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P.O. Box 6193 Frenchs Forest DC NSW 2086
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Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



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BUILDING DESIGNER

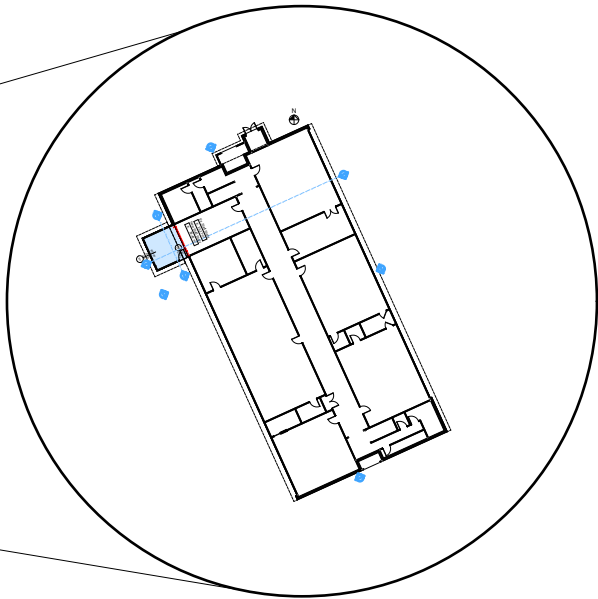
Alterations & Additions To Existing School

For Michael McDowell

1668 Pittwater Road, Mona Vale

Lot 10 D.P. 738078

Project Number: RP1020MCD



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 16/11/20
DA1001	A4 NOTIFICATION PLAN	-	- 16/11/20
DA1002	SITE SURVEY	-	- 16/11/20
DA1003	SITE PLAN	-	- 16/11/20
DA1004	Existing Ground Floor Plan	-	- 16/11/20
DA1005	Existing First Floor Plan	-	- 16/11/20
DA1006	Demolition Ground Floor Plan	-	- 16/11/20
DA1007	Demolition First Floor Plan	-	- 16/11/20
DA1008	Sediment & Erosion Plan	-	- 16/11/20
DA1009	Waste Management Plan	-	- 16/11/20
DA1010	Stormwater Plan	-	- 16/11/20
DA2001	GROUND FLOOR	-	- 16/11/20
DA2002	FIRST FLOOR	-	- 16/11/20
DA2003	ROOF	-	- 16/11/20
DA3000	SECTION 1	-	- 16/11/20
DA4000	ELEVATIONS 1	-	- 16/11/20
DA4001	ELEVATIONS 2	-	- 16/11/20
DA4002	ELEVATIONS 3	-	- 16/11/20
DA5000	PERSPECTIVE	-	- 16/11/20
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 16/11/20

BASIX[®] Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A398108

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 16, November 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Pittwater High School
Street address	1668 Pittwater Road Mona Vale 2103
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 738078
Lot number	10
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592

E-01
DA3000

E-03
DA4000

S-01
DA3000

S-01
DA3000

DA3000
S-02

E-04
DA4002

1

SURVEY PLAN
1:100

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION



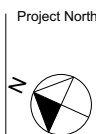
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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
16/11/2020
RP1020MCD
DA

Client
Site:
Sheet Size: A3

Michael McDowell
1668 Pittwater Road, Mona Vale

DRAWING TITLE :

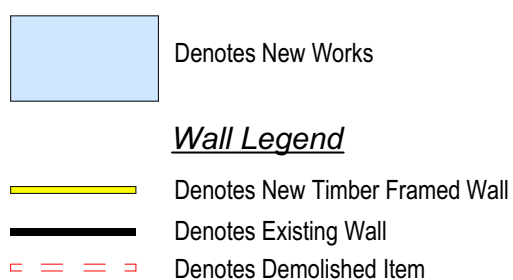
SITE AND LOCATION
SITE SURVEY

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
16/11/20
DRAWING NO.
DA1002



Rapid Plans
Building Design and Architectural Drafting

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NOTES
1668 Pittwater Road, Mona Vale is zoned SP2

1668 Pittwater Road, Mona Vale is not considered a heritage item.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Concrete Slab Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
New Lighting to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamp
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by a Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number A398108
All Plans to be read in conjunction with Basix Certificate
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For projections described in millimetres, the leading edge of eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancy
to Rapid Plans**

Project North

A compass rose with a circle divided into four quadrants by a vertical and a horizontal line. The letter 'N' is at the top. A sector between the North and East lines is shaded black.

Drawn | Checked GBJ
Plot Date: 16/11/2020
Project NO. RP1020MCD
Project Status DA

Client	Michael McDowell
Site:	1668 Pittwater Road, Mona Vale

DRAWING TITLE :
SITE AND LOCATION
SITE PLAN

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
-	16/11/20
DRAWING NO.	
DA1003	
Plot Date:	16/11/2020
Sheet Size: A3	F:\Current Jobs\PTT\TREATER\HIGH SCHOOL\Plotter High-22-GA Final

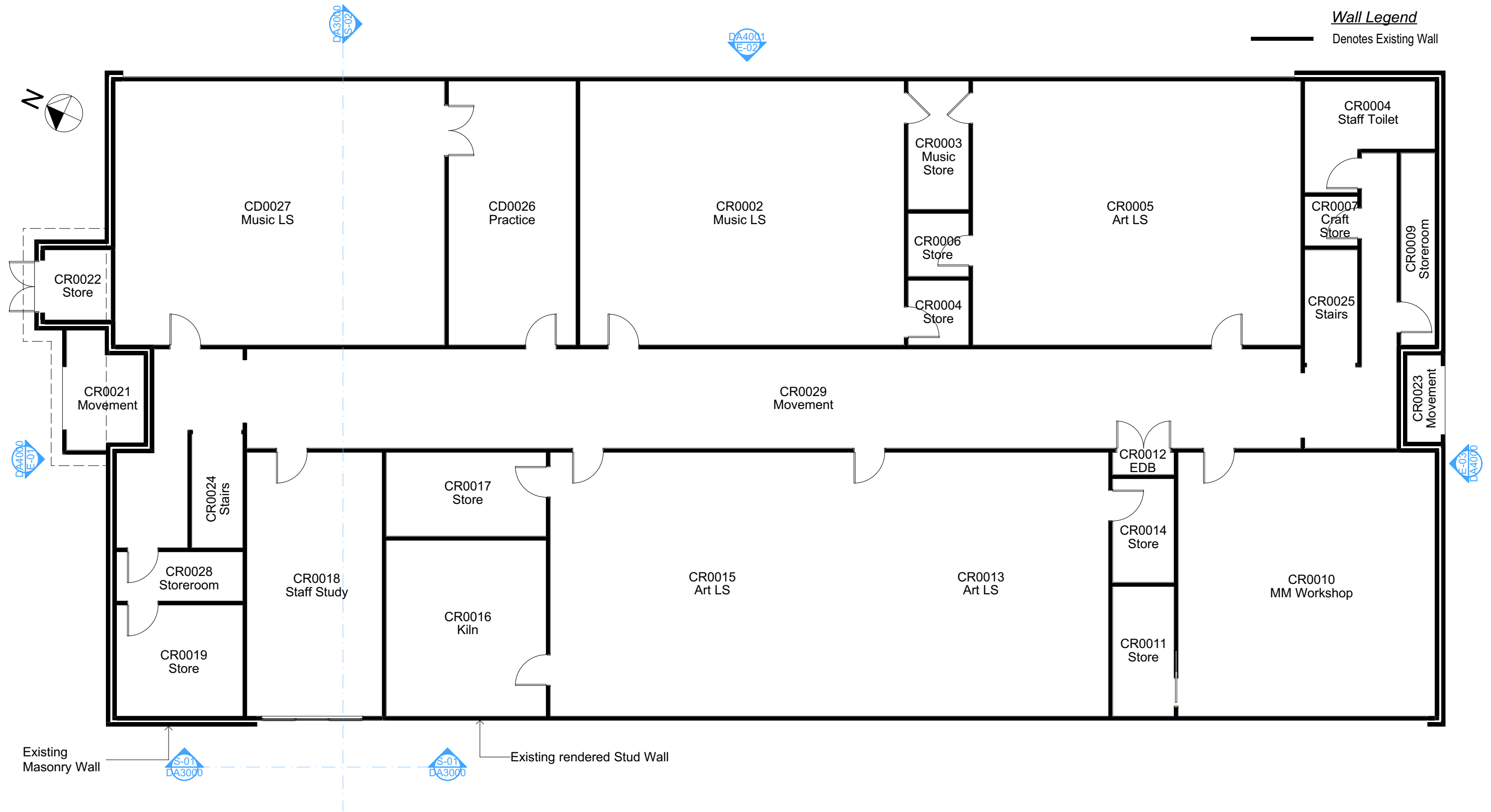
<p>These plans are for DA Application purposes only. These plans are not to be used in any construction certificate application without the written permission of Raps Engineering Pty Ltd</p>	<p>DRAWING TITLE :</p> <p>SITE AND LOCATION</p> <p>SITE PLAN</p>
	<p>PROJECT NAME :</p> <p>Alterations &</p>

