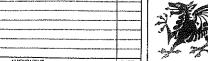


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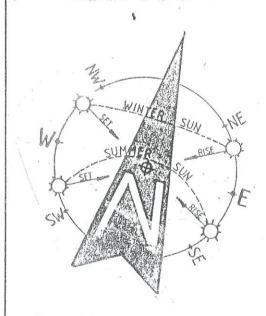
PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 34 PLATEAU ROAD
BILGOLA PLATEAU N. S. W. 2107
CLIENT
CRAIG & NICOLE LESTER

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,	DRAWING No. 2156		ISSUE	

NOTES

- LIGHTING OF BATHROOMS & WC TO BE IN ACCORDANCE WITH NCC VOL.2 PART 3.8,4.2 AND AS/NZS 1680.0 1768.
- **VENTILATION OF BATHROOMS, ENSUITES & WC'S TO BE** IN ACCORDANCE WITH NCC VOL.2 PART H4D9 & AS / NZS 4200.
- THE DOOR TO THE BATHROOM IS REQUIRED TO COMPLY WITH AND IN ACCORDANCE WITH THE BUILDING CODE **OF AUSTRALIA PART 3.8.3.3** (TO EITHER OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT).
- FIRE /SMOKE DETECTORS TO BE IN ACCORDANCE WITH NCC VOL.2 H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS.
- TERMITE RISK MANAGEMENT TO BE IN ACCORDANCE WITH NCC VOL. 2 PART H1D3 & PART 3.4 OF THE ABCB HOUSING PROVISIONS.
- SOUND INSULATION TO BE IN ACCORDANCE.WITH NCC VOL. 2 PART H4D8 & Part 10.7 OF THE ABCB HOUSING PROVISIONS.
- ALL EXTERNAL GLAZING TO HAVE A MAXIMUM **REFLECTIVITY INDEX OF 25%.**
- ALL GLAZED ASSEMBLIES TO COMPLY WITH NCC VOL.2 PART H1D8(2)&(3).
- WATERPROOFING OF ALL WET AREAS TO COMPLY WITH NCC VOL.2 PART H4D2 & PART 10.2 OF THE ABCB HOUSUNG PROVISIONS
- ALL BALCONY STEPDOWNS TO COMPLY WITH AS4654-2012 * 10.
- STAIRS, HANDRAILS, BALUSTRADES TO BE CONSTRUCTED 11. IN ACCORDANCE WITH NNC VOL. PART H5D3 &PARTSB 11.2 & 11.3 OF THE ABCB HOUSING PROVIDIONS..
- 12. PROTECTION OF OPEN-ABLE WINDOWS MUST COMPLY WITH AS2047-18 FOR ALUMINIMUM & AS2047 FOR TIMBER WINDOWS.
- 13. GLAZING TO ALL BATHROOMS AND ENSUITES TO BE TOUGHENED GLASS.
- 14. SLIP RESISTANCE TO COMPLY WITH NCC BCA VOL.2 H5D2 &

CLAUSE 11.2.4 OF THE ABCB HOUSING PROVISIONS. AND AS 4586.



NOTES:

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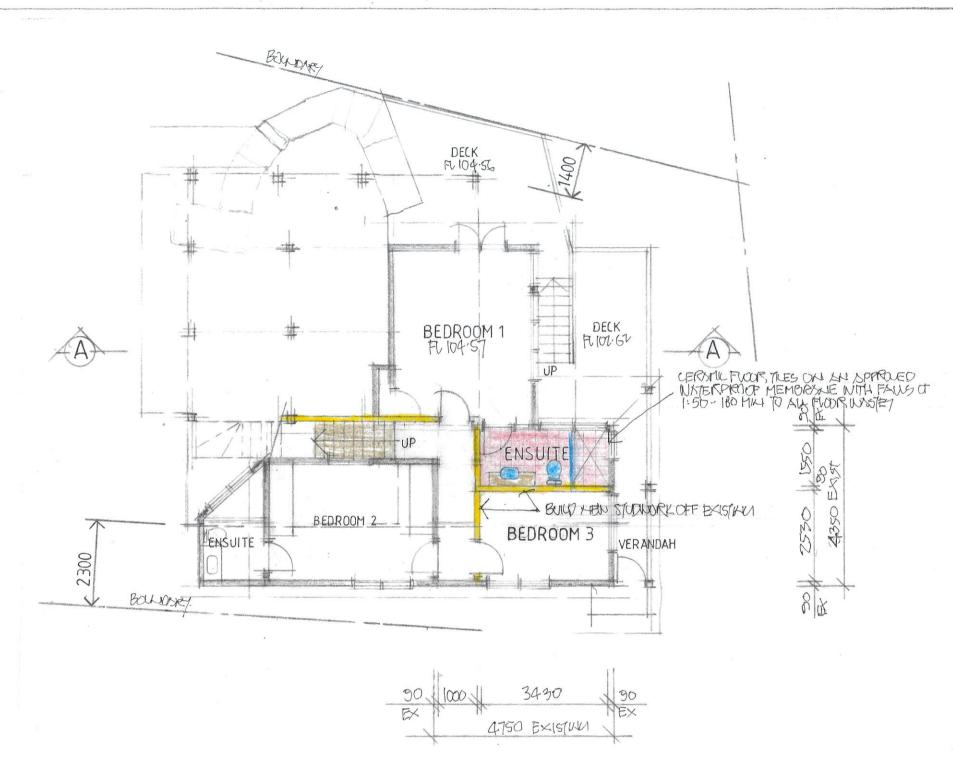
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PROPOSED ALTERATIONS/ADDITIONS No. 34 PLATEAU ROAD BILGOLA PLATEAU N. S. W. 2107 CRAIG & NICOLE LESTER

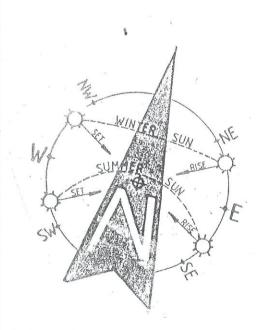
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2156-2



LOWER FLOOR PLAN

WII	NDOW & G	LAZED DOO	R SCHEDULI
No.	HEIGHT	WIDTH	AREA
W1	1.80	2.10	3.78
W2	1.80	1.80	3.24
WЗ	1.80	2.10	3.78
W4	1.80	1.60	2.88
W5	1.50	1.60	2.44
W6	1.00	1.50	1.50
W7	2.40	4.50	10.80



