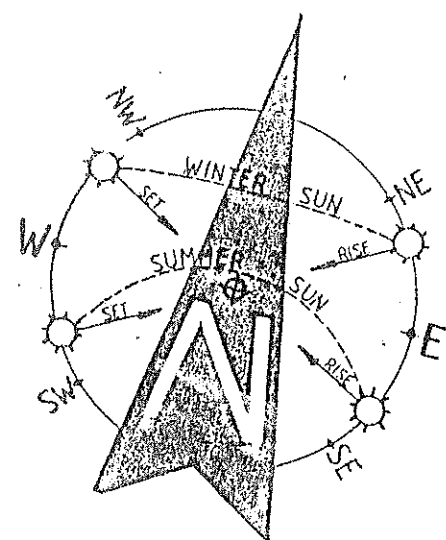


SITE PLAN
LOT 2 IN D.P. 1214257



- NOTES:**
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

DEVELOPMENT CALCULATIONS		
SITE AREA	558.90 SQUARE METRES	
DESCRIPTION	EXISTING SQM	PROPOSED SQM
RESIDENCE FLOOR	61.50	133.20
RESIDENCE ROOF	61.50	108.27
DECKS & STAIRS	33.55	38.33
GARAGE	36.90	—
SHED	—	25.83
CARPORT & STAIRS	—	53.86
DRIVEWAY	7.05	10.98
TOTAL HARD SURFACE	139.00 (24.87%)	237.27 (42.45%)
INCLUDING THE 6% VARIATION (33.54SQM)		
(FOR UNCOVERED DECK & PAVING OUTDOOR RECREATIONAL SPACE)		
TOTAL LANDSCAPING	453.44 (81.13%)	338.69 (60.60%)

CONSTRUCTION NOTES
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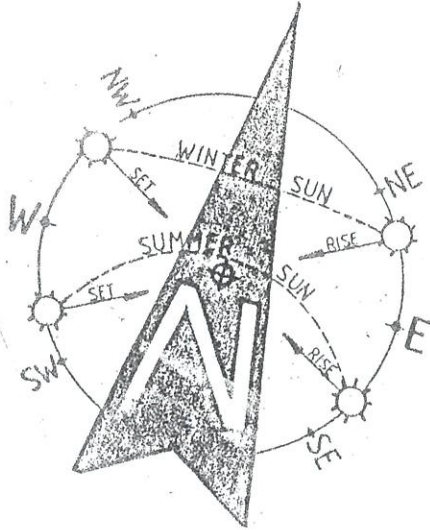
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No. 34 PLATEAU ROAD
BILGOLA PLATEAU N. S. W. 2107
CLIENT
CRAIG & NICOLE LESTER

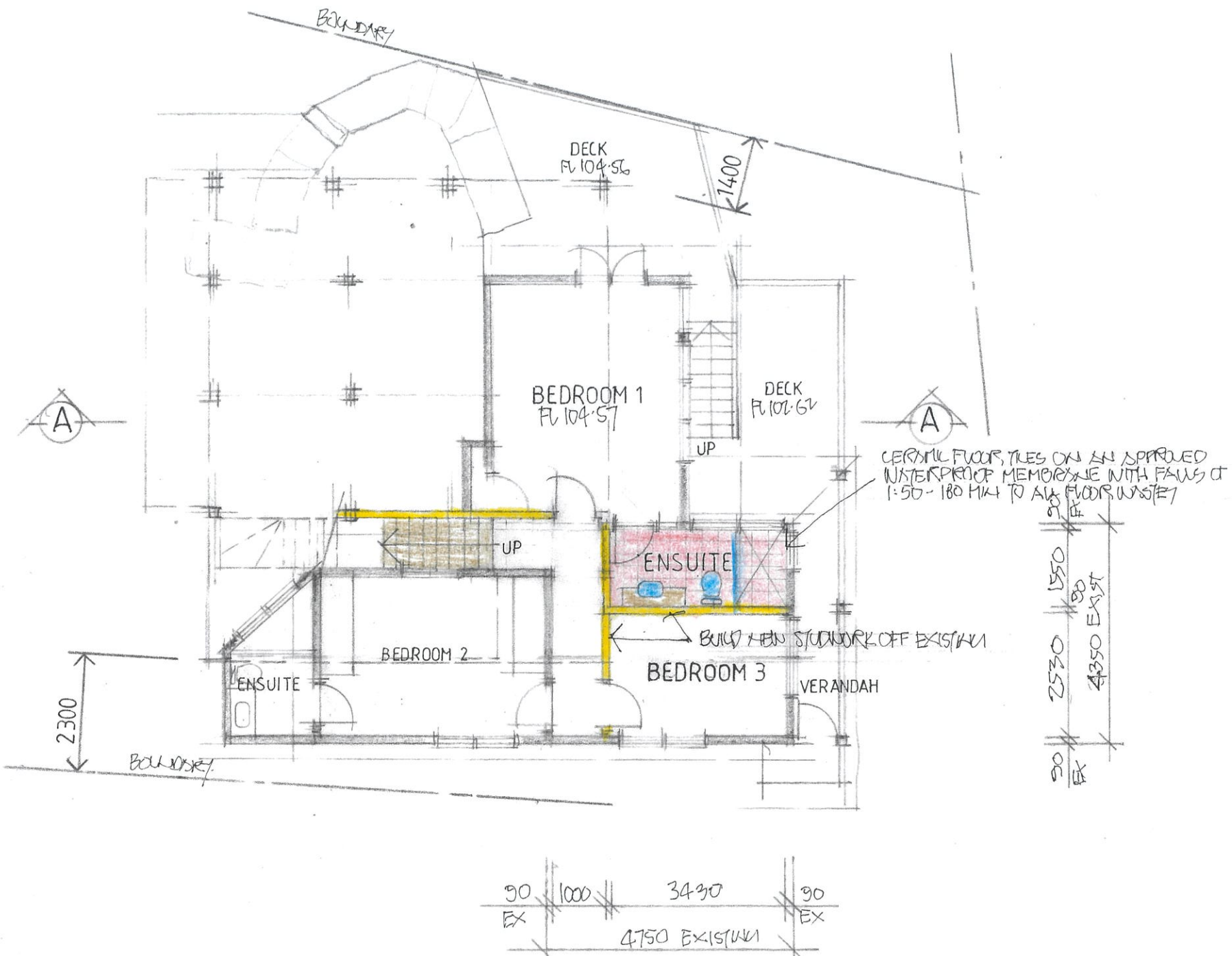
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NOTES

- 1. LIGHTING OF BATHROOMS & WC TO BE IN ACCORDANCE WITH NCC VOL.2 PART 3.8.4.2 AND AS/NZS 1680.0 1768.
- 2. VENTILATION OF BATHROOMS, ENSUITES & WC'S TO BE IN ACCORDANCE WITH NCC VOL.2 PART H4D9 & AS / NZS 4200.
- 3. THE DOOR TO THE BATHROOM IS REQUIRED TO COMPLY WITH AND IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA PART 3.8.3.3 (TO EITHER OPEN OUTWARDS,SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT).
- 4. FIRE /SMOKE DETECTORS TO BE IN ACCORDANCE WITH NCC VOL.2 H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS.
- 5. TERMITE RISK MANAGEMENT TO BE IN ACCORDANCE WITH NCC VOL. 2 PART H1D3 & PART 3.4 OF THE ABCB HOUSING PROVISIONS.
- 6. SOUND INSULATION TO BE IN ACCORDANCE WITH NCC VOL. 2 PART H4D8 & Part 10.7 OF THE ABCB HOUSING PROVISIONS.
- 7. ALL EXTERNAL GLAZING TO HAVE A MAXIMUM REFLECTIVITY INDEX OF 25%.
- 8. ALL GLAZED ASSEMBLIES TO COMPLY WITH NCC VOL.2 PART H1D8(2)&(3).
- 9. WATERPROOFING OF ALL WET AREAS TO COMPLY WITH NCC VOL.2 PART H4D2 & PART 10.2 OF THE ABCB HOUSING PROVISIONS
- 10. ALL BALCONY STEP-DOWNS TO COMPLY WITH AS4654-2012
- 11. STAIRS, HANDRAILS, BALUSTRADES TO BE CONSTRUCTED IN ACCORDANCE WITH NCC VOL. PART H5D3 & PARTS B 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS..
- 12. PROTECTION OF OPEN-ABLE WINDOWS MUST COMPLY WITH AS2047-18 FOR ALUMINUM & AS2047 FOR TIMBER WINDOWS.
- 13. GLAZING TO ALL BATHROOMS AND ENSUITES TO BE TOUGHENED GLASS.
- 14. SLIP RESISTANCE TO COMPLY WITH NCC BCA VOL.2 H5D2 & CLAUSE 11.2.4 OF THE ABCB HOUSING PROVISIONS. AND AS 4586.