<h1 style="margin: 0;">DA APPLICATION</h1> <h1 style="margin: 0;">ONLY</h1> <h2 style="margin: 0;">NOT FOR CONSTRUCTION</h2>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th colspan="2" style="text-align: center; padding: 5px;">Additions</th> </tr> <tr> <td style="width: 50%; padding: 5px;">REVISION NO.</td> <td style="width: 50%; padding: 5px;">DATE</td> </tr> <tr> <td style="text-align: center; padding: 5px;">-</td> <td style="text-align: center; padding: 5px;">16/11/20</td> </tr> <tr> <td style="padding: 5px;">DRAWING NO.</td> <td style="padding: 5px;">DA1003</td> </tr> <tr> <td colspan="2" style="padding: 5px;"> Plot Date: 16/11/2020 Sheet Size: A3 </td> </tr> </table>	Additions		REVISION NO.	DATE	-	16/11/20	DRAWING NO.	DA1003	Plot Date: 16/11/2020 Sheet Size: A3	
Additions											
REVISION NO.	DATE										
-	16/11/20										
DRAWING NO.	DA1003										
Plot Date: 16/11/2020 Sheet Size: A3											

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems
<p>Lighting</p> <p>The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.</p>

North, South, East and West Structure
More Than 20m From Boundaries



Wall Legend

Denotes Existing Wall

2

EXISTING GROUND FLOOR
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

**Builder To Check & Confirm Existing
Measurements Prior to Commencement**

Construction
Concrete Slab Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Certifying
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Basix
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

NOTES
1668 Pittwater Road, Mona Vale is zoned SP2
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1668 Pittwater Road, Mona Vale is not considered a heritage item



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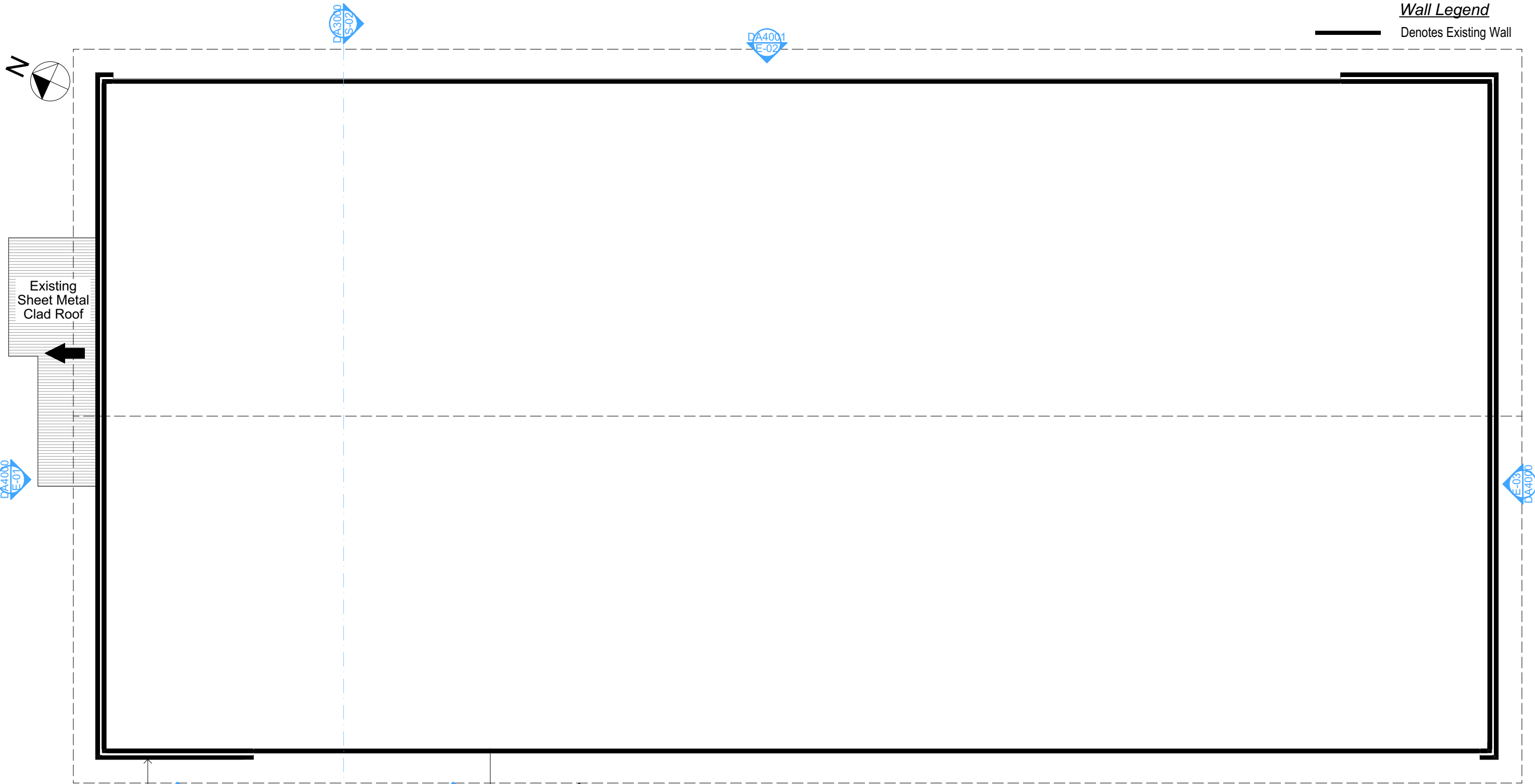


Checked: GBJ
Plot Date: 16/11/2020
Project NO: RP1020MCD
Project Status: DA
Client: Michael McDowell
Site: 1668 Pittwater Road, Mona Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE:
16/11/20
DRAWING NO.
DA1004

Wall Legend
Denotes Existing Wall



DA APPLICATION
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3

EXISTING FIRST FLOOR
1:100



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Construction
Concrete Slab Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Checked GBJ
Plot Date: 16/11/2020
Project NO: RP1020MCD
Project Status: DA
Client: Michael McDowell
Site: 1668 Pittwater Road, Mona Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
16/11/20
DRAWING NO.
DA1005

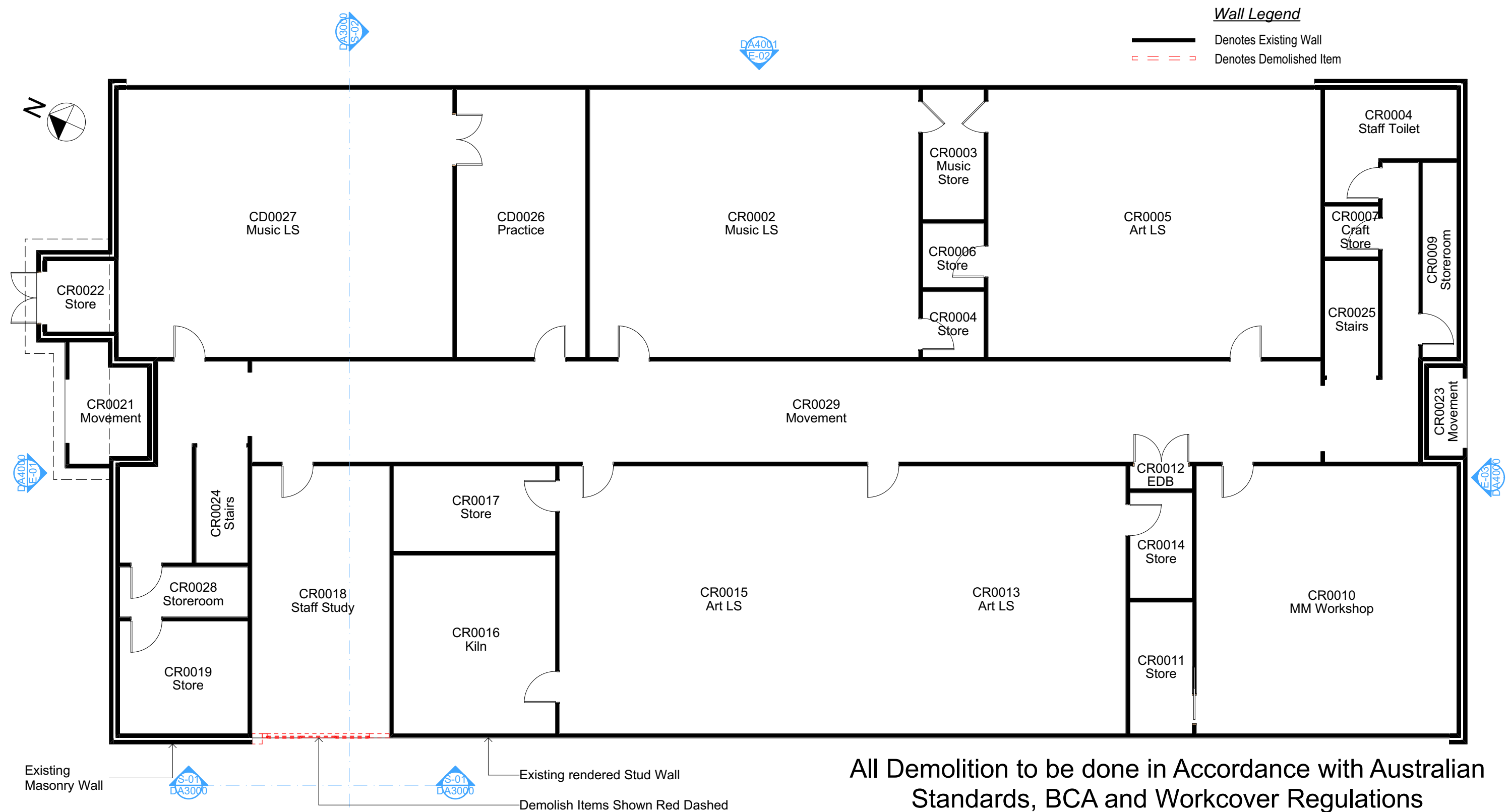
Builder To Check & Confirm Existing
Measurements Prior to Commencement

