



**STATEMENT OF ENVIRONMENTAL EFFECTS  
(INCORPORATING A SITE ANALYSIS)**

*FOR*

**PROPOSED ALTERATIONS AND ADDITIONS**

*AT*

**82 EPPING DRIVE,  
FRENCHS FOREST NSW 2086**

*PREPARED FOR:*

**MR. McDONALD & MRS. CLEARY**

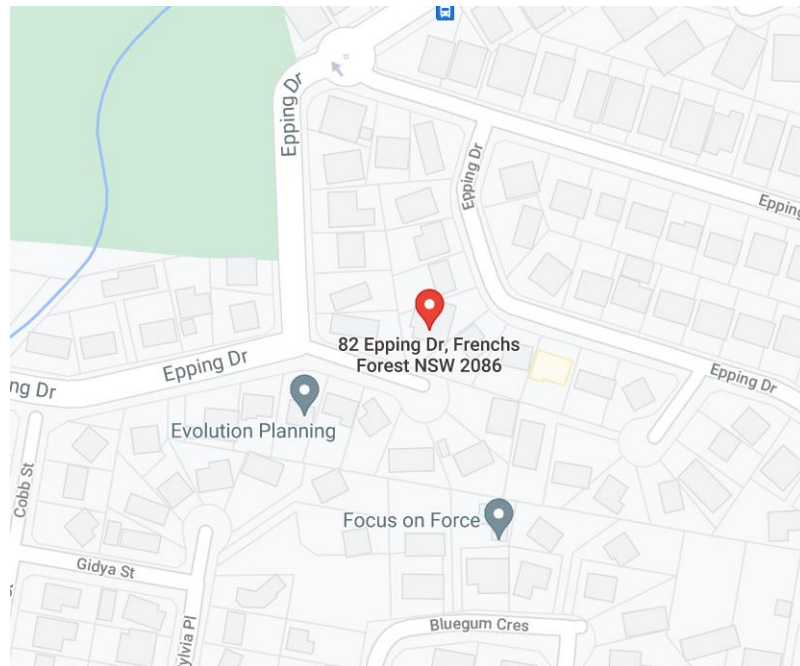
**APRIL 2021**

*BY*

**IMMACULATE HOMES  
P.O. Box 7112  
BAULKHAM HILLS NSW 2153**

## INTRODUCTION

This Statement of Environmental Effects and Site Analysis accompanies plans prepared by Immaculate Homes being drawing No. 0739/20, sheets DA01 - DA06 (inclusive), dated December 2020, for submission to Northern Beaches Council as a Development Application for proposed Alterations and Additions at 82 Epping Drive, Frenchs Forest NSW 2086.



*Locality Map For 82 Epping Drive, Frenchs Forest NSW 2086  
(Image Obtained from [www.google.com.au/maps](http://www.google.com.au/maps))*

The statement examines the plans taking from the relevant matters of the Northern Beaches Council's:-

Warringah Local Environmental Plan 2011

Warringah Development Control Plan 2011

## **SITE ANALYSIS**

### **PROPERTY DESCRIPTION**

The subject site is a wedge /shape allotment, being Lot 27; DP216410 with the total Site Area 854.2m<sup>2</sup>.

12.27m (arc boundary) Fronting Epping Drive Eastern boundary  
40.33m to the Northern side boundary  
25.58m to the Western rear boundary  
2.74m to the South-Western boundary  
47.325m to the Southern side boundary

### **Physical Description**

Epping Drive generally runs in the East to West direction, However, the location of the subject site on the street that it is located on is running North to South direction. The subject site is located on the Western side of the street. The natural ground is sloping up from front to rear of site (East to West). The ground had been excavated to provide a flatter ground for parking facilities with the dwelling sited above. Portion of the subject dwelling appeared to be 2 storey from street level as to accommodate a single garage below ground floor level. Ground level also been excavated to rear of dwelling to accommodate the Alfresco and in-ground swimming pool.

The subject dwelling is a single storey dwelling with a 2-storey portion for a garage. The dwelling is a rendered brick veneer construction with cement roof tiles. The site contains a double carport located forward of the dwelling. An in-ground swimming pool with Alfresco area directly access from internal living area.

The subject site is within Residential Zone – R2 Low Density Residential.

The subject site is within Land slip risk map – Area B.



Plate 1 - Showing subject dwelling as view from street level.