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MODINO DECKINO

KITCHEN NAYOUT BY HICOLE

DINING ROOM

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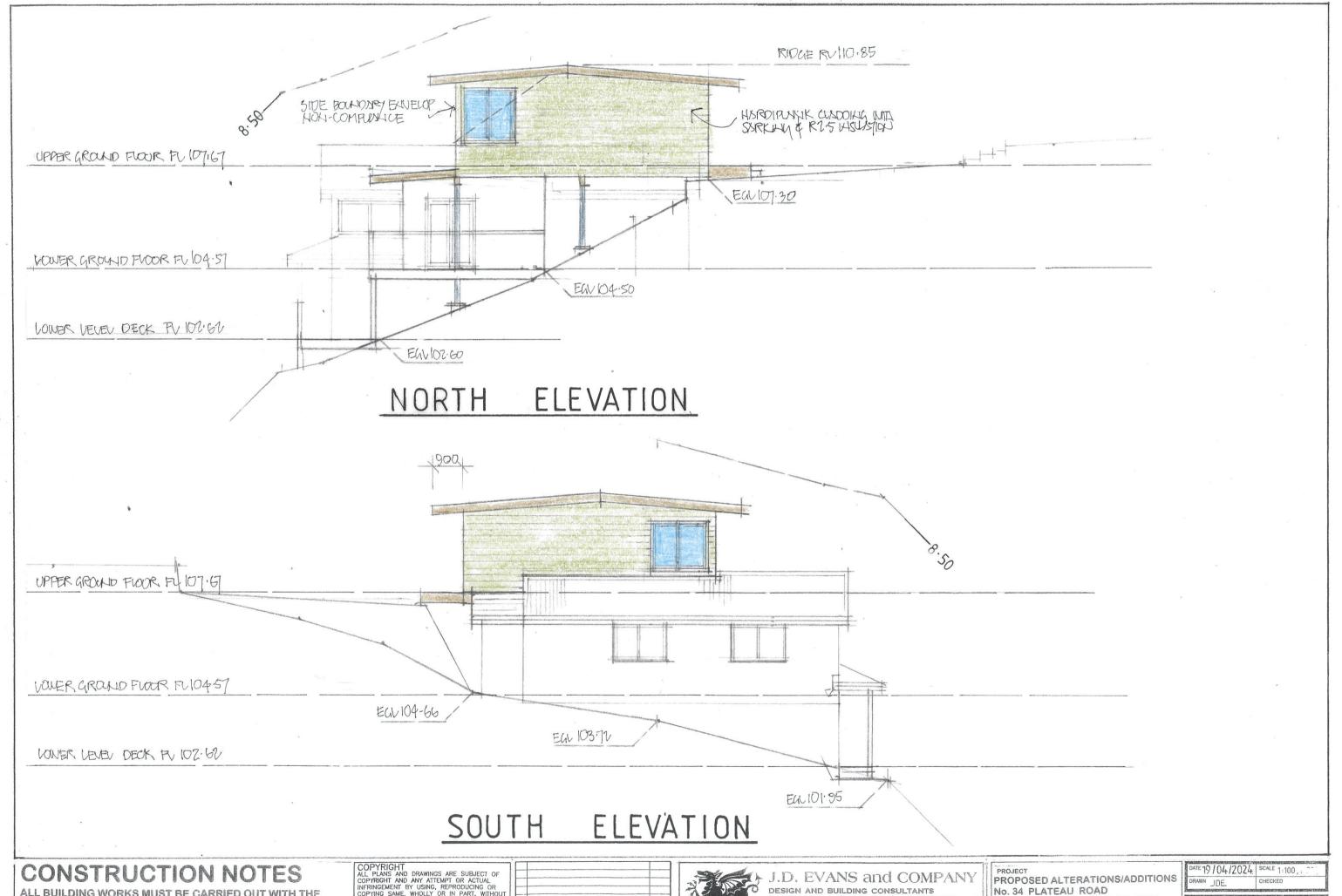
2156-3 CRAIG & NICOLE LESTER

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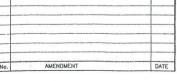
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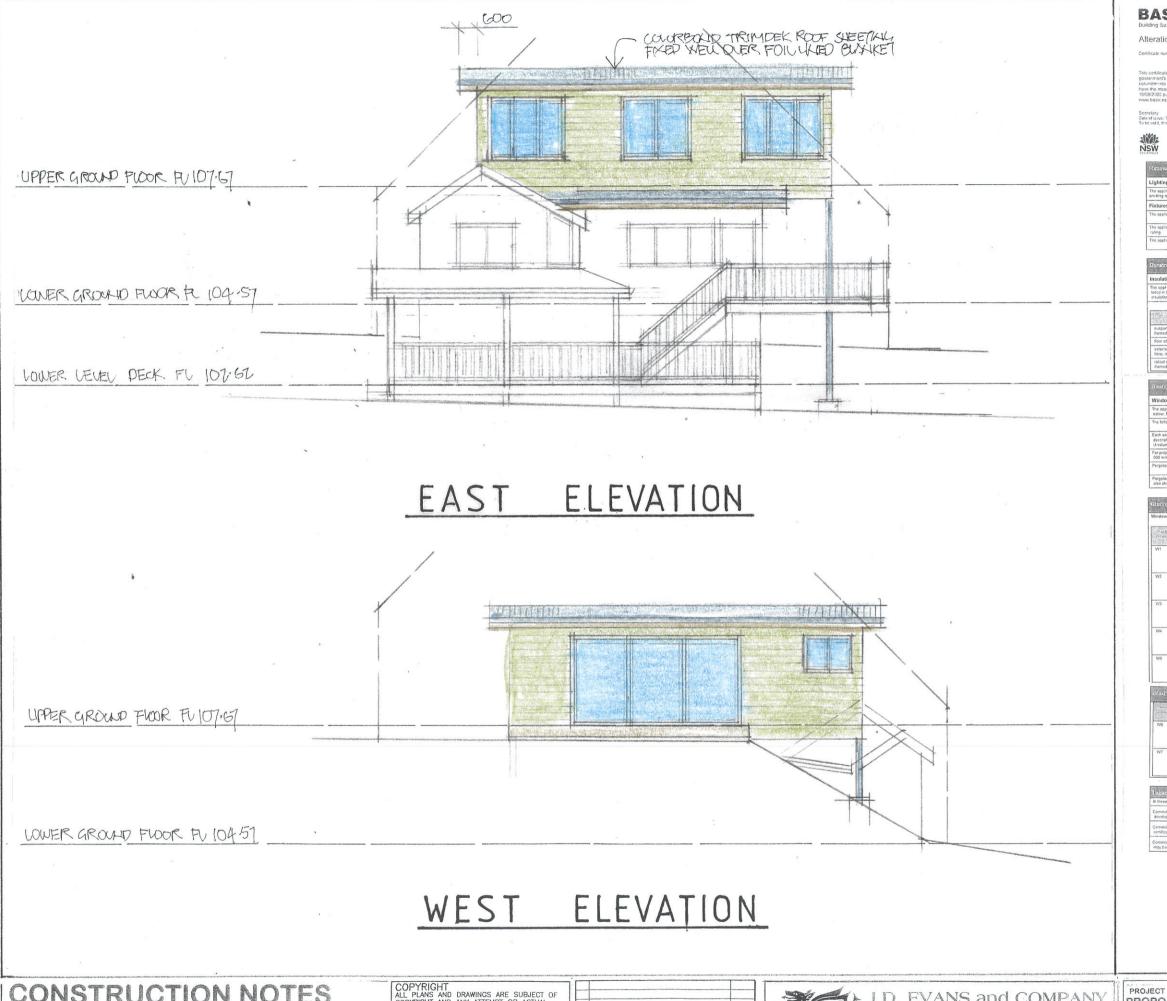




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BILGOLA PLATEAU N.S. W. 2107 CLIENT CRAIG & NICOLE LESTER

2156-4



BASI Certificate

Alterations and Additions



Fedge Childs, Co.	
Project name	34 PLATEAU ROAD, BILGOLA PLATEAU
Street address	34 PLATEAU Ross BILGOLA PLATEAU 210
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan OP1214257
Let number	2
Section number	
strager v/m	
Dwolfing type	Divelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and doe not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by	
Name / Company Name Efficient L	wng Piv Lid