Certifying
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Basix
Basix Certificate Number A398108
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

NOTES
1668 Pittwater Road, Mona Vale is zoned SP2
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1668 Pittwater Road, Mona Vale is not considered a heritage item

These plans are not to be used for the construction certificate application without the written permission of Rapid Plans



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Certifying	NOTES
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DA APPLICATION
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NOT FOR CONSTRUCTION

2 DEMOLITION GROUND FLOOR 1:100

Construction
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Insulation to External Framed Walls R1.70
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps




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Project North

N

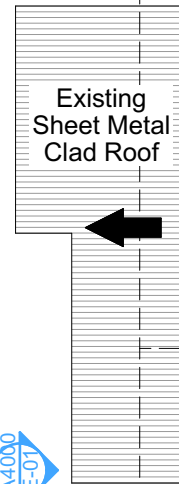
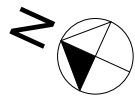


Checked	GBJ
Plot Date:	16/11/2020
Project NO.	RP1020MCD
Project Status	DA
<hr/>	
Client	Michael McDowell
Site:	1668 Pittwater Road, Mona Vale
<hr/>	
Sheet Size:	A3

DRAWING TITLE : **Demolition Ground Floor Plan**

PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE.
16/11/20
DRAWING NO.
DA1006



Existing
Masonry Wall



Line Of Roof Above

Existing rendered Stud Wall

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

3

**DEMOLITION FIRST FLOOR
1:100**

Wall Legend



Denotes Existing Wall

Denotes Demolished Item

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Certifying

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Basix

Basix Certificate Number A398108

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NOTES

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DRAWING TITLE :

SITE AND LOCATION

Demolition First Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:

16/11/20

DRAWING NO.

DA1007



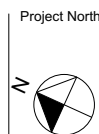
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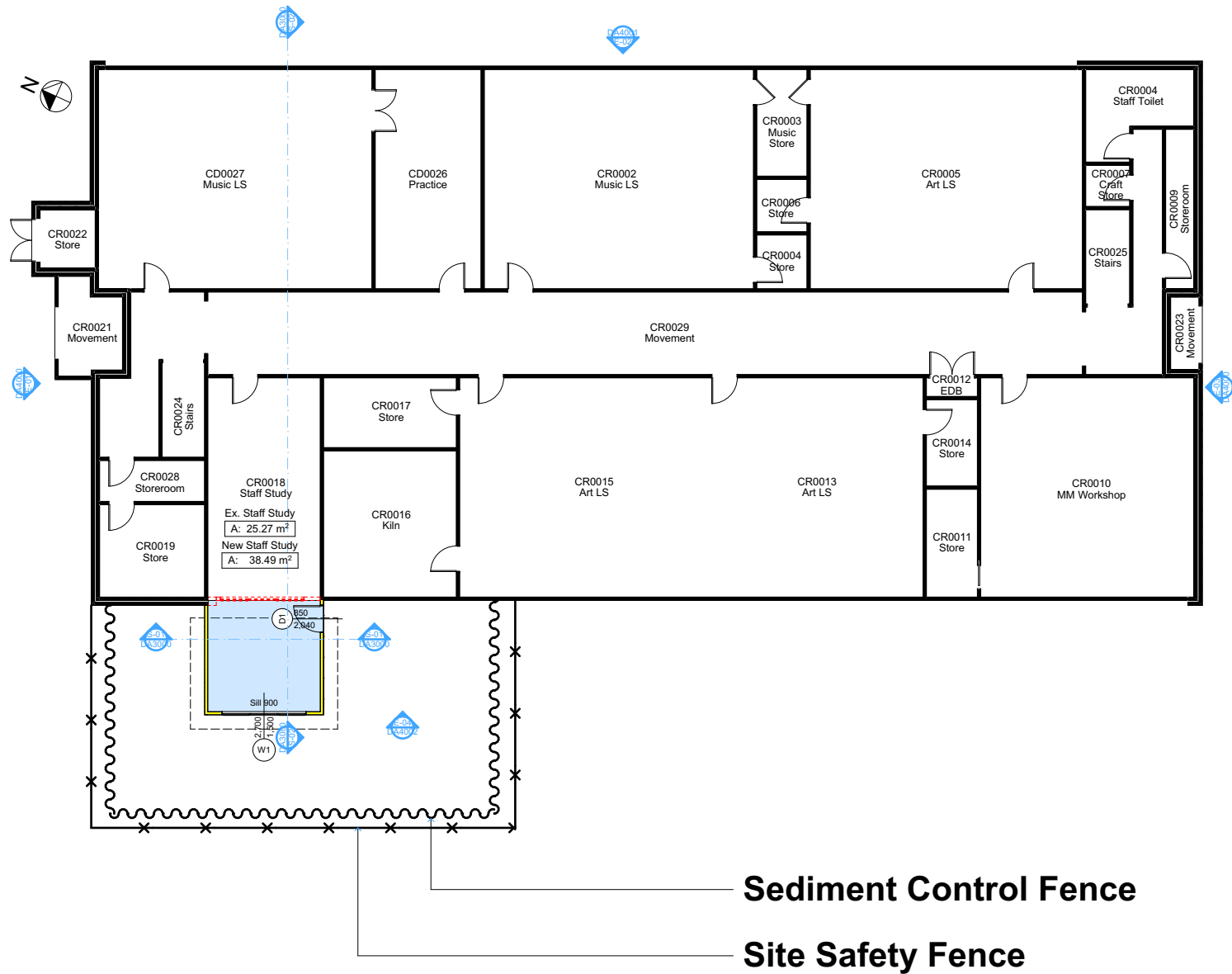


Checked
Plot Date:
Project NO.
Project Status

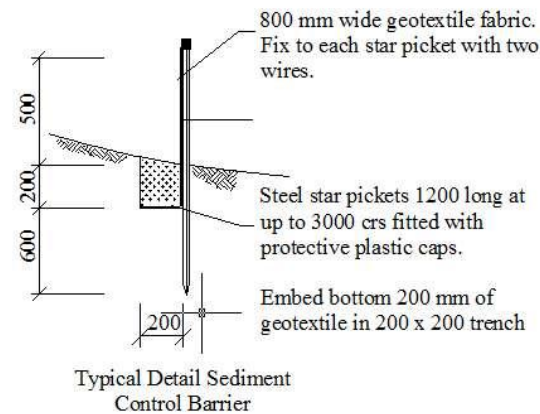
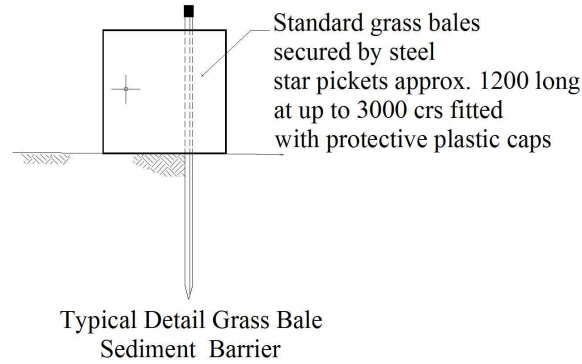
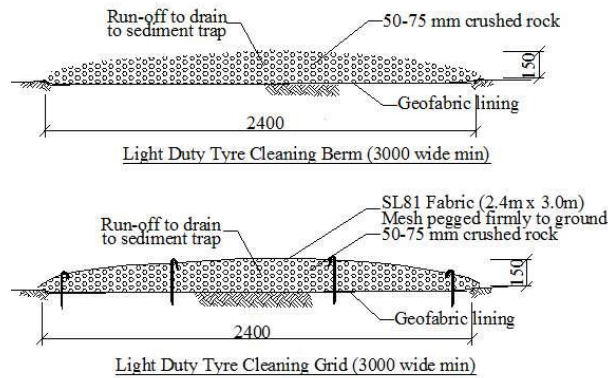
GBJ
16/11/2020
RP1020MCD
DA