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LOWER FLOOR PLAN

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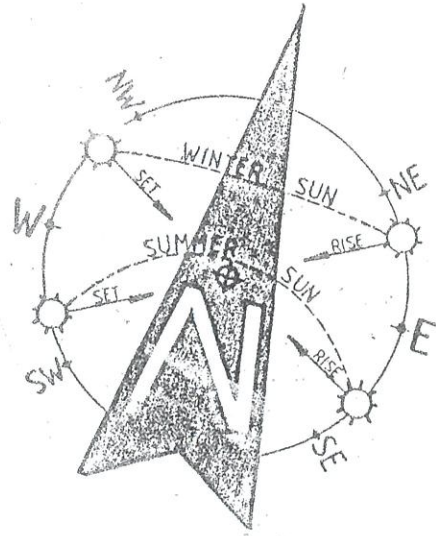


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WINDOW & GLAZED DOOR SCHEDULE			
No.	HEIGHT	WIDTH	AREA
W1	1.80	2.10	3.78
W2	1.80	1.80	3.24
W3	1.80	2.10	3.78
W4	1.80	1.60	2.88
W5	1.50	1.60	2.44
W6	1.00	1.50	1.50
W7	2.40	4.50	10.80



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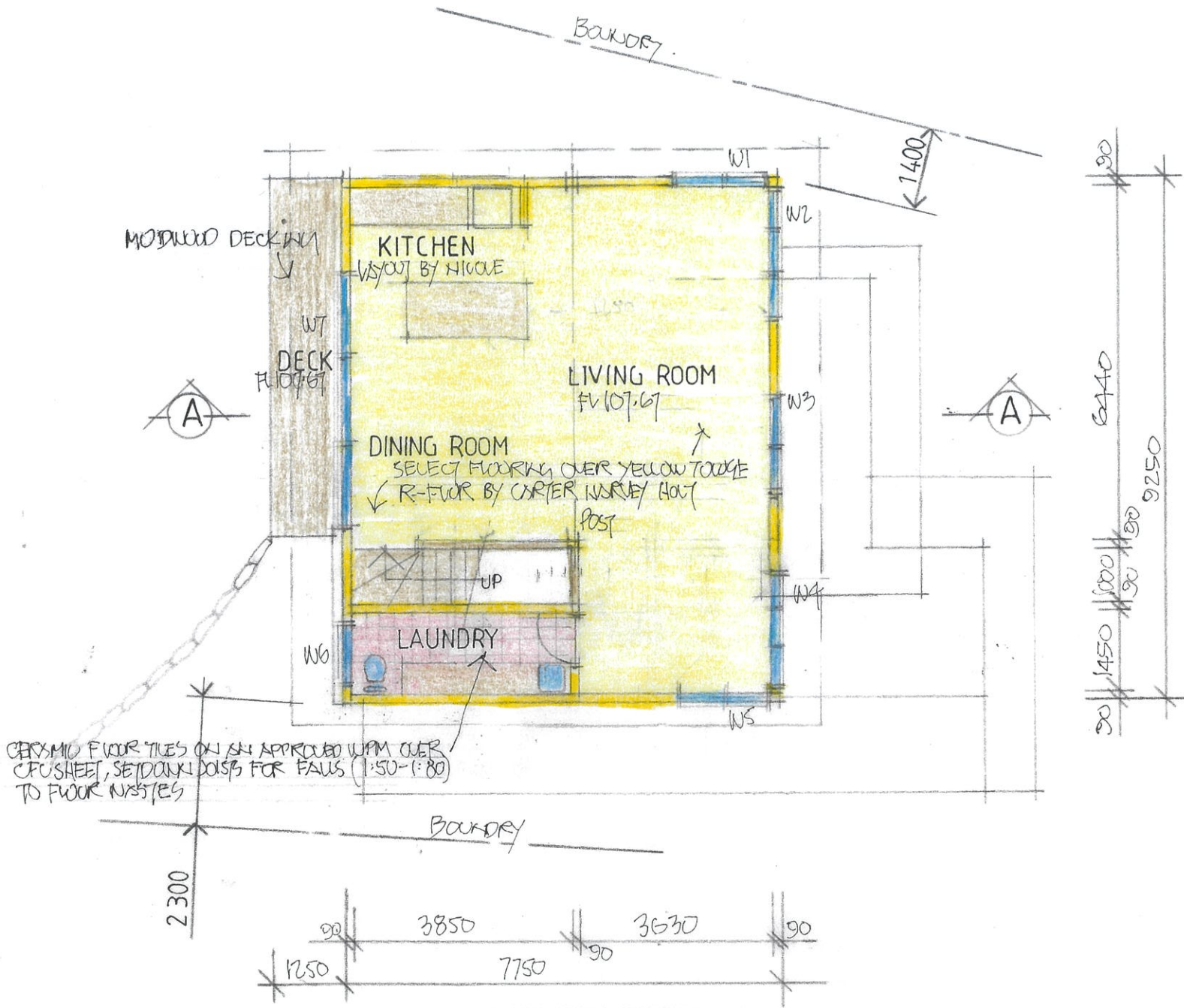
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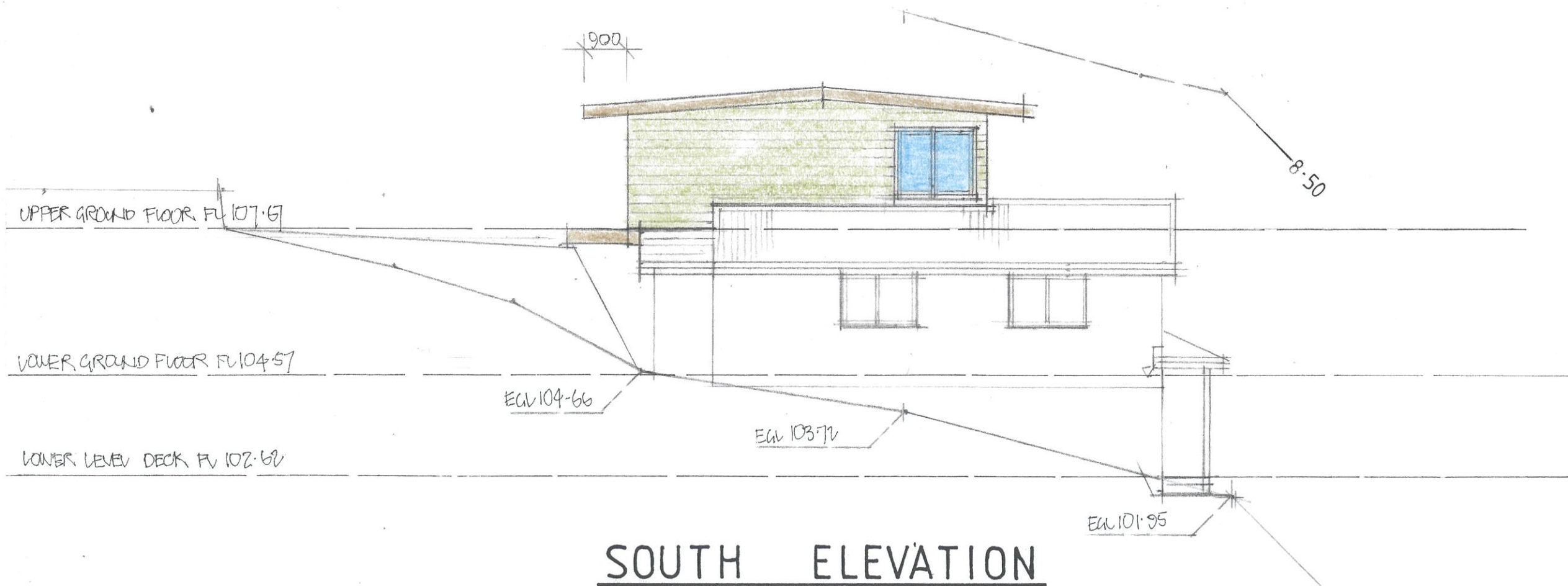
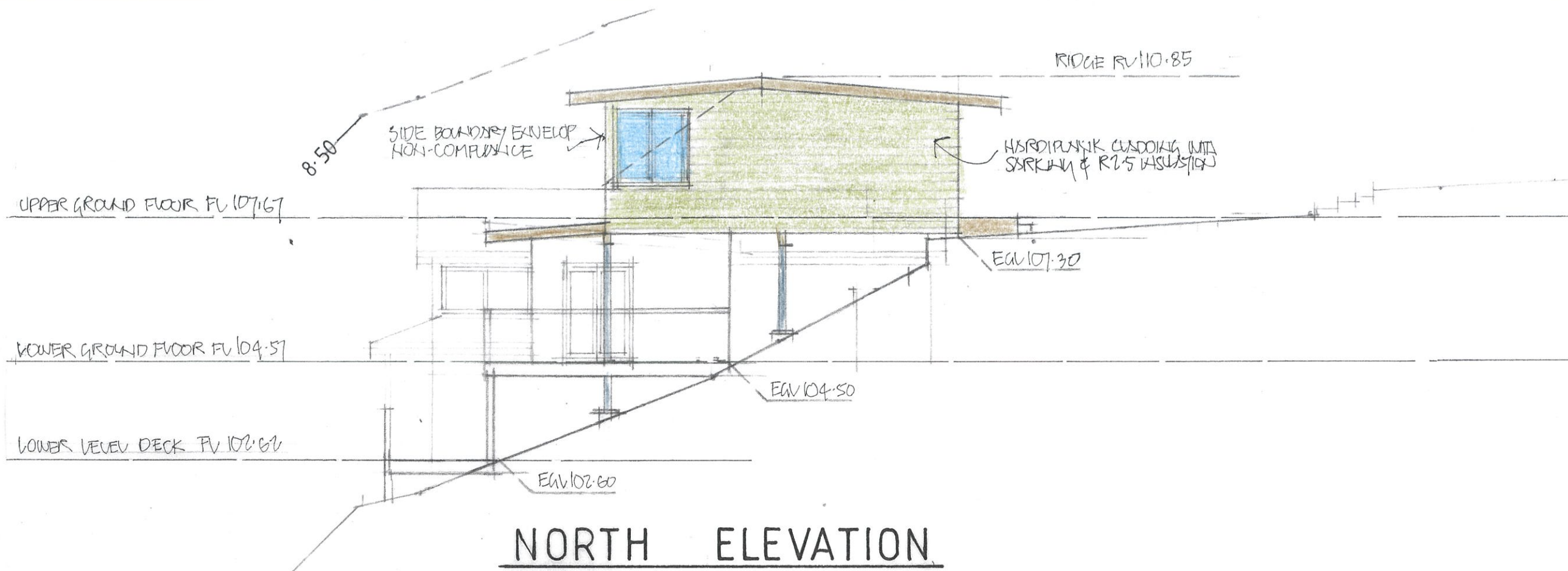
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UPPER FLOOR PLAN