Plate 2





Plate 3 – Plate 2 & 3 Showing subject dwelling from rear yard

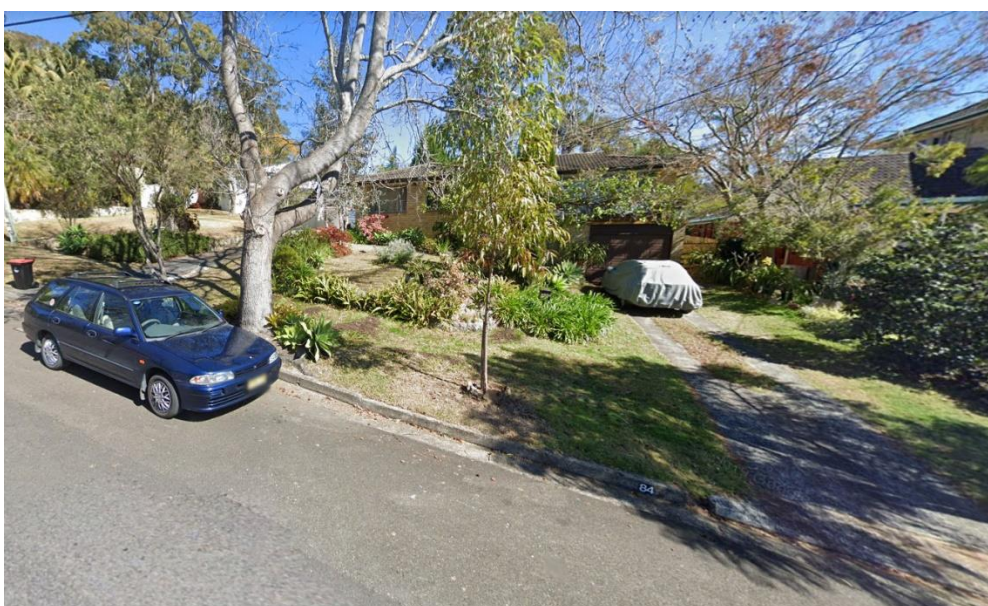


Plate 4 – Adjoining property No. 84 Epping Drive. A single storey brick dwelling with a garage located below the dwelling.





Plate 5 –Showing the adjoining property No. 80. The dwelling is a single storey rendered dwelling-house. The dwelling structure is not visible from street level.

## **The Proposal**

The proposed ground floor internal alterations including removing all kitchen fixtures, removing all laundry fixtures and partition wall between kitchen and laundry to install new kitchen fixtures to include laundry cupboard.

Remove bedroom 3 walls and robe to accommodate a new stair to proposed First floor addition.

A first-floor additions which consists of sleeping quarters, master bedroom with ensuite and walk-in-robe, 2 additional bedrooms, a sitting area and a bathroom.

## **Part B Built Form Controls**

### **B1 Wall Heights**

Proposed maximum ceiling height to North-Eastern corner of first floor wall is 6.86m.

Proposed maximum ceiling height complied with Council's requirement.

Proposed overall building height is below Council's regulation of 8.5m.

Refer Dwg No. DA05-Proposed Elevations & Section for more details.

### **B2 Number of Storeys**

The existing dwelling is a single storey with the additional first floor over. Maximum 2 storey is proposed with this development application.

### **B3 Side Boundary Envelope**

The proposed first floor to the southern corner eave (only) encroach the side boundary envelopes, where other parts of the proposed first-floor are further in from the boundaries.

The proposed first-floor southern corner is the only portion that is closest to the adjoining property No. 80 and the walls are splayed away from the adjoining dwelling north-western wall. Over bearing affect from the proposed first-floor will not be imposing.

### **B4 Site Coverage**

Site Coverage is NOT applicable to the subject site in accordance with the DCP Map Site Coverage.

### **B5 Side Boundary Setbacks**

In accordance with the Side Boundary Setbacks Map, the subject site is a zone where side setbacks is 0.9m.

Proposed southern side boundary for proposed first floor is 1.635m.

Proposed northern side boundary for proposed first floor is 4.45m.

### **B7 Front Boundary Setbacks**

In accordance with the Front Boundary Setbacks Map, minimum front setback is 6.5m.

Proposed eastern side boundary for proposed first floor is 19.94m.

### **B9 Rear Boundary Setbacks**

In accordance with the Rear Boundary Setbacks Map, minimum rear setback is 6.0m.

Proposed western rear boundary is 7.765m.

All proposed first floor boundary setbacks complied with Council's minimum requirements.

## **Part C Siting Factors**

### **C1 Subdivision**

NOT applicable.

### **C2 Traffic, Access and Safety**

Subject site located within a small quite street where the road is mainly serving local traffic. Existing pedestrian and vehicles access arrangement will remain unaltered with this development application.

### **C3     Parking Facilities**

Existing property provided a single garage and a double carport. The subject site provides the required off-street car parking spaces. The proposed alterations and additions do not include parking facility as part of the development submission.

### **C4     Stormwater**

The proposed first-floor addition is located within existing dwelling footprint; thus, no new added stormwater will be coming from the proposal.  
All stormwater from the proposed first-floor will be connected to existing drainage system.

### **C5     Erosion and Sedimentation**

Refer Erosion and Sediment control plan drawing No. DA02 for more details.

### **C6     Building over or adjacent to Constructed Council Drainage Easements**

NOT applicable.