Client
Site: Michael McDowell
1668 Pittwater Road, Mona Vale

Sheet Size: A3



2 SEDIMENT & EROSION CONTROL PLAN 1:200



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

1668 Pittwater Road, Mona Vale is zoned SP2

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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

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NOTES
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All Plans to be read in conjunction with Basic Certificate

Construction
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Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
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All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2017
Waterproofing to BCA and AS 3740
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Certifying
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Basic
Basic Certificate Number A38108

All Plans to be read in conjunction with Basic Certificate

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For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 16/11/2020
Project NO.: RP1020MCD
Project Status DA

Client Michael McDowell

Site: 1668 Pittwater Road, Mona Vale

DRAWING TITLE :
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE

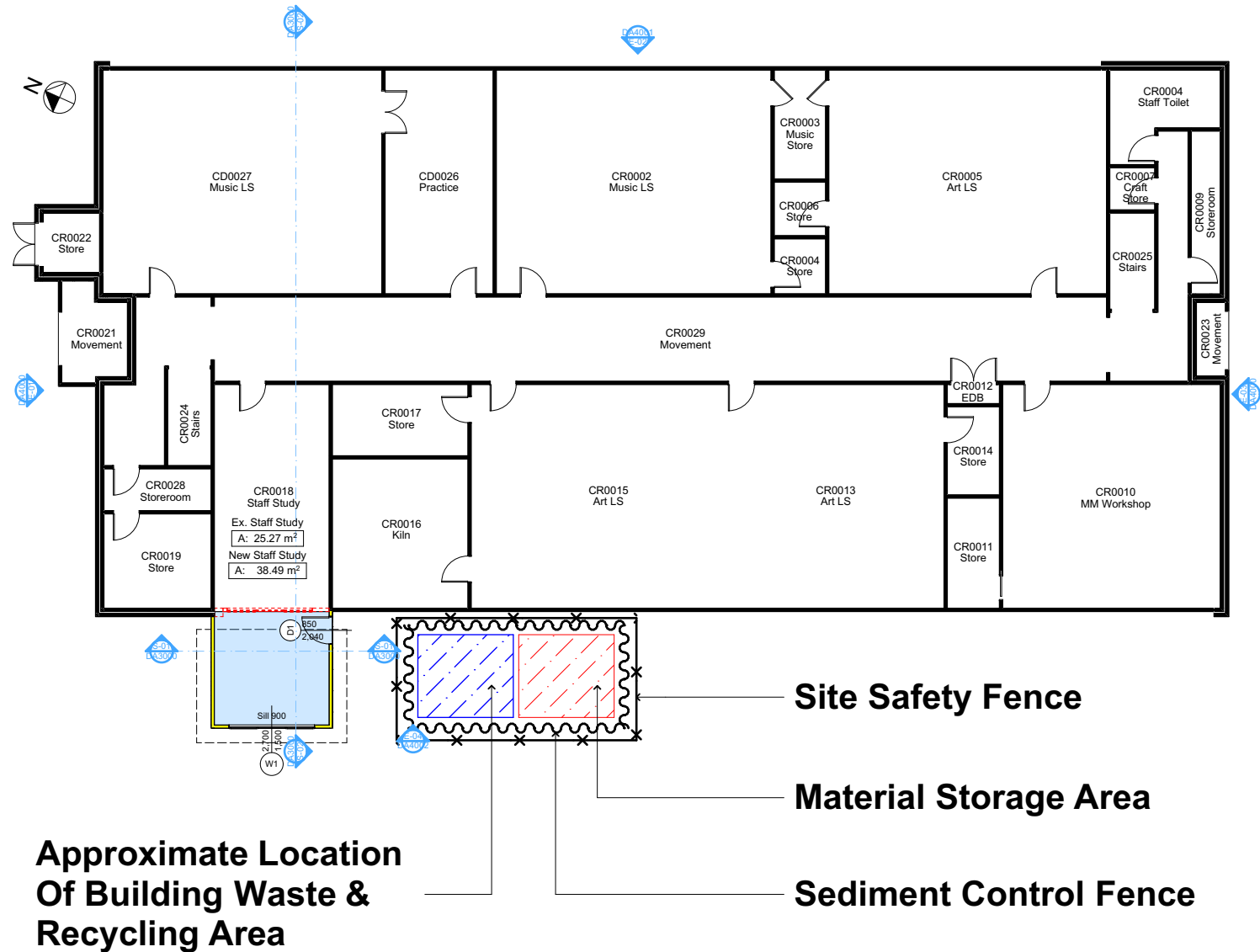
- 16/11/20

DRAWING NO. **DA1008**

Plot Date: 16/11/2020
Sheet Size: A3

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DA APPLICATION ONLY
NOT FOR CONSTRUCTION



- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

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BUILDING DESIGNER

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NOTES

1668 Pittwater Road, Mona Vale is zoned SP2

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Concrete Slab Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1743-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A388108

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Project North

Drawn | Checked GBJ
Plot Date: 16/11/2020
Project NO. RP1020MCD
Project Status DA

Client Michael McDowell

Site: 1668 Pittwater Road, Mona Vale

DRAWING TITLE :
SITE AND LOCATION
Waste Management Plan

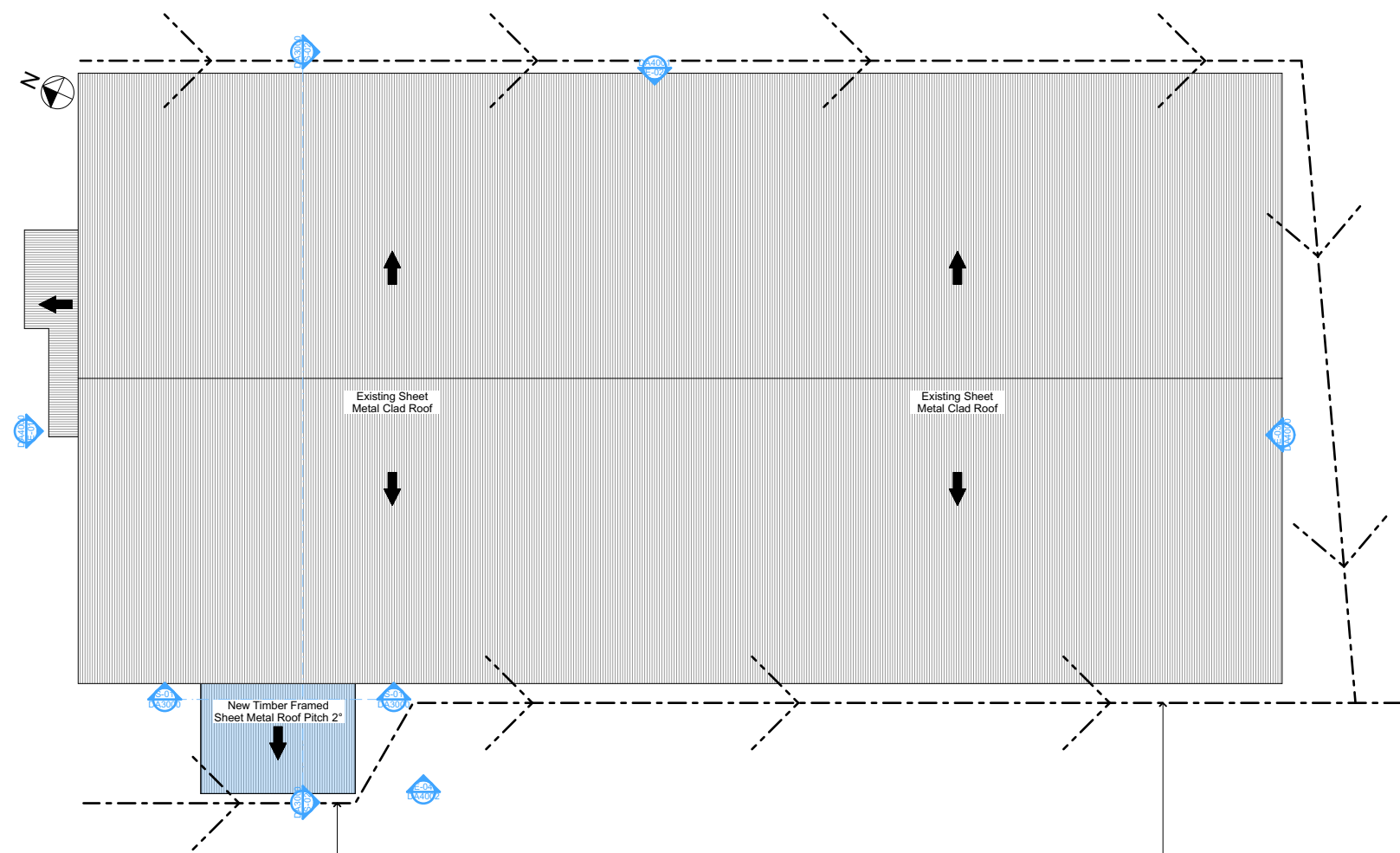
PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	16/11/20