Fixtures and systems	DAPLATE	Show on DOUDIG Flans & space	Check
Lighting	and the same of th		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light- emitting-clode (LED) lamps.		~	~
Fixtures			
The applicant must ensure new or attered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		4	· ·
The applicant must ensure new or aftered toilets have a flow rate no greater than 4 lifes per average flush or a minimum 3 star water rating.		V.	4
The applicant must ensure new or altered tops have a flow rate no greater than 5 lifres per minute or minimum 3 star water rating.		4	

Construction				Show on COUDE Plans & special	Chack Chack
Insulation requirements					
The applicant must construct the new or after listed in the table below, except that a) addi- resulation specified is not required for parts.	ional insulation is not required where the are	a of new construction is less than 2m2, b)	4	· ·	~
For stone with	, which will there will a make a make " with the state of	finding or an included historial			
suspended floor with enclosed subfloor. framed (R0.7),	R0.60 (down) (or R1.30 including construction)	N/A -			
Roor above existing dwelling or building.	nil	NA			
oxternal wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof foil/sarking	medium (solar absorptance 9 475 - 9.70)			

Glozing requirements	PA Plan	Show on GDTDDG Floris Aspens	Cincilla Circil
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the lable below. Relevant overshadowing specifications must be sets field for each window and glazed door.	~	~	~
The following requirements must also be satisfied in relation to each window and glazed door:		~	~
Each window or glazed door with standard aluminium or timber formes and single clear or toned glass may either match the descripton, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that Stod in the table below. Total system U-values and SHGCs must be exclusized in accordance with National Feorestation Rating Council (SHGC) considere.		~	4
For projections described in milimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sit.	4	~	4
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		· ·	4
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		24	~

	red dears glazing						77.	
Arable proper strate, I	et før Vide då er in	Assessment of the con-	in the property of the second	of the second section is	in this is a district of the second of the s	1 + 4-41 - 41-41 -41 - 1 - 42-4		
W1	N	3.78	0	0	eave/ verandsh/ pergola/be/cony >=600 mm	standard sluminum, single clear, (or U-value, 7.63, SHGC 0.75)		
W2	E	3.24	0	0	eave/ verandah/ pergola/balcony >= 900 mm	standard aluminium, single clear, (or U-value: 7,03, SHGC 0.75)		
V/3	E	3.78	0	0	eaver verandahi pergola/balcony >=900 mm	standard alumnion, single clear, (or U-value, 7.53, SHGC, 0.75)		
W4	E	2.86	0	0	eavo/ verandah/ pergola/balcony >=930 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC 0.75)		
W5	S	2.44	0	0	eave/ verandah/ pergola/ba/cony >=600 mm	standard aluminum, single clear, (or U-value: 7-63, SHQC 0.75)		

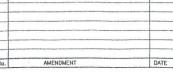
Slowing requi	ements						Show on DAPlace	Brown to Corona Part & Thomas	Control
Marija Paga Harifi	+ (ma - (m) - 1)	Are taken cvv	Ψ/γ == tar y=le, γryda ly = y=araqquey(the same same	Hir olympi Contract	()			
WS	W	1.5	0	d	cave/ verandah/ pergola/balcony >=900_arm	standard atuminum, single clear (or U-value: 7.63, SHGC 0.75)			
W7	w .	10.8	0	0	paye/ verandsh/ pergola/balcony >=000 mm	standard aturninum, single clear, (or U-value, 7.63, SHGC, 0.75)			

	•			
Lagand	网络广泛图像人 多图点图		ESSA STATE	
In these commitments, "applicant" means the person carrying out the developme	nt.		Designation of the Parish	
Commitments identified with a $\%$ in the "Show on DA plans" column must be shiftereforment application is to be lodged for the proposed development).	own on the plans accompanying the developme	ent application for the pr	opased development (4	a
Commitments identified with a "" in the "Show on CC/CDC plans 5 specs" color certificate / complying development certificate for the proposed development.	in must be shown in the plans and specification	ns accompanying the ag	pplication for a construct	tion
Commitments identified with a V in the "Ceration check" column must be carried	the saniform or thought as being been to Mills	ad before a East engine	nine continents for the di	nuelos men

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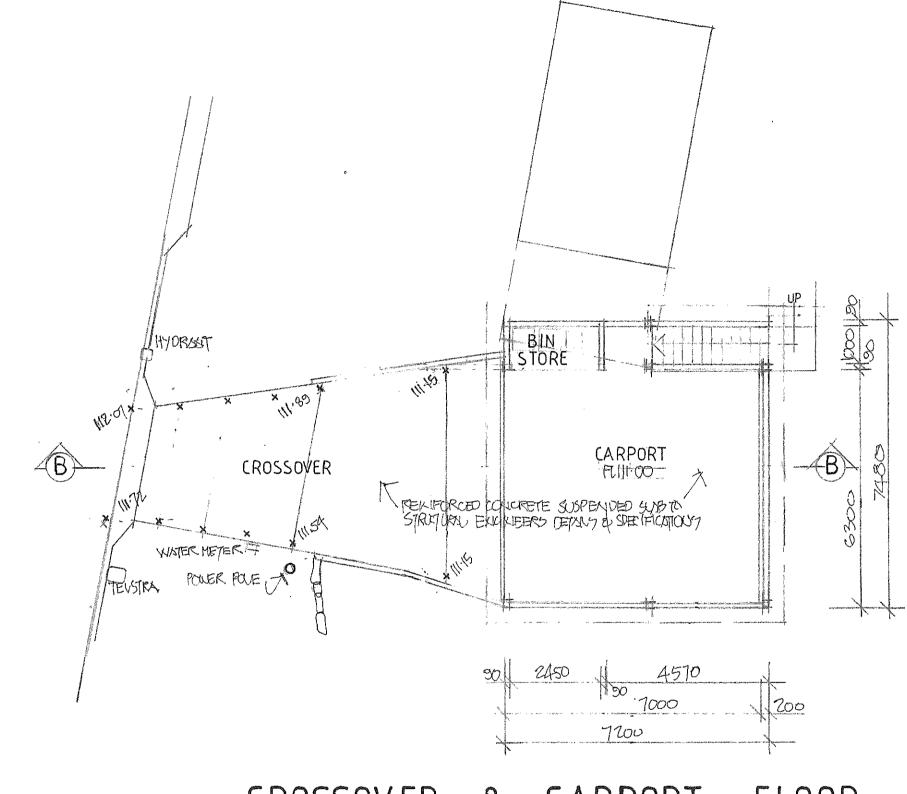
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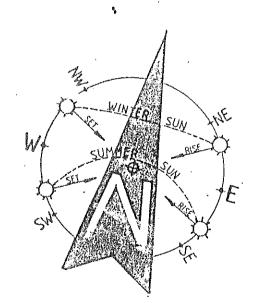
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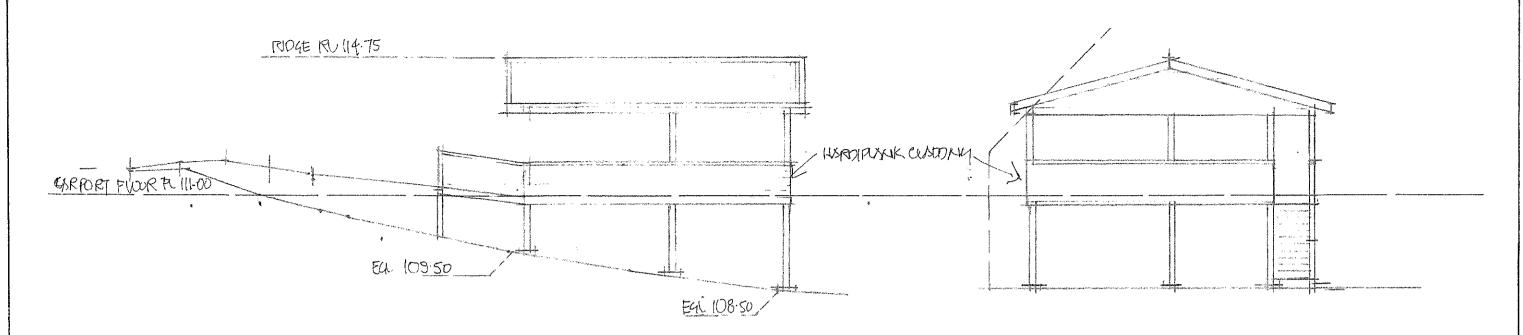
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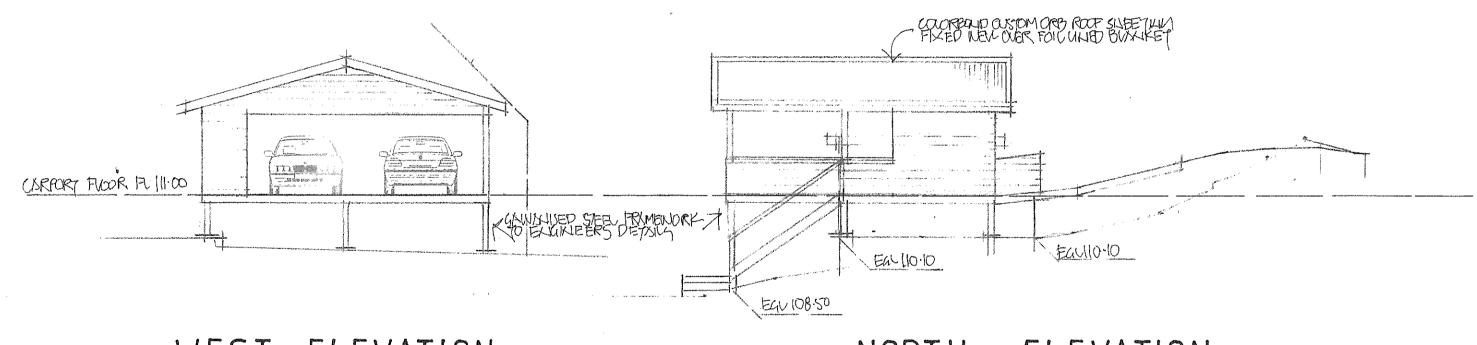
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DRAWING No. | ISSUE | 2156-6