### **C7     Excavation and Landfill**

The proposal does not require Excavation nor Landfill.

### **C8     Demolition and Construction**

Refer Waste Management Plan submitted with this development application for more details.

### **C9     Waste Management**

Refer Waste Management Plan submitted with this development application for more details.

## **Part D         Design**

### **D1     Landscaped Open Space and Bushland Setting**

In accordance with the Landscaped Open Space and Bushland Map, minimum 40% of site area of Landscaped Open Space is required.

Proposed alterations and additions are within existing dwelling footprint where existing landscaped open space will remain unaltered.

### **D2     Private Open Space**

Minimum requirement of Private Open Space for the subject site is 60m<sup>2</sup>.

Existing Alfresco, swimming pool and rear yard area provide 283.73m<sup>2</sup> of Private Open Space required.

Existing private open space will not be affected by the proposal.



### **D3 Noise**

Proposed first-floor consists of bedrooms and a small sitting area. Noises generate from the first-floor will be minimal.

Noise generated from the subject site may only be small Air Conditioning unit which will not add up to the maximum allowable noise of 5db(A).

### **D4 Electromagnetic Radiation**

NOT applicable.

### **D6 Access to Sunlight**

Due to the orientation of the site and the subject dwelling structure, the private open space of the subject site and adjoining property No. 80 are the only 2 properties affected by the shadow cast from the proposed first-floor addition. The added shadow cast from the proposal is not overly large due the raise of the ground level on both properties. Although the shadow being cast on both sites, both sites will receive minimum of 3 hours of sunlight throughout the day to the rear open space. Refer to DWG No. DA06 – Existing/Proposed Shadow Diagrams for more details.

### **D7 Views**

There is no significant view from Epping Drive. The proposed first-floor will not obstruct view for the surrounding properties.

### **D8 Privacy**

Window openings on the first floor facing adjoining properties are for collecting sunlight and cross ventilation for bedrooms, sitting area and bathroom. Overlooking from these windows will be minimal.

### **D9 Building Bulk**

Due to the orientation of the existing dwelling structure on site, the proposed first floor addition is sited in the same orientation which will appear lesser bulkiness from the adjoining properties and from the streetscape. Large long walls are not in located along the common boundaries to both side adjoining properties, thus, overbearing impact is minimal.

Closest part of the dwelling to the adjoining property No. 80 is the southern corner of the proposed first floor which is 1.635m away from the boundary. From there walls are splayed away from the boundary which will visually reduce the size of the proposed structure as view from the neighbouring property.

Closest part of the dwelling to the adjoining property No. 84 is the northern corner of the proposed first floor which is 4.45m away from the boundary. The bulkiness of the proposed structure will have very little impact toward the adjoining property.

Proposed first floor structure overall building height is below Council's maximum allowable height.

Due to the orientation of the dwelling structure from side boundaries, most part of the proposed first floor structure are well away from the boundaries which will stay within

the prescribed building envelope, with the exception of the proposed southern corner of the structure which has the setback distance of 1.635m from the side boundary. This corner of the first-floor structure/wall is within the building envelope and the eave portion of the roof encroached the building envelope. This small encroachment will have very little to no effect to the adjoining property as the roof structure also splayed away from the boundary.

Viewing from the street level, the structure is well setback from the front boundary which will pose very little negative impact to the streetscape.

Overall, the proposed first floor addition will have no negative impact to the surrounding.

#### **D10 Building Colours and Materials**

Proposed first-floor external walls will be timber frame with select rendered foam cladding, colour will be similar to ground floor rendered wall.

First-floor roof tiles will be similar to existing.

Proposed first-floor colours scheme will blend-in with the existing dwelling.

#### **D11 Roofs**

Proposed first-floor roof pitch will be similar to existing. By keeping the roof pitch low can also minimise the overall building bulk and additional shadow cast.

Proposed colour and material will be similar to existing dwelling.

#### **D12 Glare and Reflection**

The proposed materials use will have little to no glare or reflection.

#### **D13 Front Fences and Front Walls**

Not applicable.

#### **D14 Site Facilities**

All existing site facilities will remain unaltered.

#### **D15 Side and Rear fences**

All side and rear fences will remain unaltered.

#### **D16 Swimming Pools and Spa Pools**

Existing swimming pool will remain.

#### **D17 Tennis Courts**

NOT applicable.

**D18 Accessibility**

NOT applicable.

**D20 Safety and Security**

The dwelling layout will allow for casual surveillance. Front entrance and windows to front rooms will provide the required surveillance.

**Conclusion**

It is submitted that the proposed Alterations and Additions to the dwelling-house at 82 Epping Drive will have no adverse effects on the already established neighbouring properties, and it will sit comfortably within the future neighbourhood.

A handwritten signature in dark ink, appearing to read 'Patrick Tran', with a stylized, cursive script.

Patrick Tran