DRAWING NO.
DA1009

Plot Date: 16/11/2020
Sheet Size: A3

Denotes New Works



**Proposed Stormwater
Line To Be Fed Into The
Existing Drainage System**

**Assumed Existing Stormwater.
Plumber To Confirm Location
Prior To Commencement**

4 STORMWATER PLAN
1:200

**Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement**

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NOTES
1668 Pittwater Road, Mona Vale is zoned SP2
1668 Pittwater Road, Mona Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Concrete Slab Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1743-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

Project North

Drawn | Checked GBJ
Plot Date: 16/11/2020
Project NO: RP1020MCD
Project Status DA

Client Michael McDowell

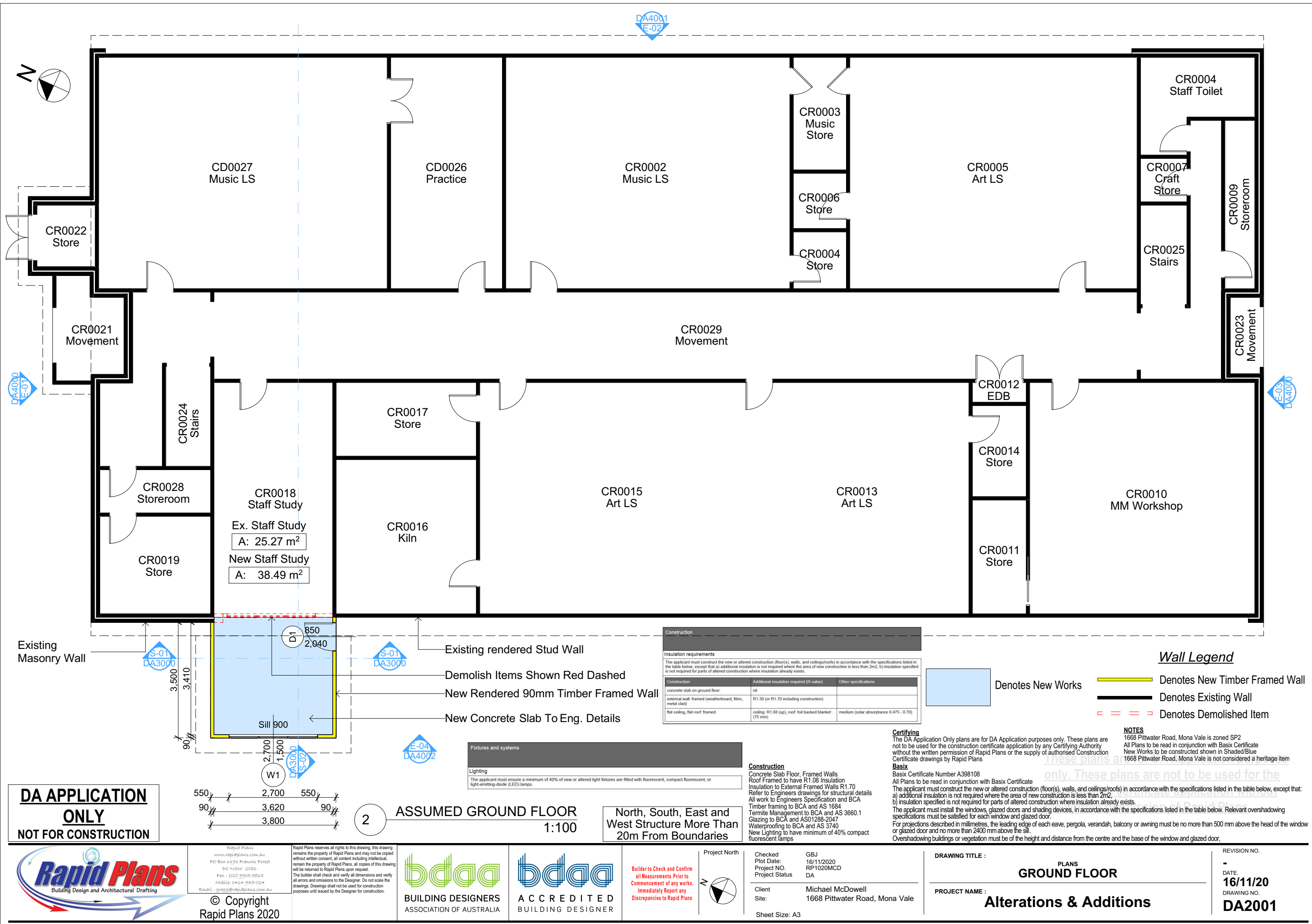
Site: 1668 Pittwater Road, Mona Vale

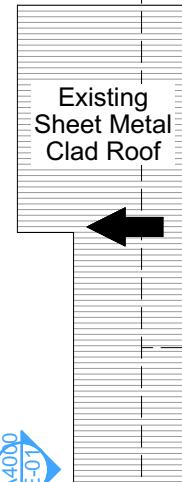
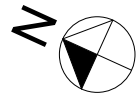
DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 16/11/20
DRAWING NO.
DA1010

Plot Date: 16/11/2020
Sheet Size: A3





DA4000
E-01

DA3000
S-02

DA4001
E-02

E-03
DA4000

Existing
Masonry Wall

S-01
DA3000

450

New Timber Framed
Sheet Metal Roof Pitch 2°

450

DA3000
S-02

S-01
DA3000

E-04
DA4002

Line Of Roof Above

Existing rendered Stud Wall

Line Of Wall Below



Denotes New Works

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

3

**ASSUMED FIRST FLOOR
1:100**

**North, South, East and
West Structure More Than
20m From Boundaries**

Construction
Concrete Slab Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Certifying
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Basix
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NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1668 Pittwater Road, Mona Vale is not considered a heritage item



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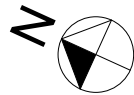
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked GBJ
Plot Date: 16/11/2020
Project NO: RP1020MCD
Project Status: DA
Client: Michael McDowell
Site: 1668 Pittwater Road, Mona Vale
Sheet Size: A3

DRAWING TITLE :
**PLANS
FIRST FLOOR**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
16/11/20
DRAWING NO.
DA2002



Existing Sheet
Metal Clad Roof

Existing Sheet
Metal Clad Roof

New Timber Framed
Sheet Metal Roof Pitch 2°



Denotes New Works

4

Roof Plan
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

North, South, East and
West Structure More Than
20m From Boundaries

Construction
Concrete Slab Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Certifying
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NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1668 Pittwater Road, Mona Vale is not considered a heritage item



