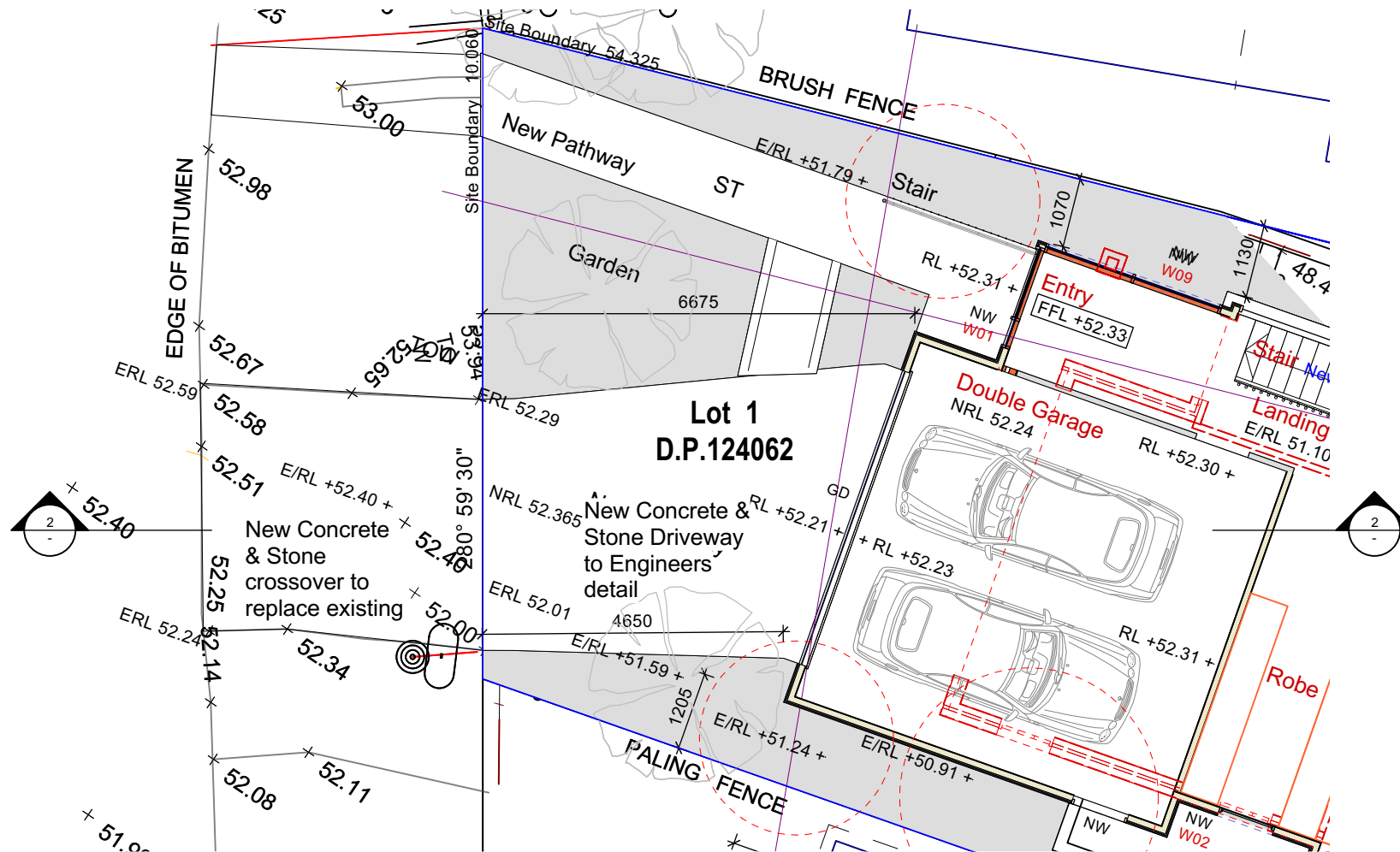


northern
beaches
council

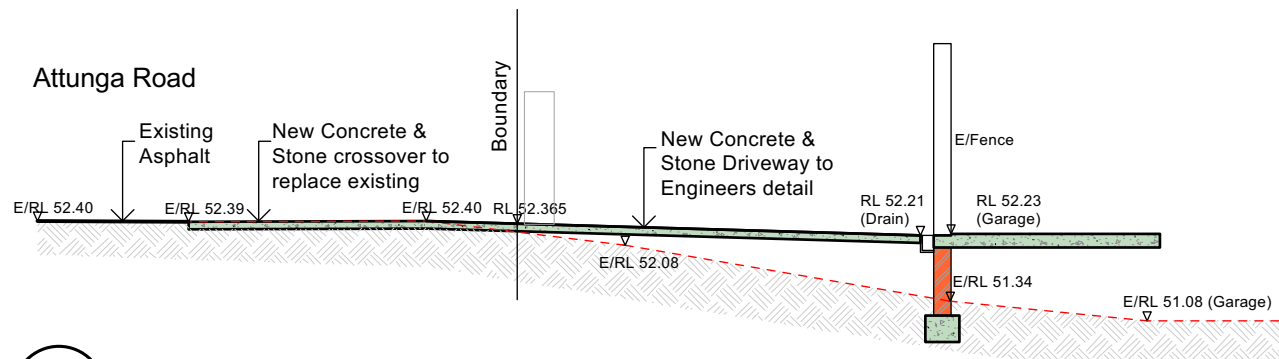
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/2372

Attunga Road



02 Driveway Plan
Scale: 1:100



01 Driveway Section
Scale: 1:100