SOUTH ELEVATION

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WEST ELEVATION

NORTH ELEVATION

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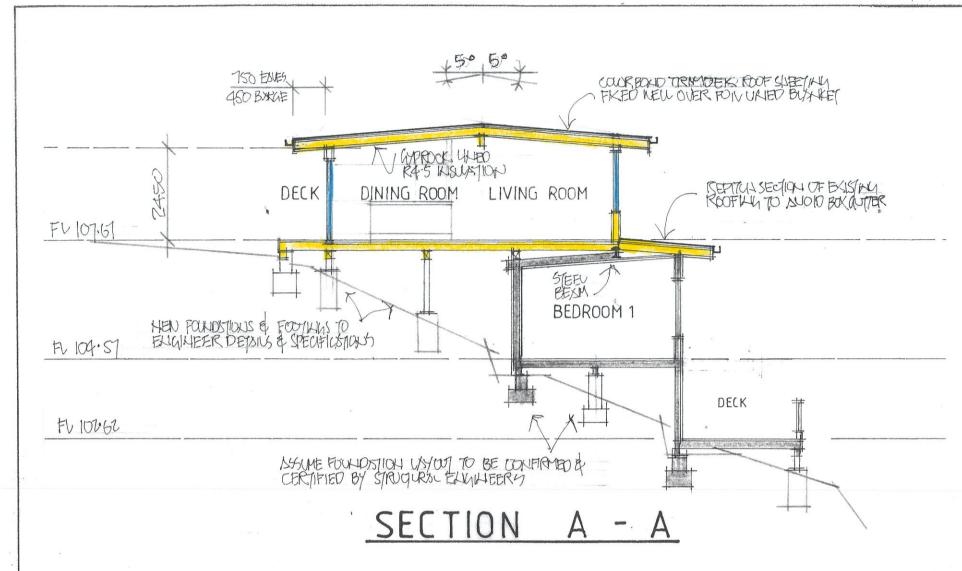


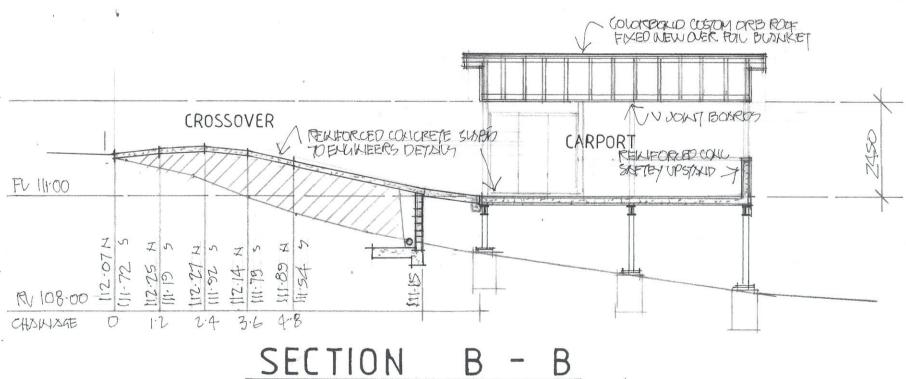
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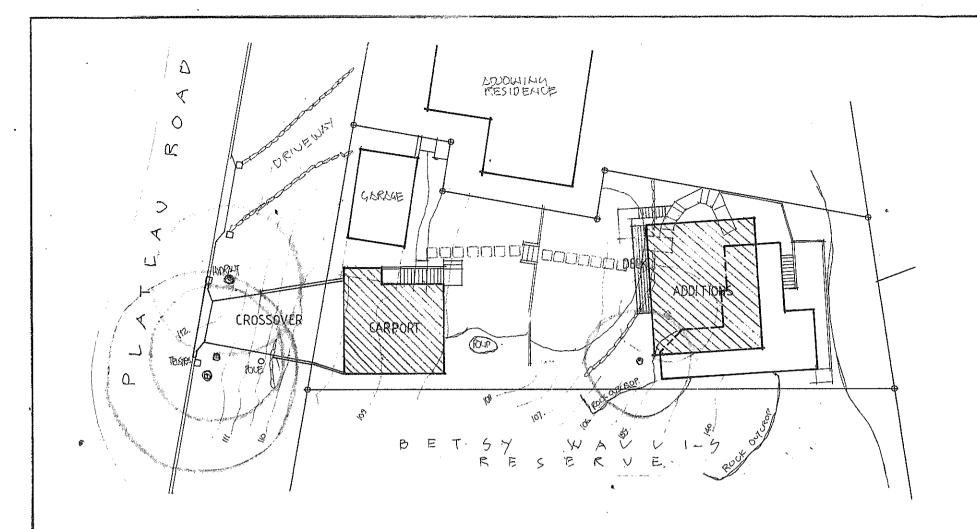


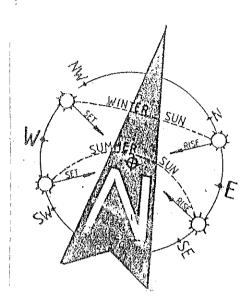


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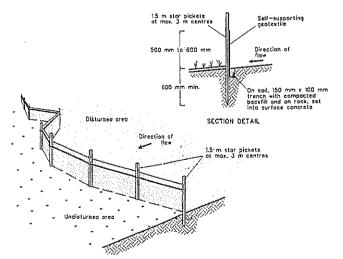
2156-8 ISSUE





EROSION AND SEDIMENT MANAGEMENT PLAN

SEDIMENT FENCE



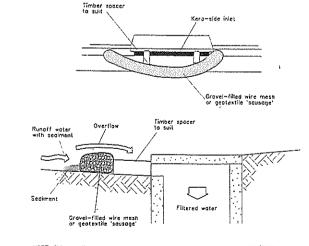
CONSTRUCTION NOTES

- 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL. TO THE CONTOURS OF THE SITE
- DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3.0 METRES APART.
 DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE.
 FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.