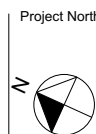
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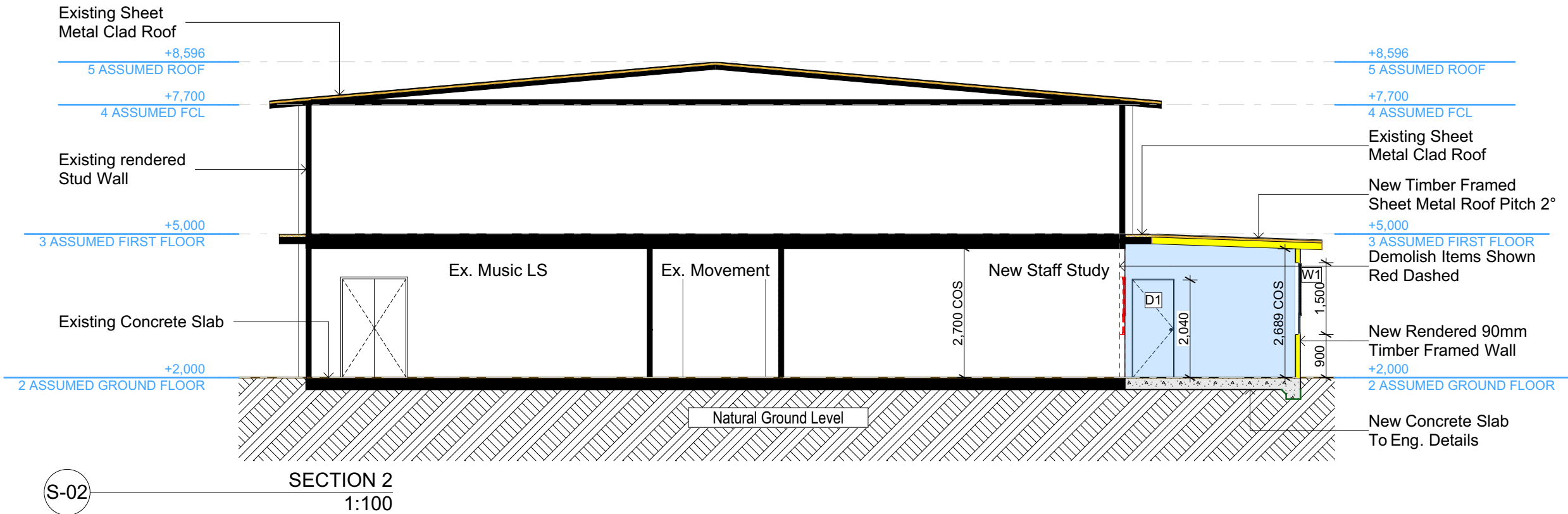
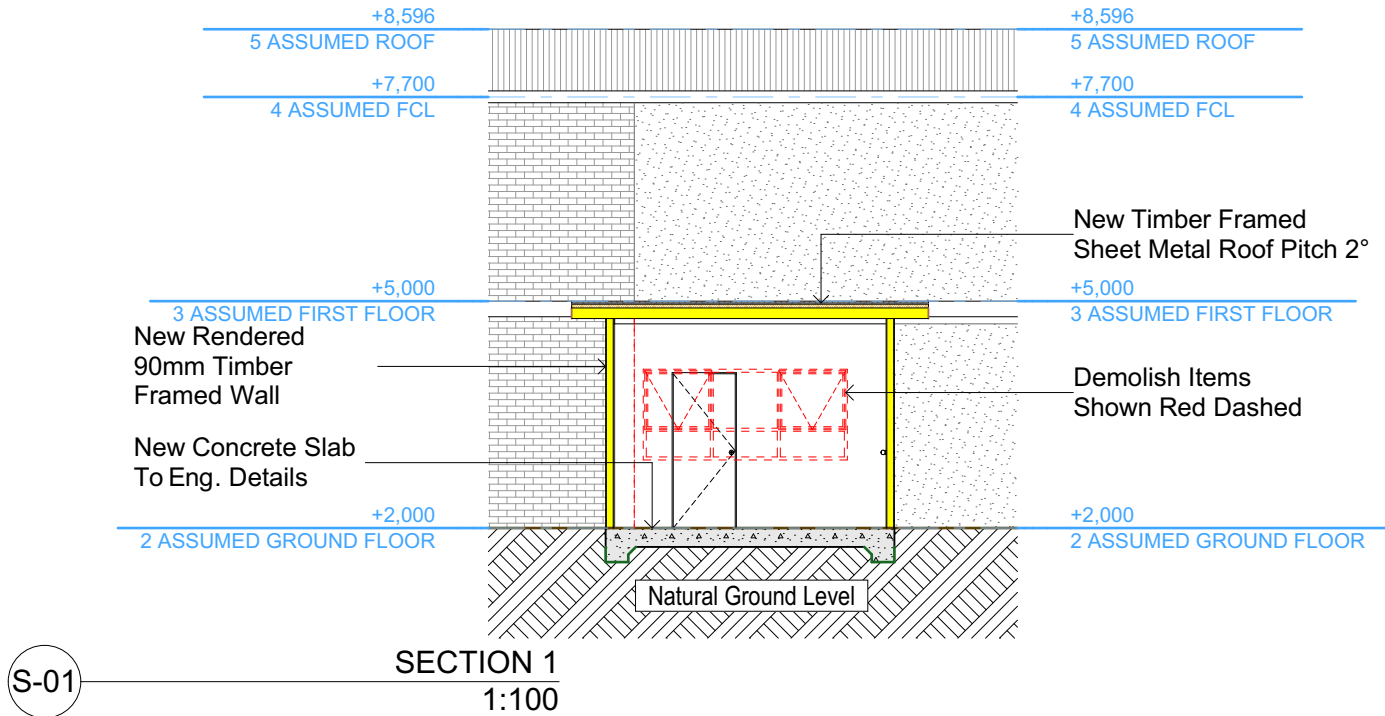
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Immediately Report any
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Checked GBJ
Plot Date: 16/11/2020
Project NO: RP1020MCD
Project Status: DA
Client: Michael McDowell
Site: 1668 Pittwater Road, Mona Vale
Sheet Size: A3

DRAWING TITLE :
**PLANS
ROOF**
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
16/11/20
DRAWING NO.
DA2003



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item

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NOTES

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All Plans to be read in conjunction with Basic Certificate

Construction

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Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

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Termite Management to BCA and AS 3660.1

Glazing to BCA and AS/NZS 2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

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Certifying

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Basic

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Project North

Drawn | Checked GBJ
Plot Date: 16/11/2020
Project NO.: RP1020MCD
Project Status DA

Client Michael McDowell

Site: 1668 Pittwater Road, Mona Vale

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

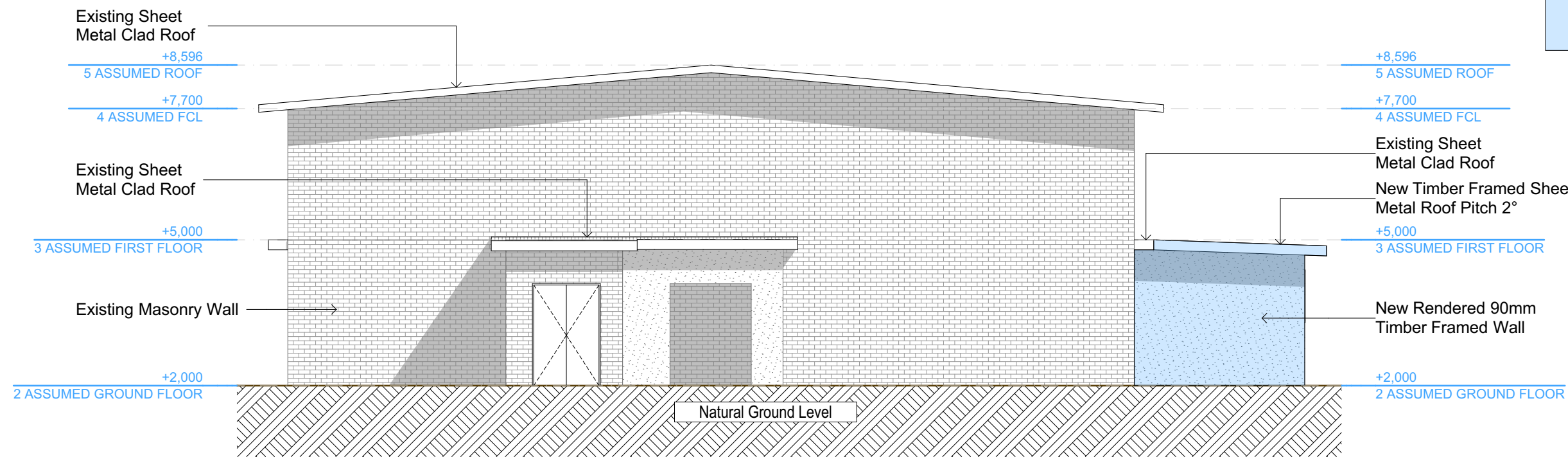
REVISION NO. DATE
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DRAWING NO. **DA3000**