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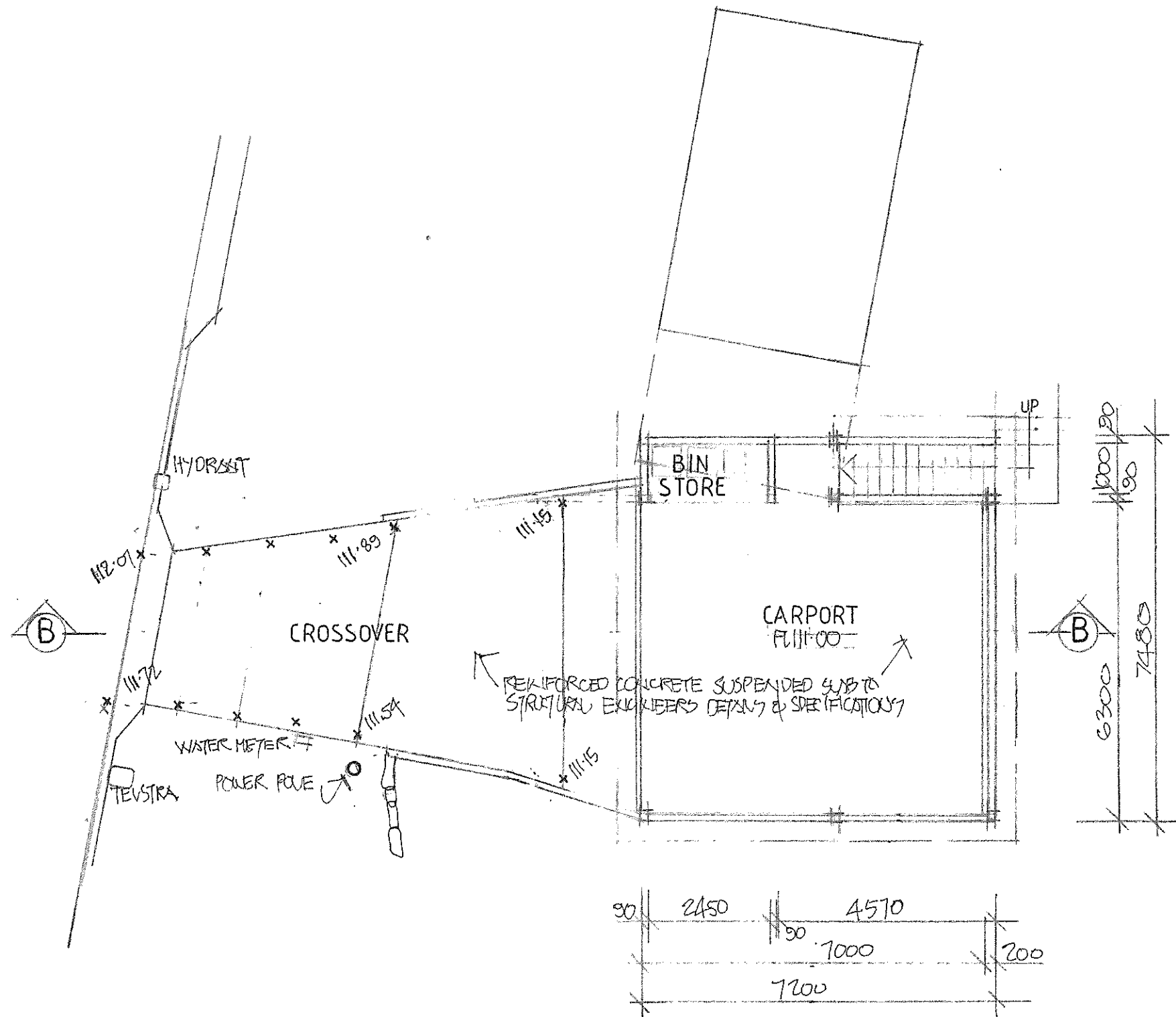
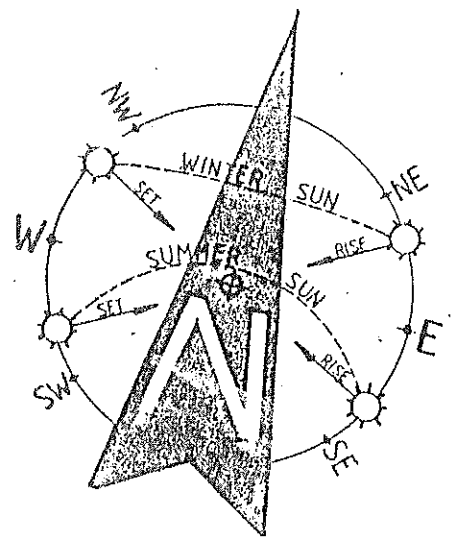
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CROSSOVER & CARPORT FLOOR

NOTES:

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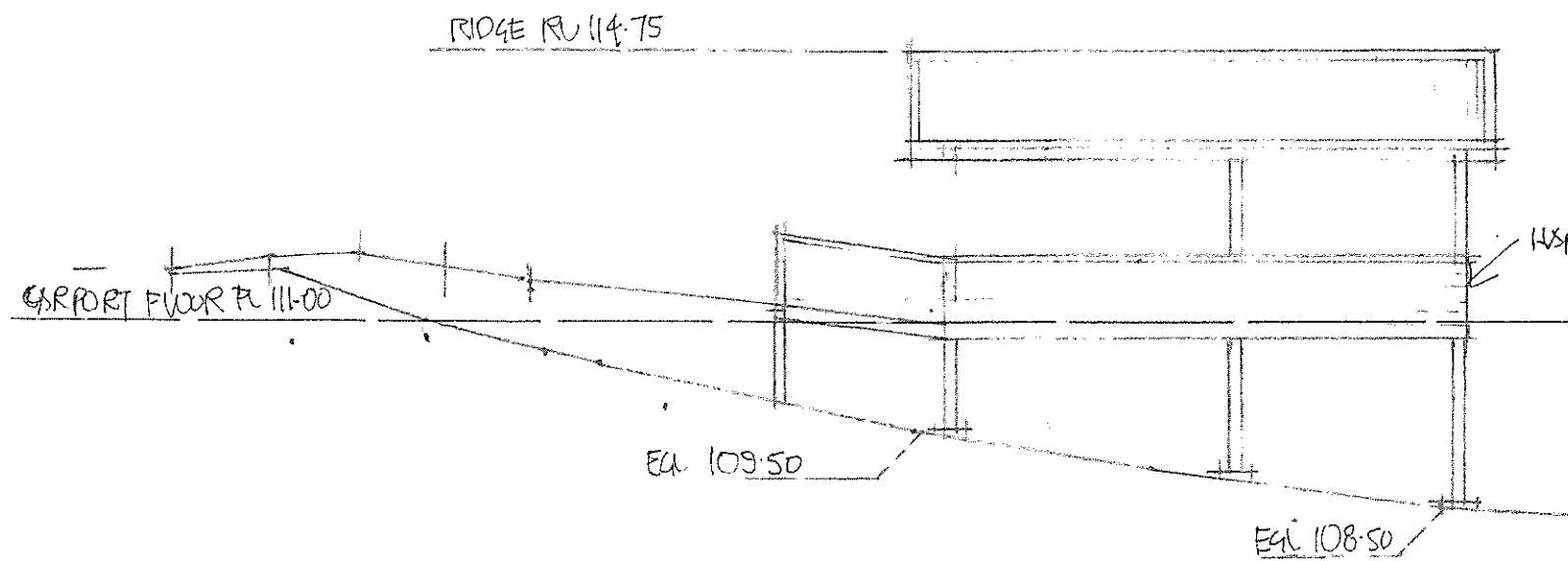
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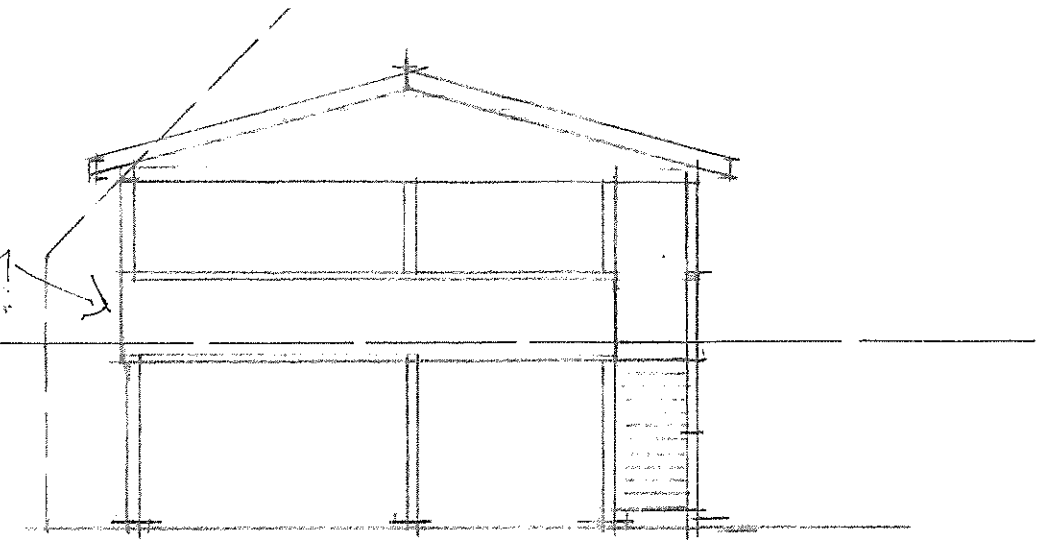
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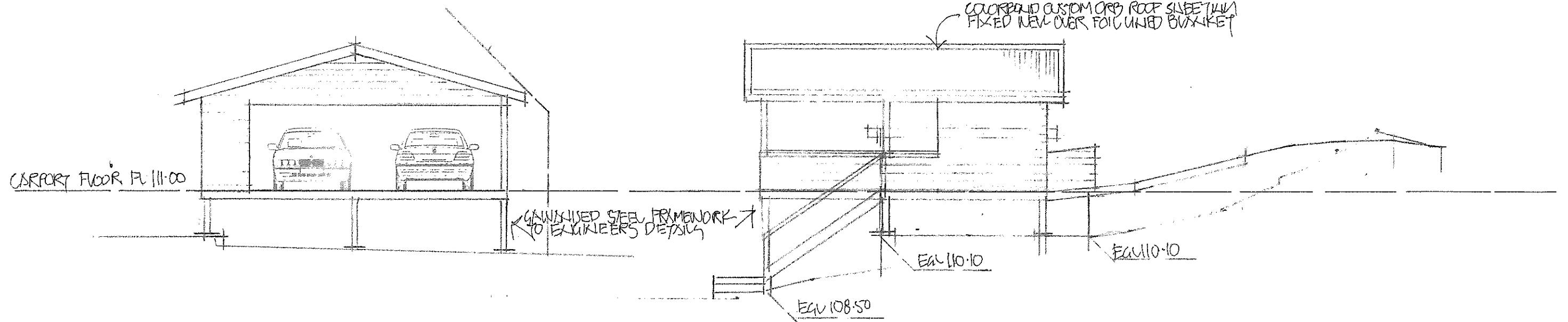
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SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