- 4. BACKFILL TRENCH OVER BASE OF FABRIC.
 5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS
- WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.

 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

MESH AND GRAVEL INLET FILTER



NOTE: This practice only to be used where specified in an approved SWMP/ESCP.

CONSTRUCTION NOTES

- 1. FABRICATE A SLEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER
- THAN THE LENGTH OF THE INLET PIT.
- 3. FILE THE SLEVE WITH 25MM TO 50MM GRAVEL.

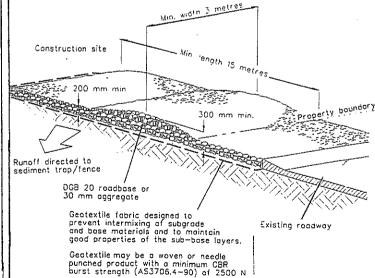
 3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150MM HIGH X 400MM WIDE.

 4. PLACE THE FILTER AT THE OPENING OF THR KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
- 5. MAINTAIN THE OPENING WITH SPACER BLOCKS. 6. FORM A SEAL WITH THE KERBING AND PREVENT
- SEDIMENT BYPASSING THE FILTER.

 7. FIT TO ALL KERB INLETS AT SAG POINTS

TECHNIQUES USED FOR EROSION AND SEDIMENT CONTROL ON SITE ARE TO BE ADEQUATLEY MAINTAINED AND MONITORED AT ALL TIMES, PARTICULARY AFTER PERIODS OF RAIN, AND SHALL REMAIN IN PROPER OPERATION UNTIL ALL DEVELOPMENT ACTIVIES HAVE BEEN COMPLETED AND THE SITE IS SUFFICENTLY STABILISED WITH VEGETATION.

STABILISED SITE ACCESS



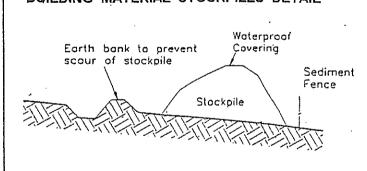
CONSTRUCTION NOTES

- 1. STRIP TOPSOIL AND LEVEL SITE.
- 2.COMPACT SUBGRADE.
- 3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
 4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE. OR 30MM AGGREGATE. MINMIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
- 5. CONSTRUCT HUMP IMMEDIATELY WITHIN THE BOUNDARY TO DIRVERT WATER TO A SEDIMENT FENCE OF OTHER SEDIMENT TRAP.

PROPOSED ALTERATIONS/ADDITIONS No. 34 PLATEAU ROAD

No. 5 ELAINE AVENUE, AVALON BEACH 2107 EMAIL JDECO.AVALON@GMAIL.COM MOBILE 0418 976 596

BUILDING MATERIAL STOCKPILES DETAIL



CERTIFICATION

I JOHN EVANS HEREBY CERTIFY THAT THIS DRAWING HAS BEEN DESIGNED WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE NSW DEPARTMENT OF HOUSING MANUAL 'MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION - VOLUME 1, 4TH EDITION 2004. AND THE DO IT RIGHT ON SITE - SOIL AND WATER MANAGEMENT FOR THE CONSTRUCTION INDUSTRY - 2021

Signed

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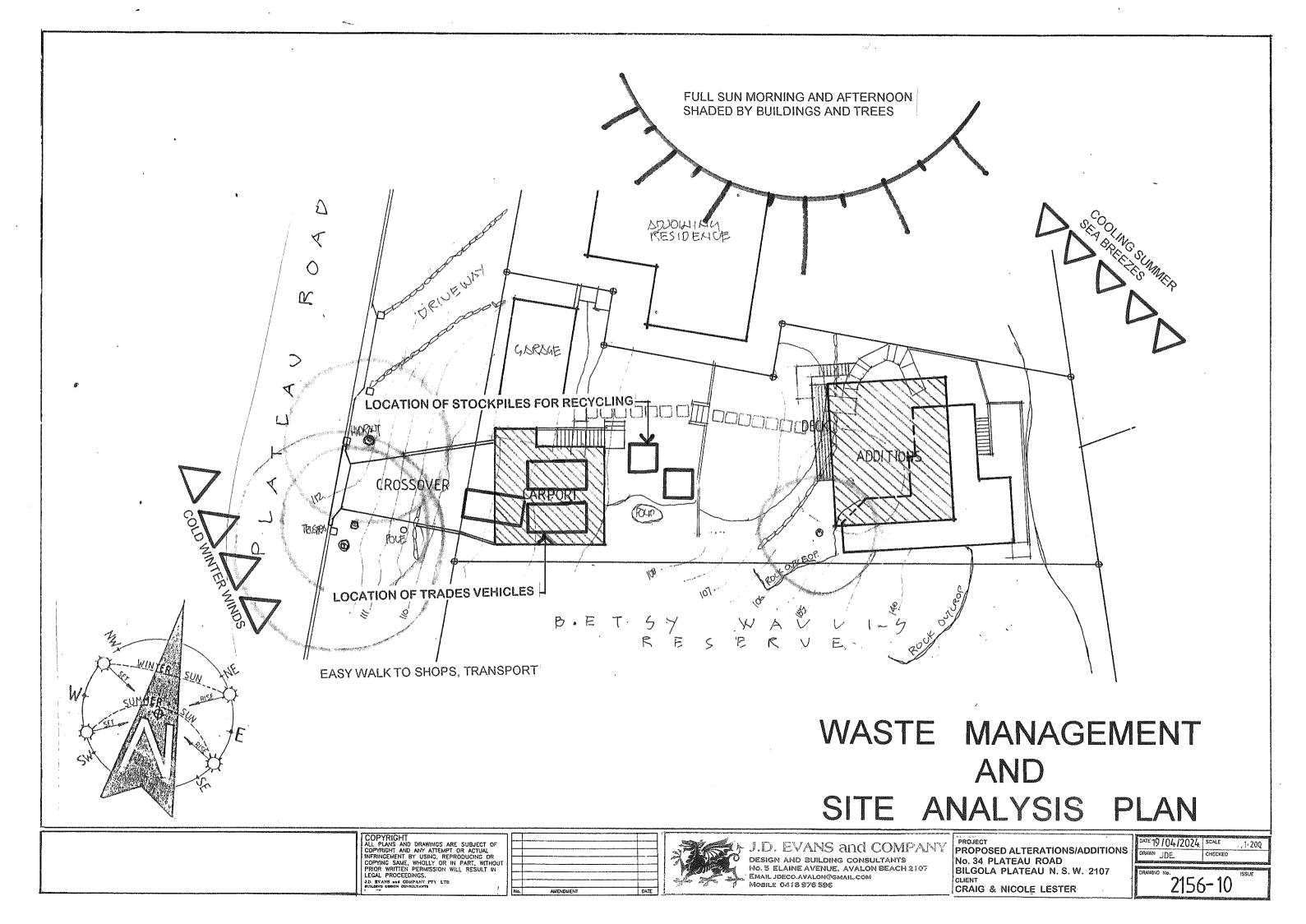