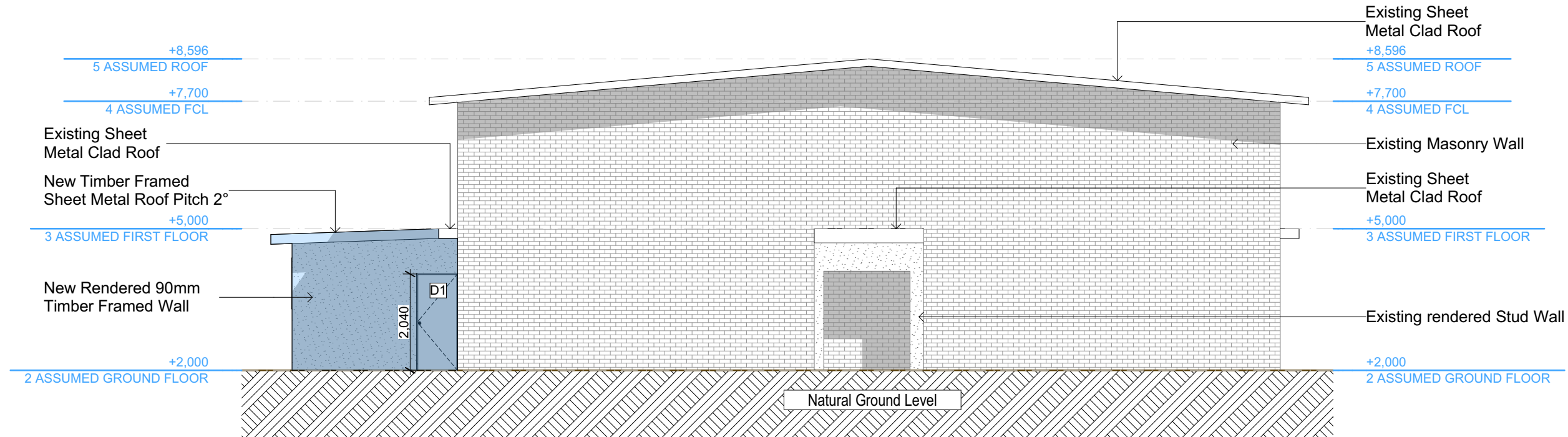
Plot Date: 16/11/2020
Sheet Size: A3

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E-01 North
1:100



E-03 South
1:100



Denotes New Works

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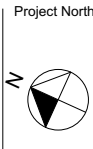
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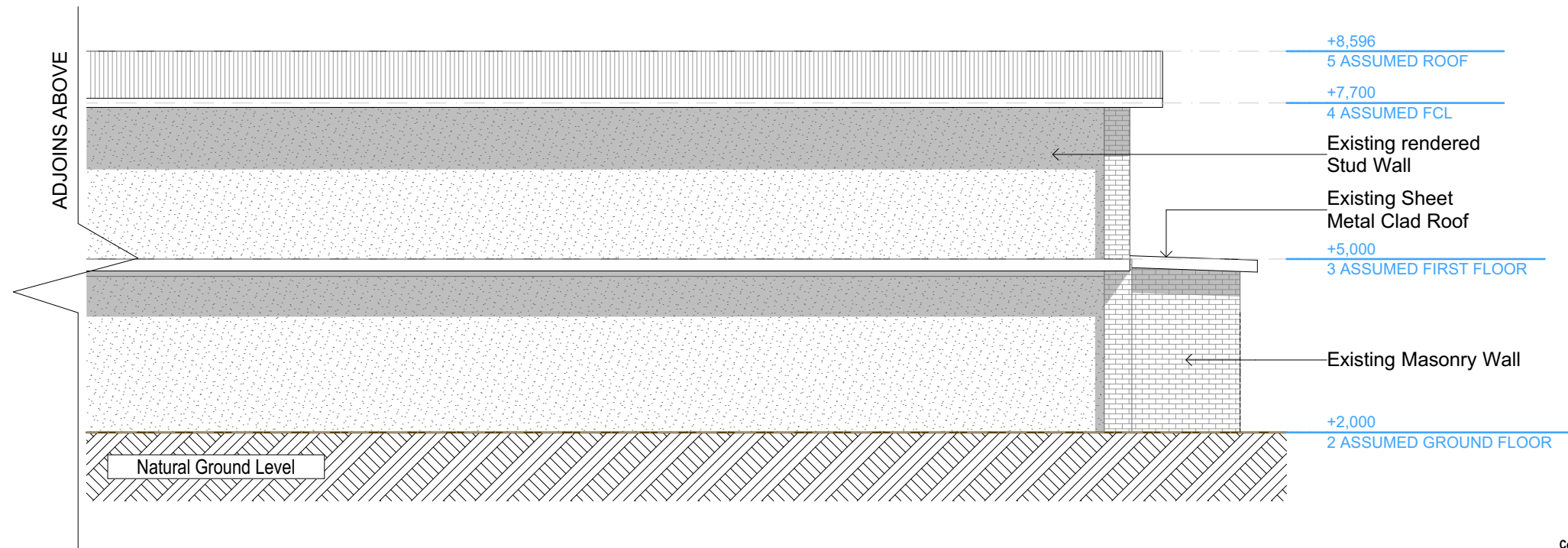
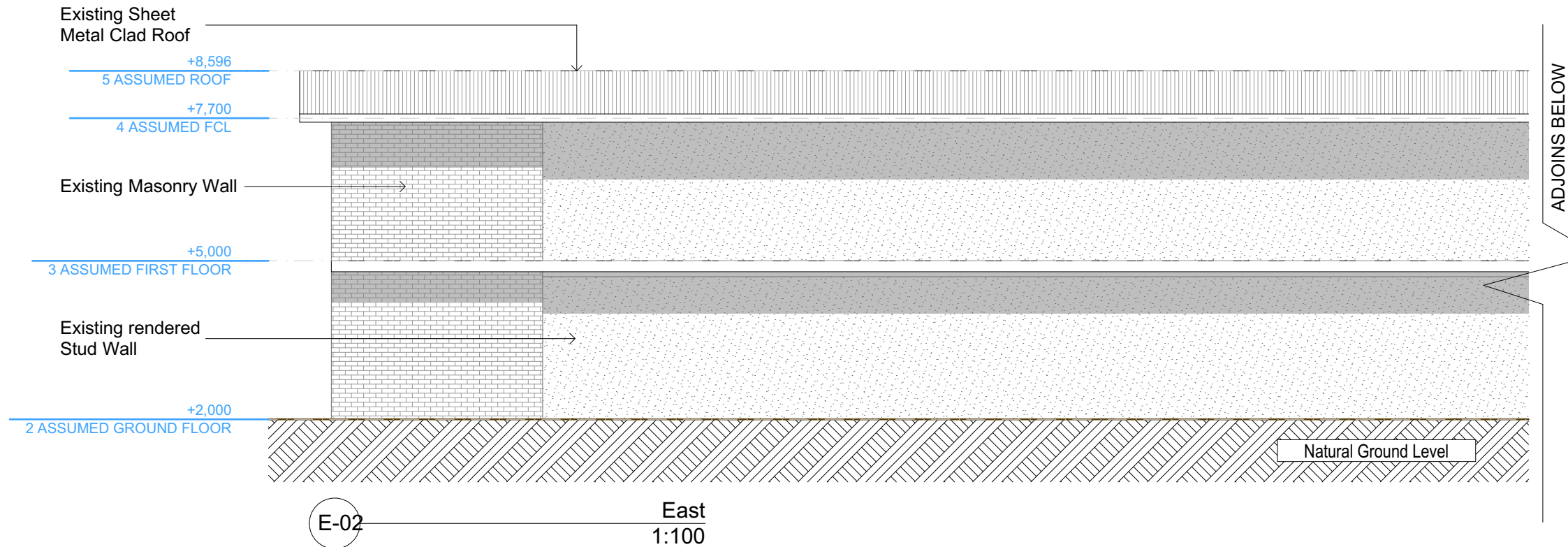
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Basix Certificate Number A398108
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NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1668 Pittwater Road, Mona Vale is not considered a heritage item

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 1

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
16/11/20
DRAWING NO.
DA4000



Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	SW	4.05	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



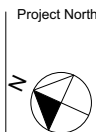
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Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Checked: GBJ
Plot Date: 16/11/2020
Project NO: RP1020MCD
Project Status: DA
Client: Michael McDowell
Site: 1668 Pittwater Road, Mona Vale
Sheet Size: A3

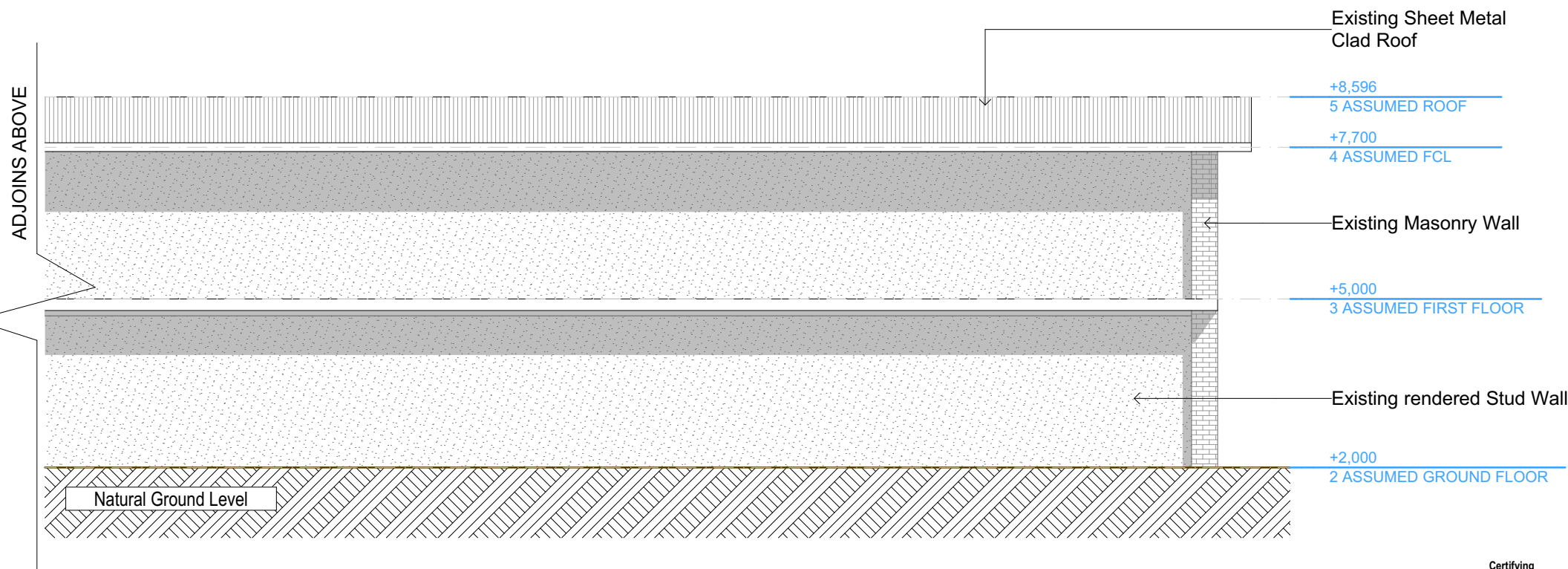
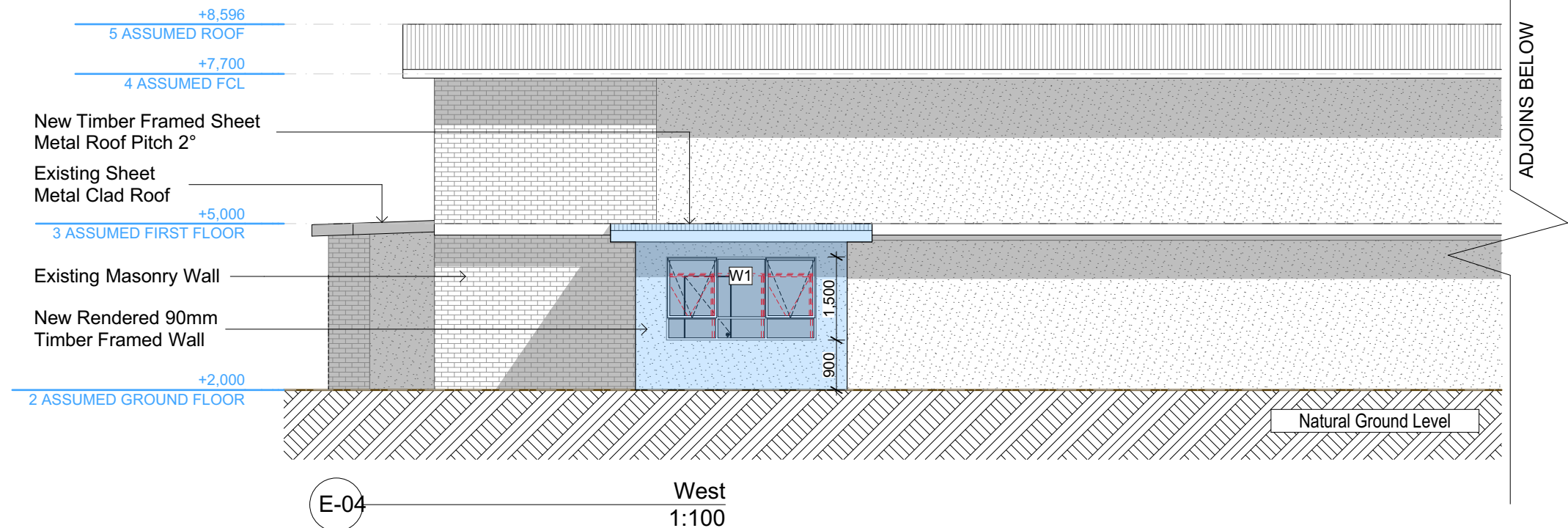
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Basix
Basix Certificate Number A398108
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