NORTH ELEVATION

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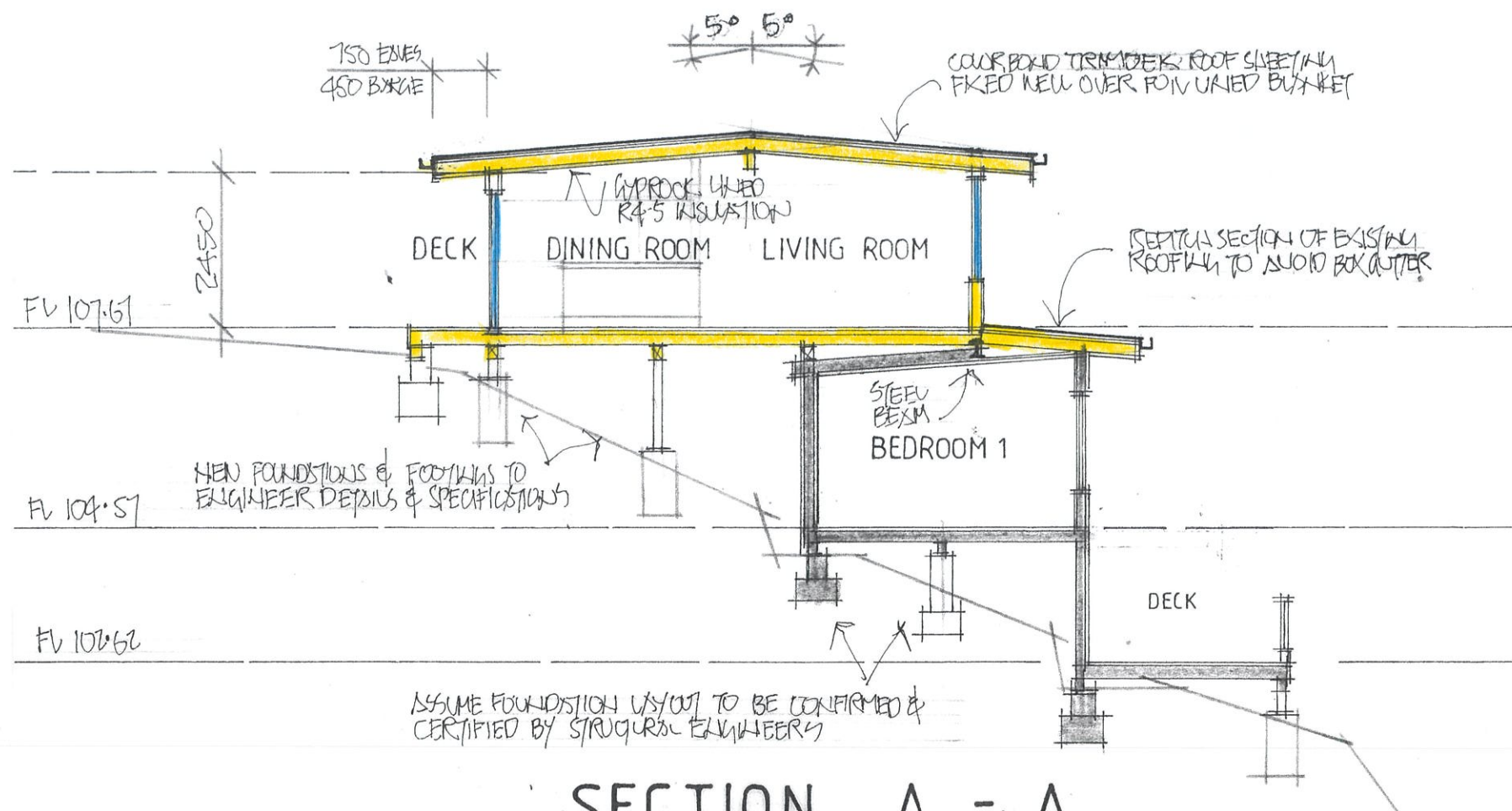
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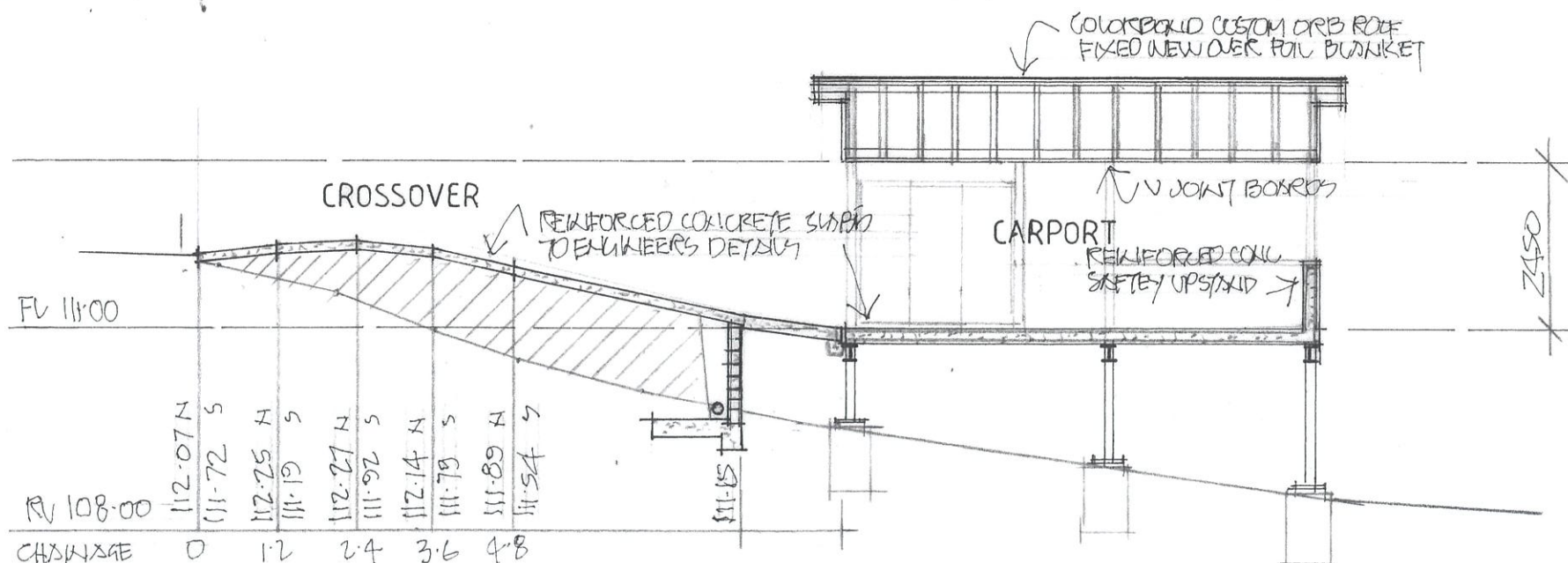
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SECTION A - A