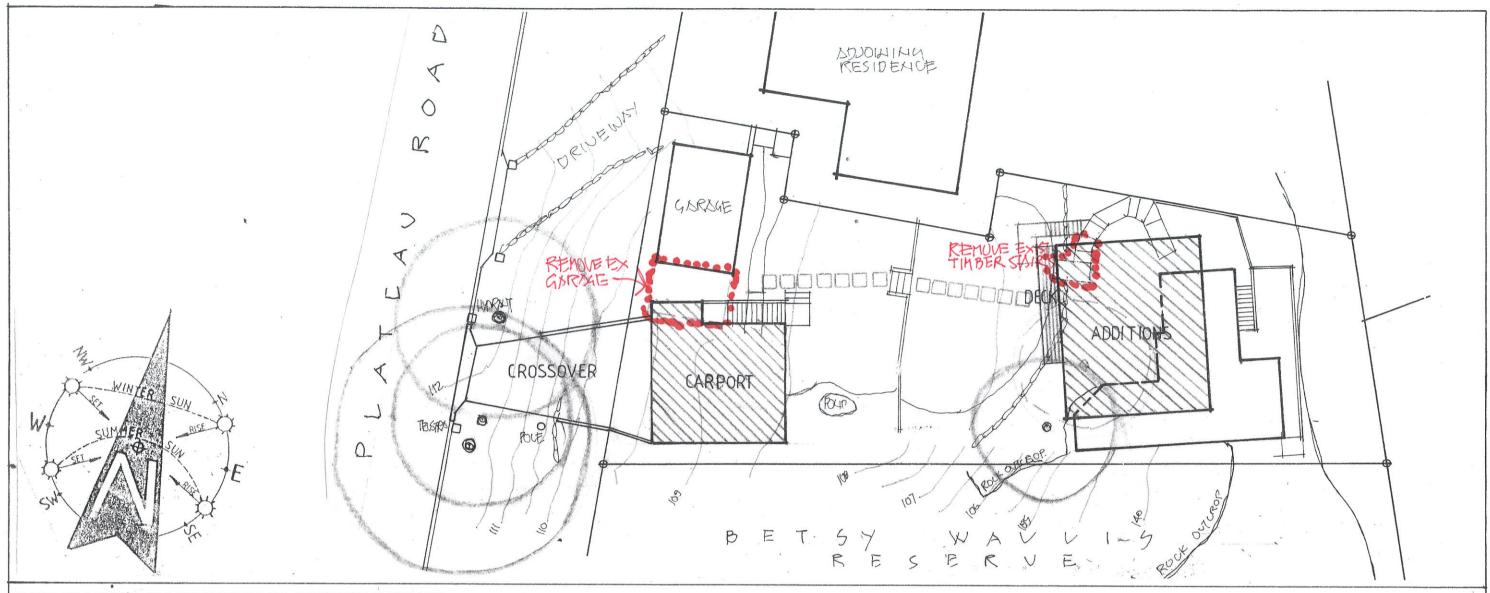
J.D. EVANS and COMPAN DESIGN AND BUILDING CONSULTANTS

BILGOLA PLATEAU N. S. W. 2107 CRAIG & NICOLE LESTER

2156-9

CONSTRUCTION NOTES ALL BUILDING WORKS MUST BE CARRIED OUT WITH THE REQUIREMENTS OF THE NATIONAL CONSTRUCTION CODE (NCC 2022) & THE ABCB HOUSING PROVISIONS.





DEMOLITION MANAGEMENT SPECIFICATION

THE PROCEDURES TO BE TAKEN BEFORE AND DURING THE DEMOLITION WORKS SHALL BE IN ACCORDANCE WITH AS 2601-2001 DEMOLITION OF STRUCTURES AND THE FOLLOWING ADDITIONAL REQUIREMENTS:

- 1.1 In addition to complying with the above mentioned Australian Standard the demolition works will also comply with the Building Regulations applicable to the state of Victoria and the following Australian Standards and Codes of Practice:
 - a) AS 2436 1981 Guide to Noise Control
 - b) O.H & S. Code of Practice for Demolition (1991 No 14)
 - c) O.H & S. Code of Practice for Building and Construction Workplaces (1990 No 13)
 - d) O.H & S. (Asbestos) Regulations 2003
 - e) Occupation Health and Safety (Asbestos) Regulations 1992
- 1.2 An outline of the extent of the demolition is shown on the Working Drawings. These drawings are not intended to be a complete statement of the works.

2.0 Demolition and Removal:

2.1 I have inspected the site and have made my own assessment of the prevailing site conditions, including the position of all existing services, the extent of all demolition, etc., the nature of the access together with the requirements of all other works necessary to facilitate

3.0 Precautions Prior to Demolition Works:

Demolition will not commence until the precautionary measures have been inspected and approved by the relevant Building Surveyor.

- 3.1 Security fencing shall be provided around the perimeter of the demolition site and any additional precautionary measures taken, as may be necessary to prevent unauthorised entry to the site at all times during the demolition period.
- 3.2 Notices lettered "Danger! Demolition in Progress" or a similar message shall be fixed to the ending at appropriate places to warn the public.
- 3.3 The erection of hoardings, outriggers and scaffolding shall be constructed in accordance
- 3.4 All electrical, gas, water, sewer, steam and other service lines not required in the demolition process shall be shut off, capped or disconnected at or outside the building line, before the demolition works commence.
- 3.5 The relevant statutory authorities shall be notified in advance and their approvals or services, if necessary shall be obtained.
- 3.6 Any service retained for demolition will be adequately protected and if necessary, arrangements shall be made with the relevant authority to fully protect any overhead wires.
- 3.07 The necessary permits and consents will be obtained from the appropriate authorities before demolition works begin for any building that is classified as a Historic Building, Heritage Building, listed in the National Trust or a building that is significant or of special interest, or a building that requires a Town Planning Permit from the relevant Council.

4.0 Other Precaution

- 4.1 An approved asbestos removalist will be appointed to determine as far as practicable
- 4.2 The approved asbestos removalist will provide documentary evidence stating that he/she is registered by the Health and Safety Organisation as a Grade A or Grade B removalist
- 4.3 The handling of materials containing asbestos shall be in accordance with the Occupational Health and Safety (Asbestos) Regulations 2003.
- 4.4 Prior to the commencement of demolition, the building site shall be examined by the principal contractor and a competent specialist, to determine as far as practicable, the presence of any noxious, toxic or explosive material or other conditions that could become dangerous or disturbed during the demolition. The nature and location of each hazard shall be recorded and noted to the relevant Building Surveyor.
- 4.5 Due care must be exercised when demolishing building/s that contain hazardous materials
- 4.6 Adequate fire extinguishing equipment will be available on site at all times and the principa contractor and his or her employees shall be trained in its use in combating class A, B and C

Demolition and removal of the building shall be undertaken in a careful and proper manner and with a

- 5.1 All excavations must be fenced or guarded against being a danger to life or property. No excavations will occur which are greater than 1m in depth.
- 5.2 Manual demolitions will be conducted on non-load bearing brick and timber walls and the roof. The building will be completely stripped leaving the skeleton of the building for mechanical
- 5.3 Mechanical demolition will be achieved by Jack Hammering, drilling and other mechanical means of non-load bearing and non-prestressed concrete where necessary. Rope pulling of brick walls will also be used. Mechanical machinery will be used to completely demolish the remaining skeleton of the building