NOTES
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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
1668 Pittwater Road, Mona Vale is not considered a heritage item

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 2
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
16/11/20
DRAWING NO.
DA4001



Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	SW	4.05	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

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New Works to be constructed shown in Shaded/Blue
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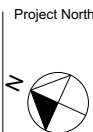


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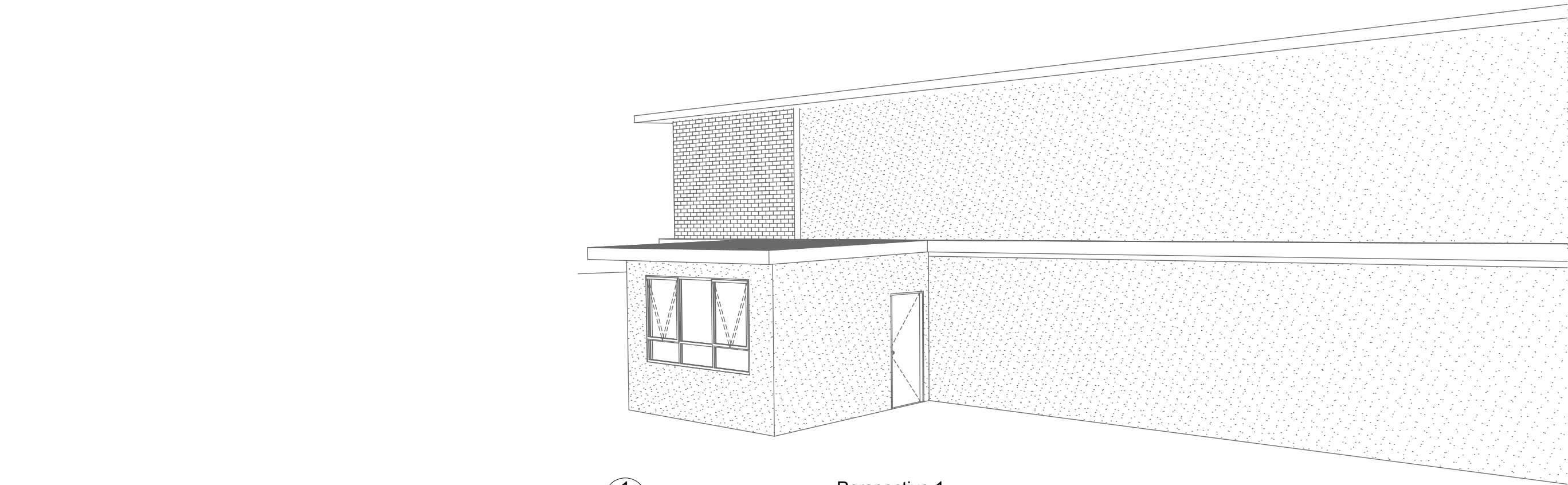
Construction
Concrete Slab Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Checked: GBJ
Plot Date: 16/11/2020
Project NO: RP1020MCD
Project Status: DA
Client: Michael McDowell
Site: 1668 Pittwater Road, Mona Vale
Sheet Size: A3

DRAWING TITLE :
ELEVATIONS 3

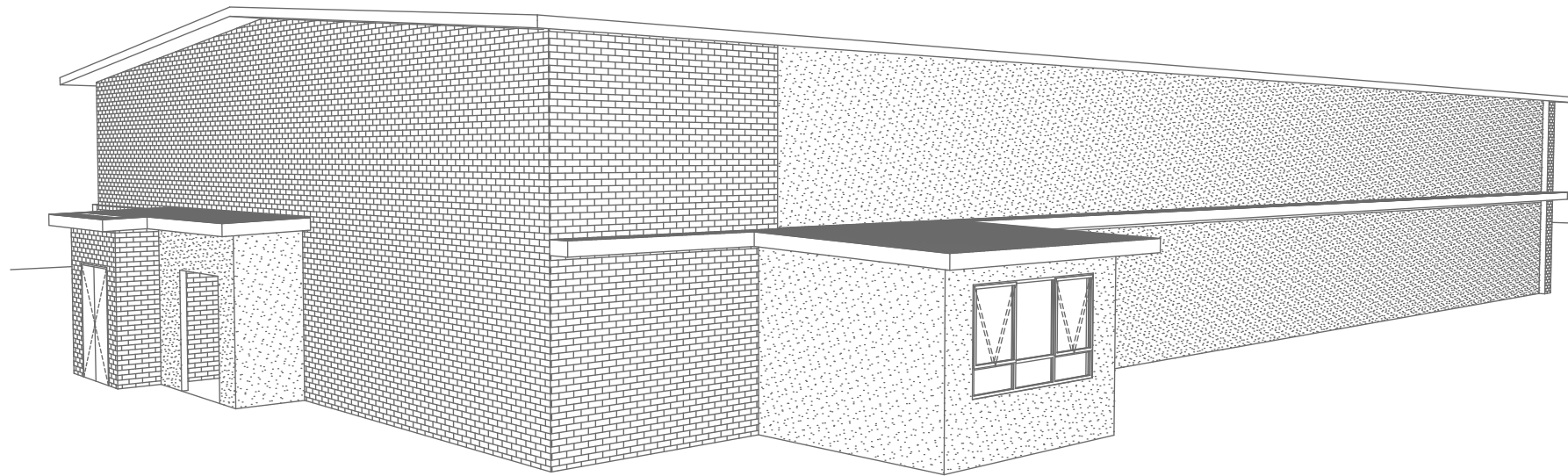
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
16/11/20
DRAWING NO.
DA4002



1
-


Perspective 1
1:200



2
-

Perspective 2
1:200


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Building Design and Architectural Drafting

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NOTES
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All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue


Construction
Concrete Slab Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
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Glazing to BCA and AS10798-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Basic
Basic Certificate Number A398108
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Project North



Drawn | Checked GBJ
Plot Date: 16/11/2020
Project NO: RP1020MCD
Project Status DA

Client Michael McDowell

Site: 1668 Pittwater Road, Mona Vale

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	16/11/20

DRAWING NO. **DA5000**

Plot Date: 16/11/2020
Sheet Size: A3

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S:\CH001\Projects\1668 Pittwater\1668 Pittwater High 2D\DA Final.dwg



Denotes Sheet Metal Roofing (Typical). Builder To Confirm Type & Colour With Owner



Denotes Rendered Wall (Typical). Builder To Confirm Type & Colour With Owner

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Project North



Drawn | Checked GBJ
Plot Date: 16/11/2020
Project NO. RP1020MCD
Project Status DA

Client Michael McDowell

Site: 1668 Pittwater Road, Mona Vale

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	16/11/20

DRAWING NO.
DA5001

Plot Date: 16/11/2020
Sheet Size: A3