SECTION B - B

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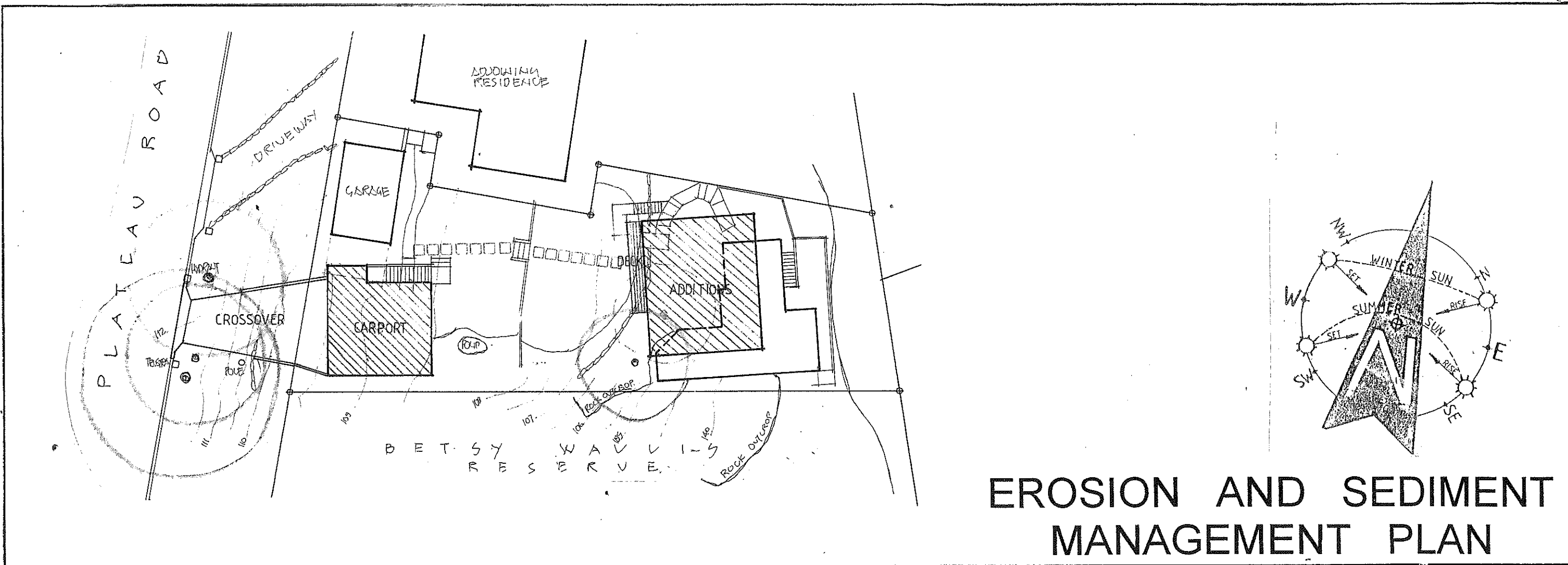
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EROSION AND SEDIMENT MANAGEMENT PLAN

SEDIMENT FENCE

SECTION DETAIL

1.5 m star pickets at max. 3 m centres

500 mm to 600 mm

600 mm min.

Self-supporting geotextile

Direction of flow

On soil, 150 mm x 100 mm trench with compacted backfill and on rock, set into surface concrete

Disturbed area

Undisturbed area

1.5 m star pickets at max. 3 m centres

Direction of flow

CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3.0 METRES APART.
3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE. FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

MESH AND GRAVEL INLET FILTER

Timber spacer to suit

Kerb-side inlet

Gravel-filled wire mesh or geotextile 'sleeve'

Runoff water with sediment

Overflow

Sediment

Gravel-filled wire mesh or geotextile 'sleeve'

Filtered water

CONSTRUCTION NOTES

1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
2. FILL THE SLEEVE WITH 25MM TO 50MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150MM HIGH X 400MM WIDE.
4. PLACE THE FILTER AT THE OPENING OF THE KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
5. MAINTAIN THE OPENING WITH SPACER BLOCKS.
6. FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER.
7. FIT TO ALL KERB INLETS AT SAG POINTS

NOTE: This practice only to be used where specified in an approved SWMP/ESCP.

STABILISED SITE ACCESS

Construction site

Min. width 3 metres

Min. length 15 metres

200 mm min.

300 mm min.

Property boundary

Runoff directed to sediment trap/fence

DGB 20 roadbase or 30 mm aggregate

Existing roadway

Geotextile fabric designed to prevent intermixing of subgrade and base materials and to maintain good properties of the sub-base layers.

Geotextile may be a woven or needle punched product with a minimum CBR burst strength (AS3706.4-90) of 2500 N

CONSTRUCTION NOTES

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMP IMMEDIATELY WITHIN THE BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

BUILDING MATERIAL STOCKPILES DETAIL

Earth bank to prevent scour of stockpile

Waterproof Covering

Stockpile

Sediment Fence

CERTIFICATION

I JOHN EVANS HEREBY CERTIFY THAT THIS DRAWING HAS BEEN DESIGNED WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE NSW DEPARTMENT OF HOUSING MANUAL 'MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION - VOLUME 1, 4TH EDITION 2004. AND THE DO IT RIGHT ON SITE - SOIL AND WATER MANAGEMENT FOR THE CONSTRUCTION INDUSTRY - 2021

Signed Date 9/7/2024

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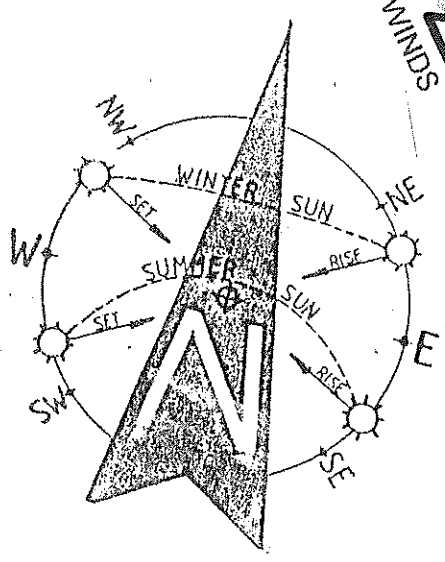
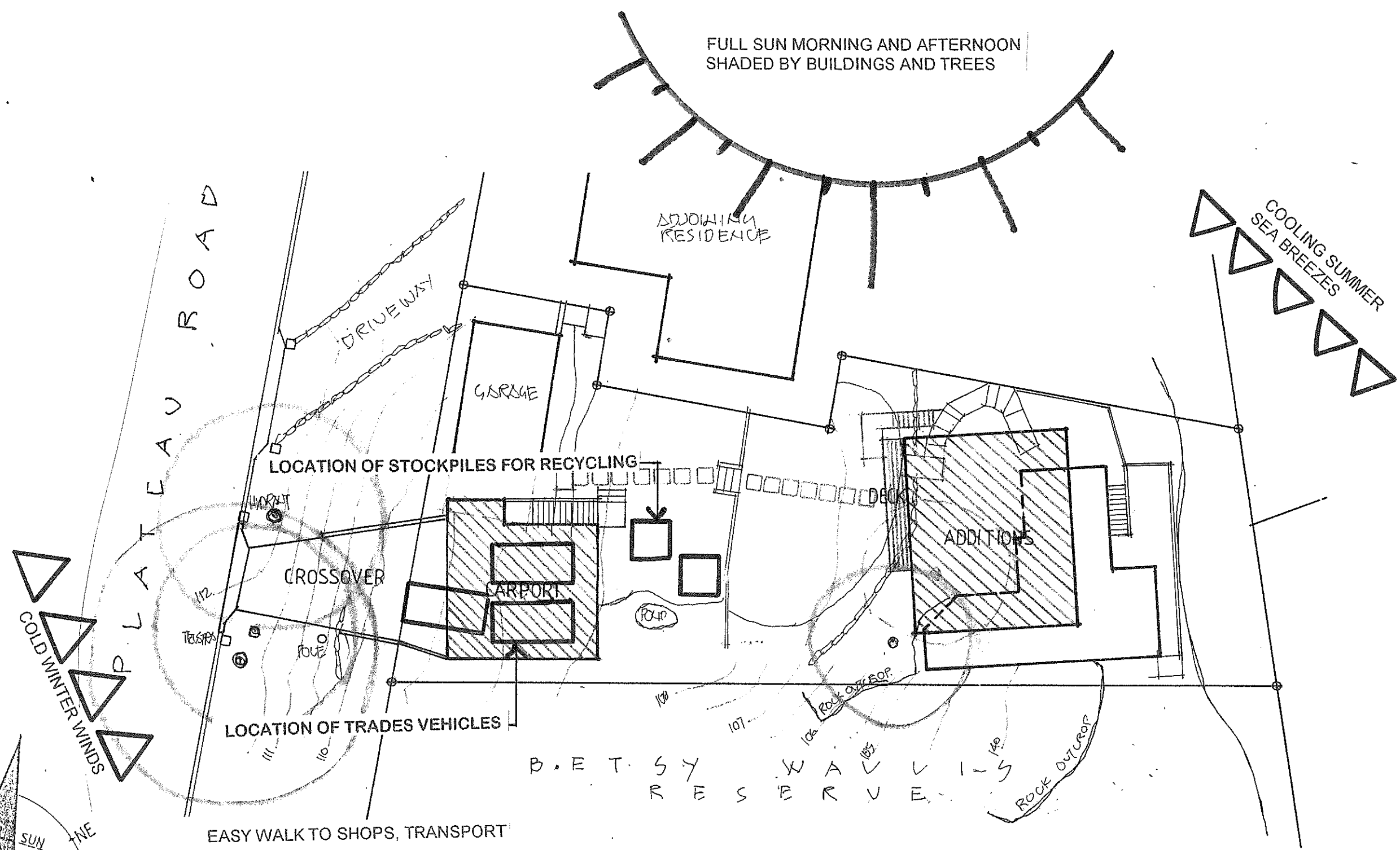
NOTES