- 5.4 All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed member is removed.
- 5.5 Dust creating materials shall be lowered by hoisting apparatus or removed by material
- 5.6 Walls on the boundary will be demolished by hand.
- 5.7 Walls shall not be left free standing without temporary bracing or supports.
- 5.8 No wall, chimney or other structure shall be left unattended or unsupported in such a condition that it may collapse due to wind or vibration.
- 5.9 Any asbestos present in the building shall be removed by a registered asbestos removalist
- 5.10 Procedures and method of demolition will be adequate to prevent injury to persons and avoid damage to neighbouring property.
- 5.11 The plant equipment shall be adequately maintained as per the Occupational Health and Safety (Plant) Regulations.
- 5.12 Facilities and equipment as described in the Code of Practice for asbestos removal shall be provided where necessary.
- 5.13 Containers for the disposal of debris shall be provided
- 5.14 No material will be left on site as to cause danger to the public.
- 5.15 No material will be dropped more than 2m in height
- 5.16 No combustible material and rubbish will be left on site as to cause a fire hazard.
- 5.17 No burning of any debris will occur on site
- 5.18 Explosives shall not be used during demolition process

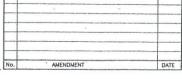
The site shall be cleared of all debris to the satisfaction of the Relevant Building Surveyor.

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DEMOLITION MANAGEMENT PLAN

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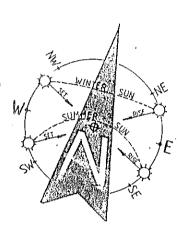
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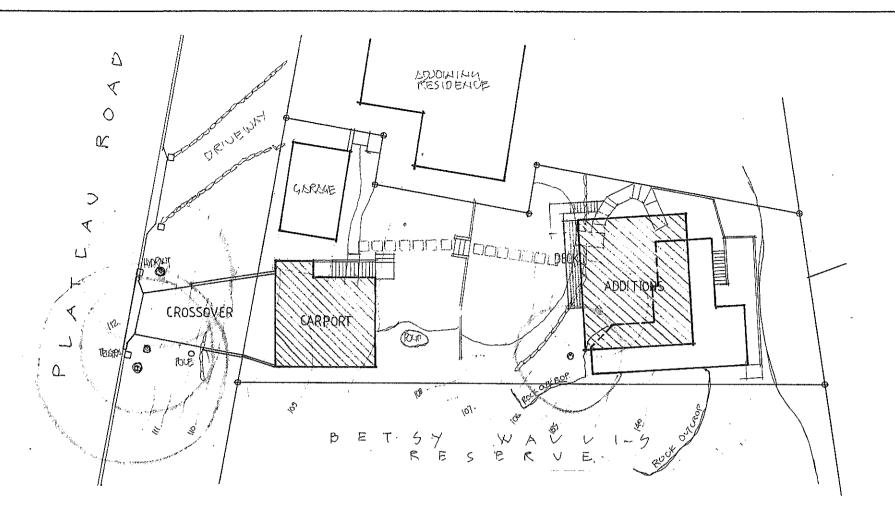
PROPOSED ALTERATIONS/ADDITION No. 34 PLATEAU ROAD BILGOLA PLATEAU N. S. W. 2107 CRAIG & NICOLE LESTER

DATE 19 / 04/2024	SCALE 1:00
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EXCAVATION MANAGEMENT SPECIFICATION

Excavation work can be dangerous and precautions must be taken when excavating a trench, funnel or shalf. Before excavation work is carried out at the University a number of steps need to be completed to ensure the work is safe and without risk.

The Work Health and Safety Regulation 2011 NSW establishes specific requirements for working safety when conducting excavation work. This guideline details the risk controls to be adopted in accordance with the legislation.

This document outlines the requirements for the management of excavation at the University. This applies to any type of excavation, as per the definition, frenching and breaking ground at any University campus or premises.

This does not apply to areas or worksites where a construction project has a principal contractor appointed and the principal contractor has the responsibility for the worksite which is clearly defined and separated be a physical barrier. In this instance the principal contractor is responsible for ensuring that any exceptation compiles with the relevant regulations.

Excavation	Excavation means a trench, tunnel or shaft				
Barrier	means a physical structure which blocks or impedes something such as hearding				
Barricade	means any object or structure that creates a barrier obstacle t control, block passage or force the flow of traffic in the desire direction.				
Backlili	means material used for rofilling excavations				
Battering	means to form the face or side or wall of an excavation to an angle usually less than the natural angle of repose, to prevent earth stoppage.				
Bench	means a horizontal step out into the face or side or wall of a excavation to provide horizontal bearing and sliding resistance.				
Benching	means the horizontal stepping of the face, side, or wall of a excavation.				
Closed sheeling	means a continuous frame with vertical or horizontal sheathing planks placed side by side to form a continuous relaxing wal supported by other members of a support system used to hold ut the face of an exception.				
Competent person	means a person who has acquired through training, qualification of expenence the knowledge and skills to carry out the task				
Exclusion zone	means an area from which all persons are excluded dumn excavation work.				
Face	means an exposed sloping or vertical surface resulting from the excevation of material				
Geotechnical Engineer	means an engineer whose qualifications are acceptable for membership of the institution of Engineers, Australia and who has qualifications and experience in soil stability and mechanics and excavation work.				
Overburden	, means the surface soil that must be moved away.				
Safe stope	means the steepest slope at which an excavated face is stable against slope and slides, having regard to the qualities of the material				

	moisture conditions for the time being existing.
Shaft	means a vertical or inclined way or opening from the surface downwards or from any underground working, the dimensions of which (apart from the perimeter) are less than its depth.
Sheet pling	means vertical, close-spaced, or interlocking planks of steel reinforced concrete or other structural material driven to form a confinious wall ahead of the excavation and supported either by tie backs into solid ground structural members from within the excavation as the work proceeds.
Shoring	means the use of timber, steel or other structural material to suppor an excavation in order to prevent collapse so that construction can proceed.
Soldier	means vertical upright steel or timber element used for supporting a tranch wall
Strut	means structural member (usually horizontal) in compression resisting thrust or pressure from the face or faces of an excavation
Tom	means structural member used to hold soldiers against a trench wal or to press waters apart in a close sheeted trench.
Trench	means a horizontal or inclined way or opening , the length of which is greater than its width and greater than o equal to its depth, and, that commences at and extends below the surface of the ground; and, that is open to the surface along it length.
Trench box	means a structure with four vertical side plates permanently brace apart by bracing designed to resist the pressure from the walls of trench and capable of being moved as a unit.
Trench shield	means a steel or metal structure with two vertical side plate permanently braced apart by cross frames or struts designed (resist the pressure from the walls of a trench and capable of bein moved as a unit.
Tunne!	means an underground passage or opening that is approximatel horizontal and commences at the surface of the ground or a excavation.
Waler	means a horizontal steel or timber element used for supporting trench wall
Water scoung	means an erosion process resulting from the action of the flow of water.
Zone of influence	means the volume of soil around the excavation affected by an external load (for example vehicles, plant, excavated material)

in the face, the height of the face, the load above the face and the

4. Responsibilities

The responsibilities of the Permit Requestor are to

- ensure the details of the task that are documented in the permit are accurate and true
 undertake the task that has been approved by the permit safety in accordance with the permit specifications
 provide the permit approver with a copies of any associated documentation including risk assessments
 seek immediate advice if circumstances or conditions change white undertaking work
 ensure safe systems of work are implemented as per <u>UOW_Risk_Management_Guidelines</u> and <u>UOW_Contractor_WINE_Guidelines</u>

- ensure that the permit to work form has been suitably completed by the permit requestor
 authorise approval for work to be undertaken once satisfied that the permit requestor can
 complete the task safety
 monitor the work undertaken by the permit requestor, ensure duration times are adhered to
 and ensure risk assessments have been completed
 sign off on the Completion of Work section of the permit after verifying that the work site
 has been left in a safe condition
 maintain records of work permits including associated documentation such as risk
 assessments.

