

NORTHERN BEACHES COUNCIL

Development Application

REPORT No6 - Site Analysis and Photograph display

SHOWING OVERALL SITE CONSTRAINTS

at

Lot 8 / 17 Carew Street Dee Why

for

B. W. & A. R. Andrews

1. General Description of the Site

No 17 is a large 66m x 15m (953m²) site, fronting Carew Street and located almost at the brow of the hill on the low side of Bushey Place, a narrow laneway. The dwelling is a pre fabricated timber cottage raised 2.4m above ground, with an open carport and brick laundry under. Although it is two storey, the top level only is habitable. Street level is 1m higher than the carport, resulting in the house blending into the surrounding topography and vegetation. The site slopes to the back fence some 4.5m over its 66m length.

2. Sightlines to Neighbouring Properties

A rear open deck is set a high 5m above the ground and overlooks the lower neighbouring house No15 only, as the rear property (No 33 The Crescent) has no habitable building adjacent to this site. The neighbouring house to the south is separated from the site by two 1.8m high fences along Bushey Place boundaries and its floor level is almost equal to deck level.

To the north, No 15 Carew Street is set back from the road boundary some 37m, resulting in it being quite a distance of 11m further towards the rear of the property than the deck. With the positioning of the picture windows facing north, activities on the deck are generally out of view of these neighbours. Much of this adjoining site is heavily timbered with bushes, shrubs and trees up to the boundary directly adjacent to the construction site, thus reducing any visual and noise impact the proposed construction work and occupancy may create.

To the south and across the laneway, No19 floor level is almost identical to the first floor & deck levels. The clear distance between the two dwellings is 8.7m, thereby being well clear of any visual intrusions.

It should be noted that the existing deck and verandah have existed for 20 years without issue and any proposed new works will be carried out on the ground level understorey.

3. Traffic Issues

Carew Street is a back-road leading from Dee Why to North Curl Curl, hence the traffic flow is relatively significant at peak periods. Bushey Place is a quiet laneway with occasional traffic. As No17 site is quite large, there is sufficient parking and work space to accommodate the likely 2 or 3 workers required for this project. Hard surface parking is sufficient for up to 4-5 vehicles. Additional parking on grass at the rear of the site will be weather-dependent. As there will be insignificant demolition waste, this will likely be accommodated by a 3 to 4m³ bin emptied periodically.

4. Significant Vegetation

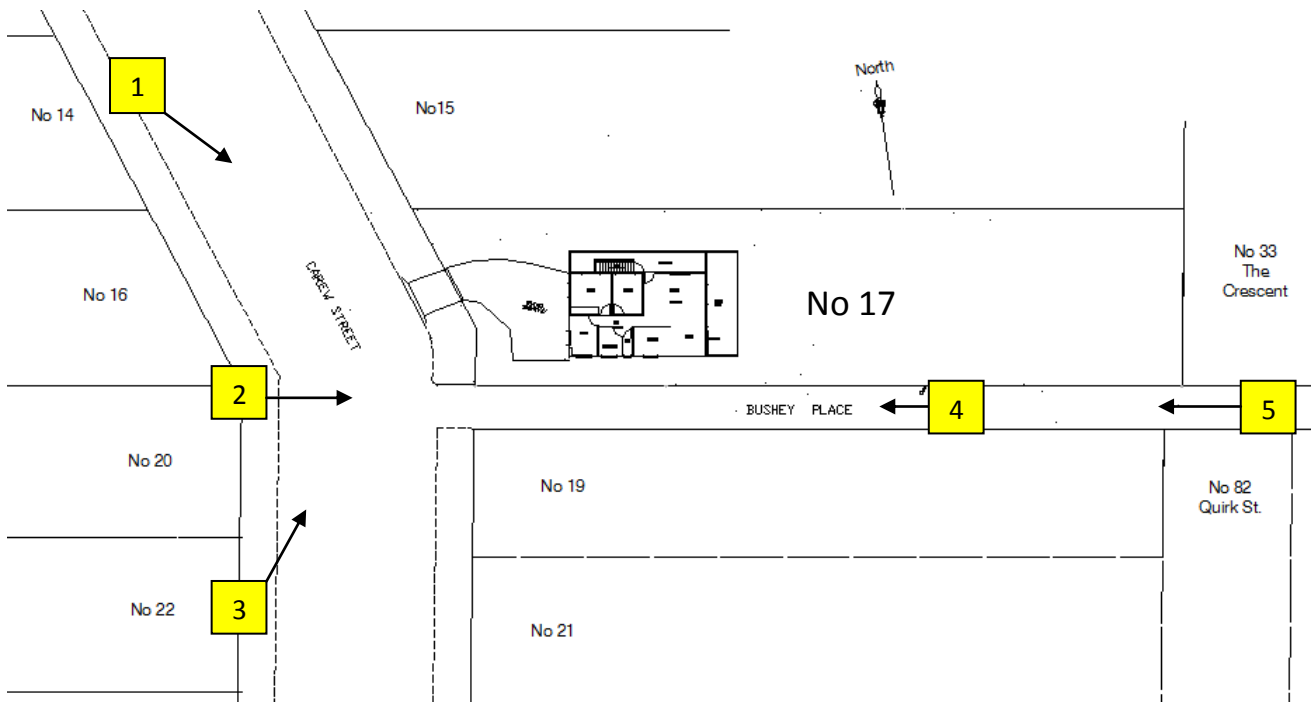
The site is substantially vegetated with grassland, trees and shrubs. There are a number of large fruit / berry trees, camphor laurel and large-leaf privet, which will over time be replaced with low-growing native shrubs.