TECHNIQUES USED FOR EROSION AND SEDIMENT CONTROL ON SITE ARE TO BE ADEQUATELY MAINTAINED AND MONITORED AT ALL TIMES, PARTICULARLY AFTER PERIODS OF RAIN, AND SHALL REMAIN IN PROPER OPERATION UNTIL ALL DEVELOPMENT ACTIVITIES HAVE BEEN COMPLETED AND THE SITE IS SUFFICIENTLY STABILISED WITH VEGETATION.

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WASTE MANAGEMENT AND SITE ANALYSIS PLAN

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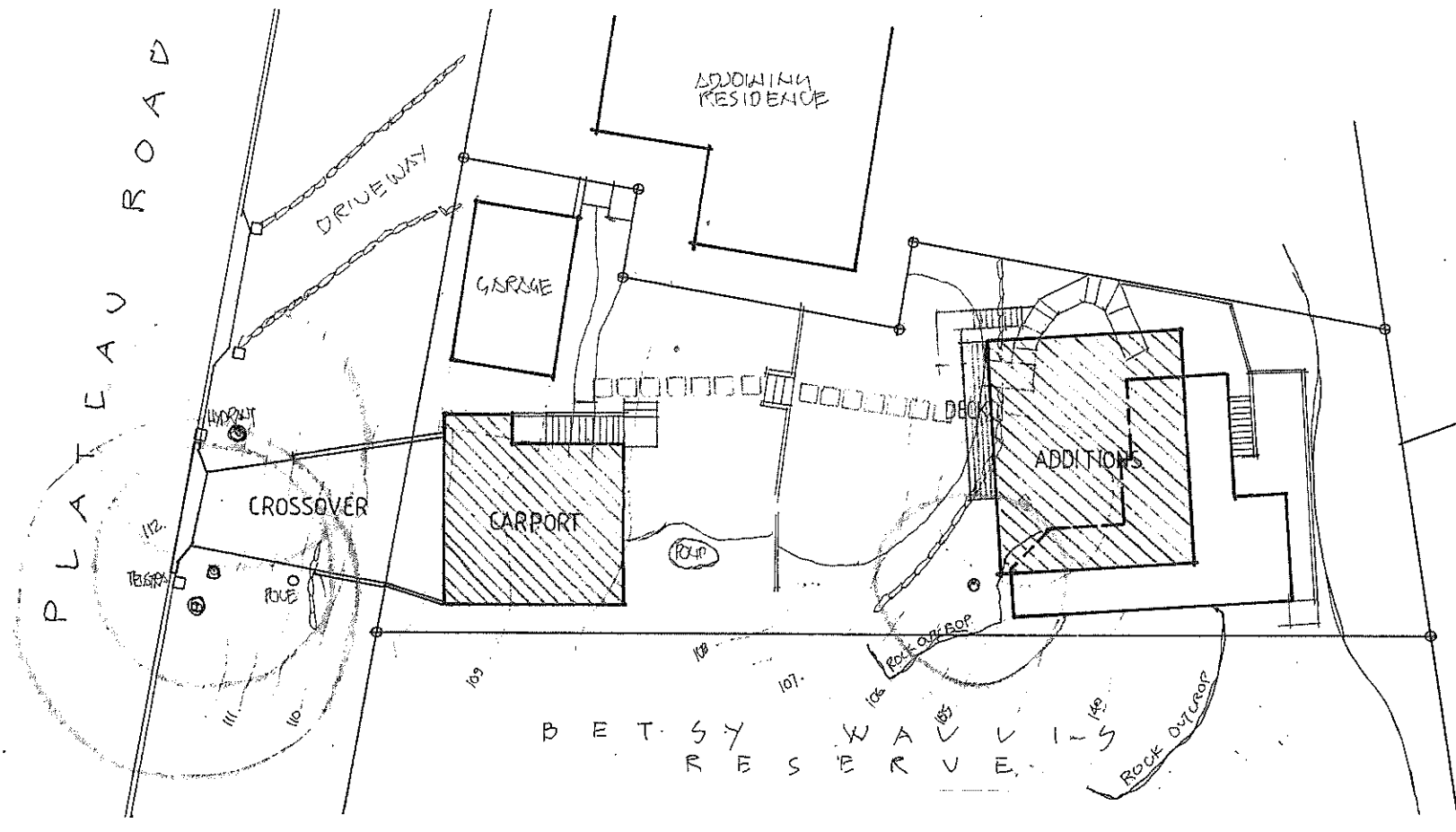
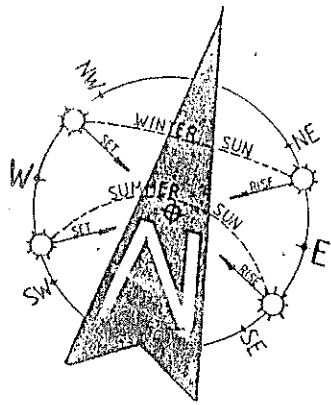
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EXCAVATION MANAGEMENT SPECIFICATION

1. Introduction

Excavation work can be dangerous and precautions must be taken when excavating a trench, tunnel or shaft. Before excavation work is carried out at the University a number of steps need to be completed to ensure the work is safe and without risk.

The Work Health and Safety Regulation 2011 NSW establishes specific requirements for working safely when conducting excavation work. This guideline details the risk controls to be adopted in accordance with the legislation.

2. Scope

This document outlines the requirements for the management of excavation at the University. This applies to any type of excavation, as per the definition, trenching and breaking ground at any University campus or premises.

This does not apply to areas or work sites where a construction project has a principal contractor appointed and the principal contractor has the responsibility for the worksite which is clearly defined and separated by a physical barrier. In this instance the principal contractor is responsible for ensuring that any excavation complies with the relevant regulations.

3. Definitions

Excavation	Excavation means a trench, tunnel or shaft
Barrier	means a physical structure which blocks or impedes something such as hoarding
Barricade	means any object or structure that creates a barrier obstacle to control, block passage or force the flow of traffic in the desired direction
Backfill	means material used for refilling excavations
Battering	means to form the face or side or wall of an excavation to an angle, usually less than the natural angle of repose, to prevent earth slippage
Bench	means a horizontal step cut into the face or side or wall of an excavation to provide horizontal bearing and sliding resistance
Benching	means the horizontal stepping of the face, side or wall of an excavation
Closed sheeting	means a continuous frame with vertical or horizontal sheeting planks placed side by side to form a continuous retaining wall supported by other members of a support system used to hold up the face of an excavation
Competent person	means a person who has acquired through training, qualification or experience the knowledge and skills to carry out the task
Exclusion zone	means an area from which all persons are excluded during excavation work
Face	means an exposed sloping or vertical surface resulting from the excavation of material
Geotechnical Engineer	means an engineer whose qualifications are acceptable for membership of the Institution of Engineers, Australia and who has qualifications and experience in soil stability and mechanics and excavation work
Overburden	means the surface soil that must be moved away
Safe slope	means the steepest slope at which an excavated face is stable against slips and slides, having regard to the qualities of the material

Shank	in the face, the height of the face, the load above the face and the moisture conditions for the time being existing
Sheet piling	means vertical, close-spaced, or interlocking planks of steel, reinforced concrete or other structural material driven to form a continuous wall ahead of the excavation and supported either by tie-backs into solid ground structural members from within the excavation as the work proceeds
Shoring	means the use of timber, steel or other structural material to support an excavation in order to prevent collapse so that construction can proceed
Soldier	means vertical upright steel or timber element used for supporting a trench wall
Strut	means structural member (usually horizontal) in compression resisting thrust or pressure from the face or faces of an excavation
Tim	means structural member used to hold soldiers against a trench wall or to press walls apart in a close sheeted trench
Trench	means a horizontal or inclined way or opening, the length of which is greater than its width and greater than or equal to its depth, and, that commences at and extends below the surface of the ground and, that is open to the surface along its length
Trench box	means a structure with four vertical side plates permanently braced apart by bracing designed to resist the pressure from the walls of a trench and capable of being moved as a unit
Trench shield	means a steel or metal structure with two vertical side plates permanently braced apart by cross frames or struts designed to resist the pressure from the walls of a trench and capable of being moved as a unit
Tunnel	means an underground passage or opening that is approximately horizontal and commences at the surface of the ground or an excavation
Water	means a horizontal steel or timber element used for supporting a trench wall
Water scouring	means an erosion process resulting from the action of the flow of water
Zone of influence	means the volume of soil around the excavation affected by any external load (for example vehicles, plant, excavated material)