The UOW Representative is the designated person who engages a contractor to undertake the excavation work

The responsibilities of the UOW Representative are to:

Coordinate and manage the contract in accordance with UOW Contractor WHS Guidelines

Bissure that the contractor is aware of the UOW PTW system and excavation requirements and directed to the appropriate permit

Managers and supervisors from UDW divisions that coordinate the PTW system must ensure that the requirements are implamented in their area.

- The WHS Unit shall.

 provide technical guidance on the application of the permit to work system

 evaluate and update the permit to work guidelines at the review period or as procedures change

 provide expertise and regulatory guidance to responsible persons

 develop and maintain a register of restricted access areas across the campus

Under the WHS Regulation 2011 a Principal Contractor needs to be appointed for a construction project. A construction project is a project that involves construction work where the cost of construction \$250,000 or more

The principal contractor is responsible for ensuring that any excavation work complies with the relevant regulations

The University of Wollengong has controls surrounding excavation work. Any excavation work greater than 300mm requires the worker to

- 1 Obtain an excavation permit including a risk assessment for the activities occurring, and 2 Have the permit signed and approved by a UOW Permit Authoriser.
- The risk assessment process should be adopted to ensure hazards are identified and risks are controlled to avoid any incidents. Refer to the <u>Risk Management Guidelines</u> for further information.

be developed in consultation with workers and their representatives who are carrying out the high risk construction work.

The duration of the work is to be noted in the permit and authorised by the Permit Approver. Any y change to the duration period needs to be communicated and authorised by the Permit Approver through the completion of a new permit.

Where a permit has been written and is not required to be issued it is required to be marked as cancelled. The marking should include two diagonal fines across the page with the word cancelled written in between. Cancelled permits will be retained by the Permit Approver for at least one year to facilitate the annual program review.

Excavation work may only commence after the appropriate permit has been completed and signed off by the Permit Approver. The Permit Approver needs to be salisfied that the Permit Requestor is capable of undertaking the work in accordance with the permit requirements and that all relevant sections of the permit have been completed before approving the work. Both the Permit Approver and the Permit Requestor will need to sign the permit in order to authorise the work.

Authorised Permit Approvers list can be found in the Permit To Work Guidelines

6.9. Work Completion

At the completion of the job, all tools, equipment and persons must be removed from the excavation site and the permit must be returned to the Permit Approver. The work area is to be made safe and tury at completion of job and all waste removed.

Permits and associated documents such as safe work procedures and task assessments are required to be stored and maintained as per the <u>WHS Document Control Guidelines</u> and UOW <u>Records Mapagement Procedures</u>

In order to ensure that these guidelines continue to be effective and applicable to the University the program will be regularly reviewed by the WHS Unit and Facilities Management Division.

- Conditions which might warrant a review of the guidelines on a more frequent basis would include

Following completion of any review, the program will be revised / updated in order to correct any deficiencies before further entries are authorised. Any changes to the program will be communicated to all affected employees.

The permit requester is to provide at least 24 hours notice of the proposed excavation work to apply for a permit. Emergency rectification works may necessitate the immediate need for a permit and as such 24 hours is not required. All retearns sections of the permit must be completed. Work extending over multiple permits requires communication and a handover of the relevant information pertaining to the job.

The permit and attached paperwork shall identify current underground essential services information about the pareas proposed excavation. This may include essential services that use pipos, cables or other associated plant located underground.

The permit should also outline any other considerations in relation to proposed excavation work that may be affected by the excavation.

- a) the essential services that may be affected.
 b) the location, including the depth, of any pipes, cables or other plant associated with the

- When there is a need to excavate a trench to a depth of 1.5m or more the

 work area shall be secured against unauthorised access and

 at itses of the trench are to be adequately supported by adequate shoring by shielding or
 other comparable means, benching or battering.

Sides of the trench do not have to be supported where there is written confirmation from a geotechnical engager that all sides of the trench are safe from collapse in accordance with the regulation.

6.3. High Risk Construction Work

High risk construction work is any construction work (including any work connected with an excavation) that is carried out in or near

a shaft or trench with an excavated depth of greater than 1.5 metres or
a turnet

A risk assessment shall be prepared, and attached to the permit where there is a risk of • a person falling into an excavation,

a person talking into an excavation,
 a person being trapped by the collapse of an excavation
 a person working in an excavation being struck by a falling thing, or
 a person working in an excavation being exposed to an airborne contaminant

6.5. Safe Work Method Statements and Safe Work Procedures

The Safe Work Medical Statement (SWMS) or Safe Work Procedure most identify the type of high risk construction work being done specify the health and safety hizards and risk arising from that work inspection has the skip will be confished.

Inspection has the skip will be confished.

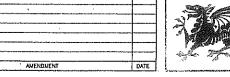
PROPOSED ALTERATIONS/ADDITIONS No. 34 PLATEAU ROAD BILGOLA PLATEAU N. S. W. 2107

DATE 19 / 04 / 2024 SCALE NTS JOE WARN 2156-12

EXCAVATION MANAGEMENT PLAN

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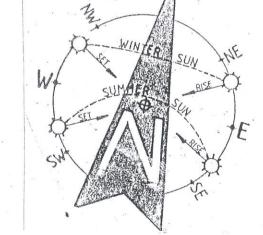
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CRAIG & NICOLE LESTER



LANDSCAPED AREA = 338.69 SQM (60.60%)

SYMBOL	BOTANICAL NAME	COMMON NAME	POT SIZE	NO.OFF	HEIGHT	SPREAD
SHRUBS BS CL	BANKSIA SPINULOSA CALLISTEMON LINEARIFOLIUM	HAIRPIN BANKSIA NARROW LEAVED BOTTLEBRUSH	5 LITRE 5 LITRE	3.2	2.0 M – 3.0 m 2.0m – 3.0m	2.0m - 3.0m 2.5m - 3.5n
SCREENING	ACMENA SMITHII	LILLY PILLY	5 LITRE	8	3.0m – 4.5m	1.0m 1.2m



LANDSCAPE CONCEPT PLAN

ALL CIVIL STRUCTURAL AND HYDRAULIC WORKS ASSOCIATED WITH THIS PROJECT SHALL BE TO THE RELEVANT ENGINEER'S DETAILS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. ALL DIMENSIONS & LEVELS TO BE VERIFIED BY THE CONTRACTOR ON SITE.



DESIGN AND BUILDING CONSULTANTS No. 5 ELAINE AVENUE, AVALON BEACH 2107 EMAIL JDECO.AVALON@GMAIL.COM

MOBILE 0418 976 596

PROPOSED ALTERATIONS/ADDITIONS No. 34 PLATEAU ROAD BILGOLA PLATEAU N. S. W. 2107 CLIENT CRAIG & NICOLE LESTER

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