5. Shadow Diagrams

Shadow diagrams have not been provided as there will be no change to the status quo.

6. Site Photographs

See below for a series of site photographs showing the existing visual aspects.



LOCATION & ASPECT PLAN – Photos Nos 1 to 5



PHOTO No 1 – Shows approach from North along Carew St.



PHOTO No 2 – Looking East down Bushey Place & showing vehicle entry to No17



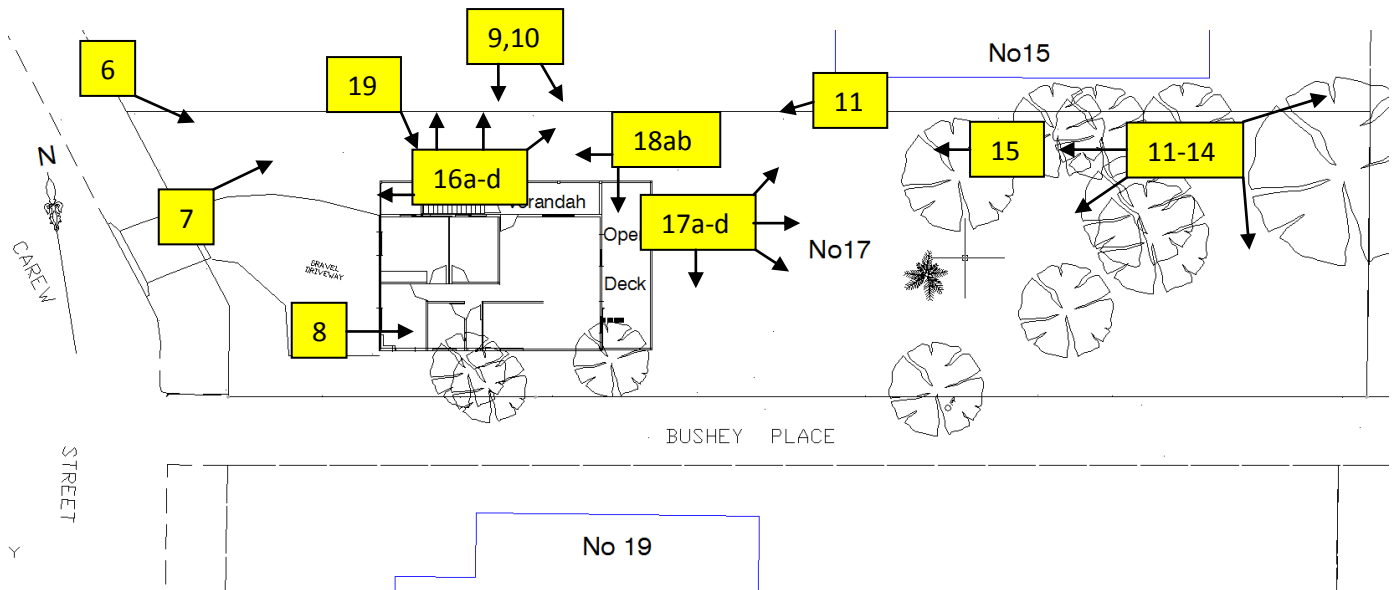
PHOTO No 3 – Looking NE down Carew St. & showing vehicle entry to No17



PHOTO No 4 – Looking West up Bushey Pl & showing new Colorbond steel fence to No17



PHOTO No 5 – Looking West up Bushey Place



LOCATION & ASPECT PLAN – Photos Nos 6 to 18b



PHOTO No 6 – Looking East showing street view elevation



PHOTO No 7 – Looking North East showing dense tree grove adjacent to proposed ground floor windows



PHOTO No 8 – Looking East showing Southern wall



PHOTO No 9 – Laundry on Ground Floor



PHOTO No 10 – Underfloor steel columns and cross-bracing



PHOTO No 11 – Looking South West and Northern boundary fenceline from corner of No 15 residence showing verandah and deck



PHOTO No 12 – North Eastern corner showing rainwater soakage area



PHOTO No 13 – South Eastern corner showing rock formation



PHOTO No 14 – Looking west showing low sandy area below proposed retaining wall



PHOTO No 15 – Area of backyard (shown in sunlight) to be levelled behind retaining wall



PHOTO No 16a – Verandah view West



PHOTO No 16b – Verandah view North (1)



PHOTO No 16c – Verandah view North (2)



PHOTO No 16d – Verandah view North East



PHOTO No 17a – Deck view North East



PHOTO No 17b – Deck view East



PHOTO No 17c – Deck view South East



PHOTO No 17d – Deck view South



PHOTO No 18a – Rear wall East elevation



PHOTO No 18b – Side wall North Elevation



PHOTO No 19 – Existing staircase