4. Responsibilities

4.1. Permit Requestor

The responsibilities of the Permit Requestor are to

- ensure the details of the task that are documented in the permit are accurate and true
- undertake the task that has been approved by the permit safely in accordance with the permit specifications
- provide the permit approver with a copy of any associated documentation including risk assessments
- seek immediate advice if circumstances or conditions change while undertaking work
- ensure safe systems of work are implemented as per UOW Risk Management Guidelines and UOW Contractor WHS Guidelines

4.2. Permit Approver

The responsibilities of the Permit Approver are to

- ensure that the permit to work form has been suitably completed by the permit requestor
- authorise approval for work to be undertaken once satisfied that the permit requestor can complete the task safely
- monitor the work undertaken by the permit requestor, ensure duration times are adhered to and ensure risk assessments have been completed
- sign off on the Completion of Work section of the permit after verifying that the work site has been left in a safe condition
- maintain records of work permits including associated documentation such as risk assessments

4.3. UOW Representative

The UOW Representative is the designated person who engages a contractor to undertake the excavation work

The responsibilities of the UOW Representative are to

- Coordinate and manage the contract in accordance with UOW Contractor WHS Guidelines
- Ensure that the contractor is aware of the UOW PTW system and excavation requirements and directed to the appropriate permit

4.4. Managers and Supervisors

Managers and supervisors from UOW divisions that coordinate the PTW system must ensure that the requirements are implemented in their area

4.5. WHS Unit

The WHS Unit shall

- provide technical guidance on the application of the permit to work system
- evaluate and update the permit to work guidelines at the review period or as procedures change
- provide expertise and regulatory guidance to responsible persons
- develop and maintain a register of restricted access areas across the campus

4.6. Principal Contractor

Under the WHS Regulation 2011 a Principal Contractor needs to be appointed for a construction project. A construction project is a project that involves construction work where the cost of construction is \$250,000 or more

The principal contractor is responsible for ensuring that any excavation work complies with the relevant regulations

5. Excavation Work Process

The University of Wollongong has controls surrounding excavation work. Any excavation work greater than 300mm requires the work to

- Obtain an excavation permit including a risk assessment for the activities occurring and
- Have the permit signed and approved by a UOW Permit Authoriser

The risk assessment process should be adopted to ensure hazards are identified and risks are controlled to avoid any incidents. Refer to the Risk Management Guidelines for further information

- be developed in consultation with workers and their representatives who are carrying out the high risk construction work.

6.1. Duration of Work

The duration of the work is to be noted in the permit and authorised by the Permit Approver. Any change to the duration period needs to be communicated and authorised by the Permit Approver through the completion of a new permit

6.2. Cancellation

Where a permit has been written and is not required to be issued it is required to be marked as cancelled. The marking should include two diagonal lines across the page with the word 'cancelled' written in between. Cancelled permits will be retained by the Permit Approver for at least one year to facilitate the annual permit review.

6.3. Authorisation

Excavation work may only commence after the appropriate permit has been completed and signed off by the Permit Approver. The Permit Approver needs to be satisfied that the Permit Requestor is capable of undertaking the work in accordance with the permit requirements and that all relevant sections of the permit have been completed before approving the work. Both the Permit Approver and the Permit Requestor will need to sign the permit in order to authorise the work

Authorised Permit Approvers list can be found in the [Permit To Work Guidelines](#)

6.4. Work Completion

At the completion of the job, all tools, equipment and persons must be removed from the excavation site and the permit must be returned to the Permit Approver. The work area is to be made safe and tidy at completion of job and all waste removed

7. Record keeping

Permits and associated documents such as safe work procedures and risk assessments are required to be stored and maintained as per the WHS Document Control Guidelines and UOW Records Management Procedures

8. Program Evaluation

In order to ensure that these guidelines continue to be effective and applicable to the University, the program will be regularly reviewed by the WHS Unit and Facilities Management Division

Conditions which might warrant a review of the guidelines on a more frequent basis would include

- Unauthorized entries
- Identification of a hazard not covered in a permit
- An injury or near miss resulting from an excavation work
- Detection of a condition prohibited by permit
- A change in the use/configuration of an excavation area
- Employee safety committee or contractor concern

Following completion of any review, the program will be revised / updated in order to correct any deficiencies before further entries are authorised. Any changes to the program will be communicated to all affected employees

6. Excavation Work

6.1. Issuing of a Permit

The permit requestor is to provide at least 24 hours notice of the proposed excavation work to apply for a permit. Emergency rectification works may necessitate the immediate need for a permit and as such 24 hours is not required. All relevant sections of the permit must be completed. Work extending over multiple permits requires communication and a handover of the relevant information pertaining to the job

The permit and attached paperwork shall identify current underground essential services information about the areas proposed excavation. This may include essential services that use pipes, cables or other associated plant located underground

The permit should also outline any other considerations in relation to proposed excavation work that may be affected by the excavation

- the essential services that may be affected
- the location, including the depth, of any pipes, cables or other plant associated with the affected essential services
- any conditions on the proposed excavation work

6.2. Trench Excavation

When there is a need to excavate a trench to a depth of 1.5m or more the

- work area shall be secured against unauthorised access and
- all sides of the trench are to be adequately supported by shoring or shoring or other comparable means: benching or battering

Sides of the trench do not have to be supported where there is written confirmation from a geotechnical engineer that all sides of the trench are safe from collapse in accordance with the regulation

6.3. High Risk Construction Work

High risk construction work is any construction work (including any work connected with an excavation) that is carried out in or near

- a shaft or trench with an excavated depth of greater than 1.5 metres or
- a tunnel

6.4. Risk Assessment

A risk assessment shall be prepared, and attached to the permit where there is a risk of

- a person falling into an excavation
- a person being trapped by the collapse of an excavation
- a person working in an excavation being struck by a falling thing, or
- a person working in an excavation being exposed to an airborne contaminant

6.5. Safe Work Method Statements and Safe Work Procedures

If the excavation work is or involves high risk construction work then a SWMS must be prepared before the high risk construction work starts

The Safe Work Method Statement (SWMS) or Safe Work Procedure must

- identify the type of high risk construction work being done
- specify the health and safety hazards and risks arising from that work
- describe how the risks will be controlled
- describe how the control measures will be implemented, monitored and reviewed, and

EXCAVATION MANAGEMENT PLAN

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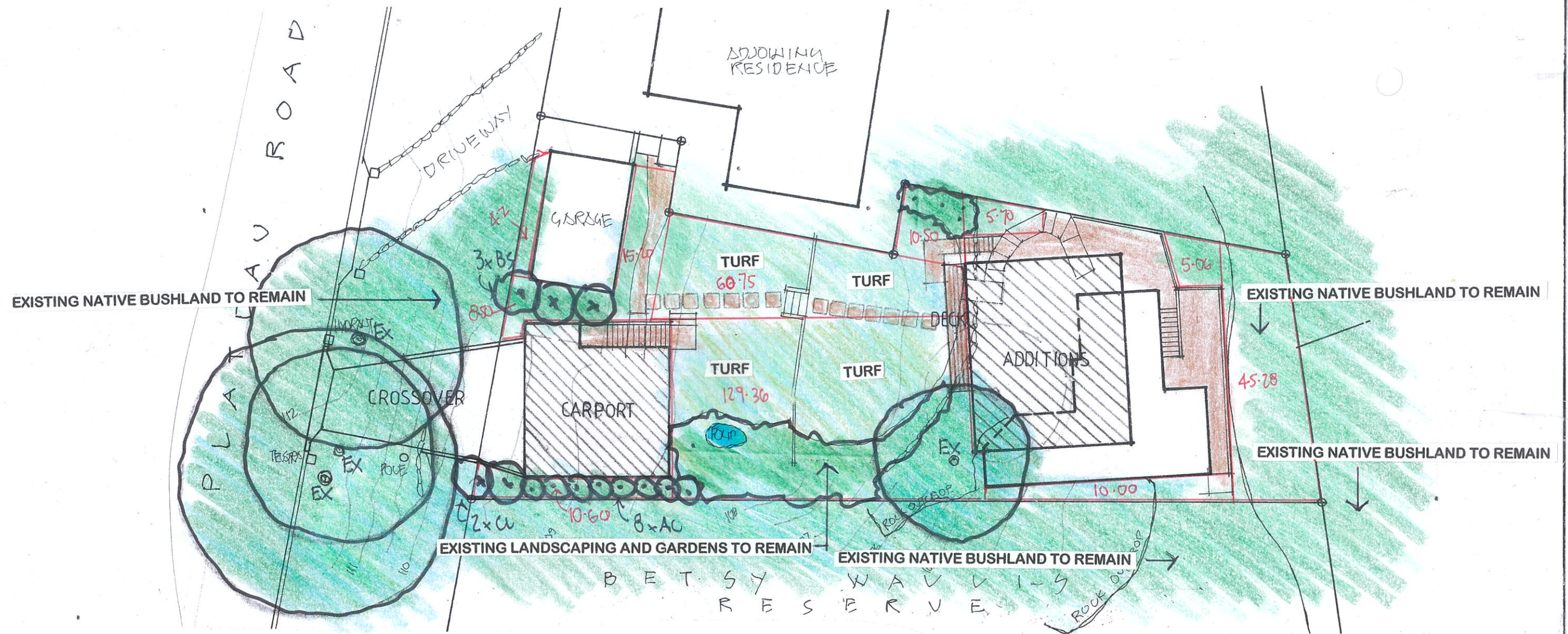
No.	AMENDMENT	DATE



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EMAIL: JDECO.AVALON@GMAIL.COM
MOBILE: 0418 976 596

PROJECT
PROPOSED ALTERATIONS/ADDITIONS
No. 34 PLATEAU ROAD
BILGOLA PLATEAU N. S. W. 2107
CLIENT
CRAIG & NICOLE LESTER

DATE 19/04/2024	SCALE NTS
DRAWN JDE	CHECKED
DRAWING No.	ISSUE
2156-12	

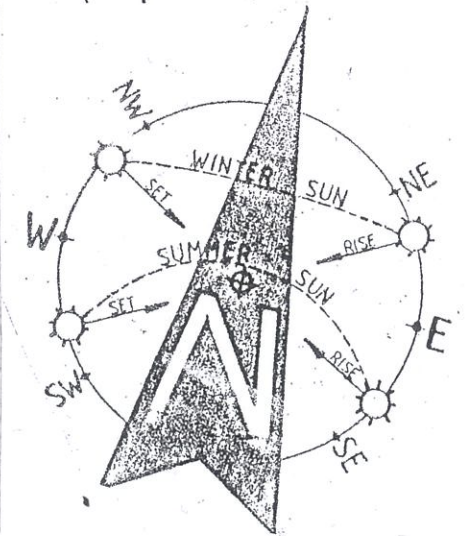


SITE AREA = 558.90 SQUARE METRES

LANDSCAPED AREA = 338.69 SQM (60.60%)

PLANTING SCHEDULE FOR SHALE SLOPES

SYMBOL	BOTANICAL NAME	COMMON NAME	POT SIZE	NO.OFF	HEIGHT	SPREAD
BS	BANKSIA SPINULOSA	HAIRPIN BANKSIA	5 LITRE	3	2.0 M – 3.0 m	2.0m – 3.0m
CL	CALLISTEMON LINEARIFOLIUM	NARROW LEAVED BOTTLEBRUSH	5 LITRE	2	2.0m – 3.0m	2.5m – 3.5m
SCREENING AC	ACMENA SMITHII	LILLY PILLY	5 LITRE	8	3.0m – 4.5m	1.0m 1.2m
GROUND COVERS / SCRAMBLERS						
KR	KENNEDIA RUBICUNDA	DUSKY CORAL PEA				
VH	VIOLA HEDERACEA	NATIVE VIOLET				



LANDSCAPE CONCEPT PLAN

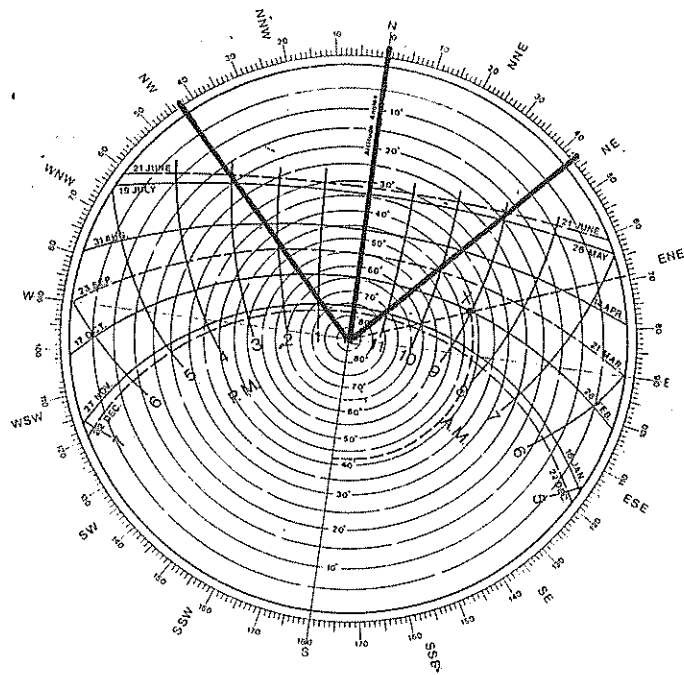
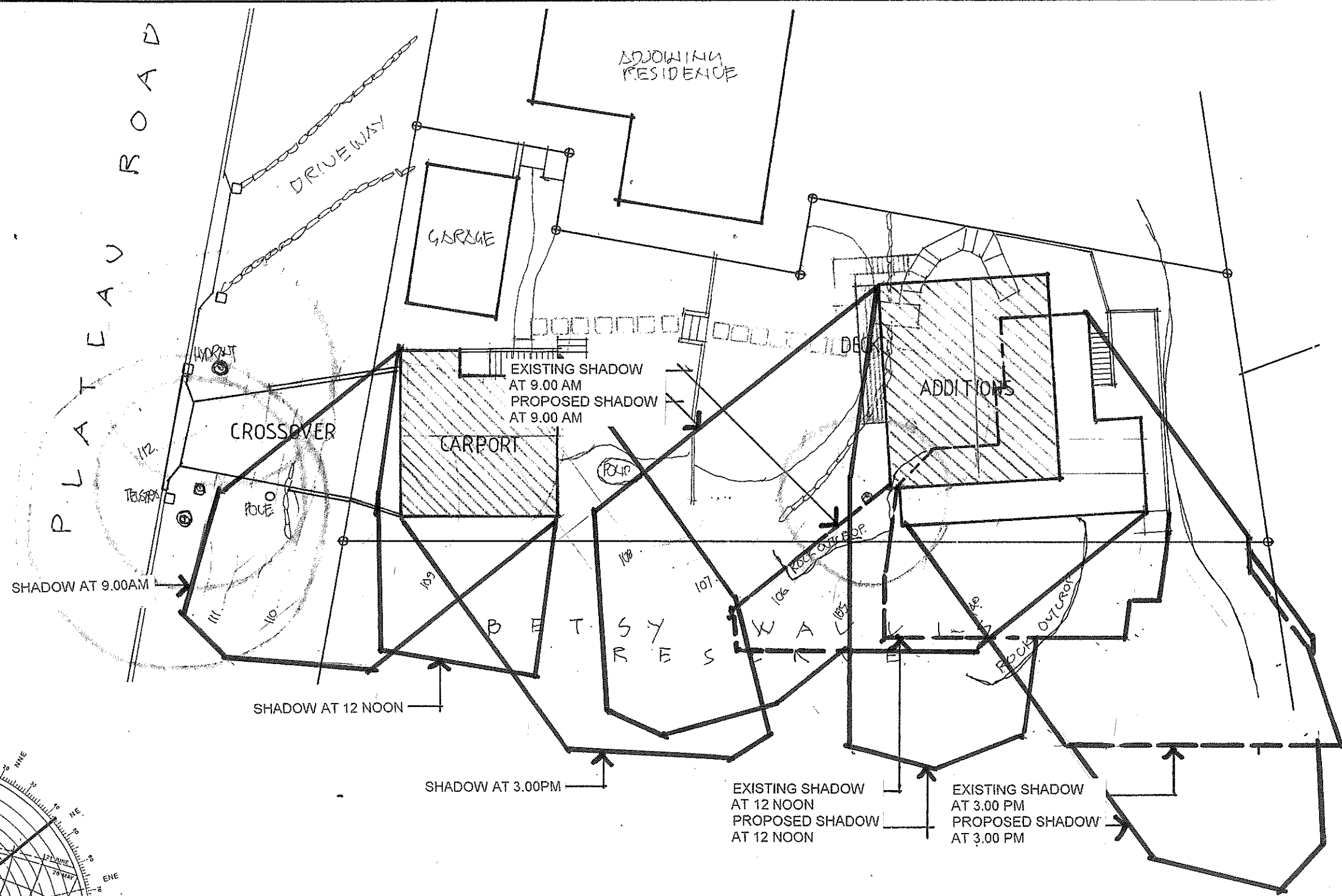
ALL CIVIL STRUCTURAL AND HYDRAULIC WORKS ASSOCIATED WITH THIS PROJECT SHALL BE TO THE RELEVANT ENGINEER'S DETAILS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. ALL DIMENSIONS & LEVELS TO BE VERIFIED BY THE CONTRACTOR ON SITE.



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CLIENT
CRAIG & NICOLE LESTER

DATE: 19/04/2024 SCALE: 1:200
DRAWN: JDE CHECKED:
DRAWING No. 2156-13 ISSUE



SHADOW DIAGRAM

JUNE 21

SCALE 1 : 200

SHADOW CERTIFICATION

I JOHN EVANS SENIOR BUILDING DESIGNER OF J.D. EVANS & COMPANY PTY LIMITED
EST. 1978, HEREBY CERTIFY THAT THE SHADOW DIAGRAMS ARE ACCURATE

Signed

Date

9/7/2024

No.	AMENDMENT	DATE



J.D. EVANS and COMPANY
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DATE 19/04/2024	SCALE 1:200
DRAWN JDE	CHECKED
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