

NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 31/10/2018.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

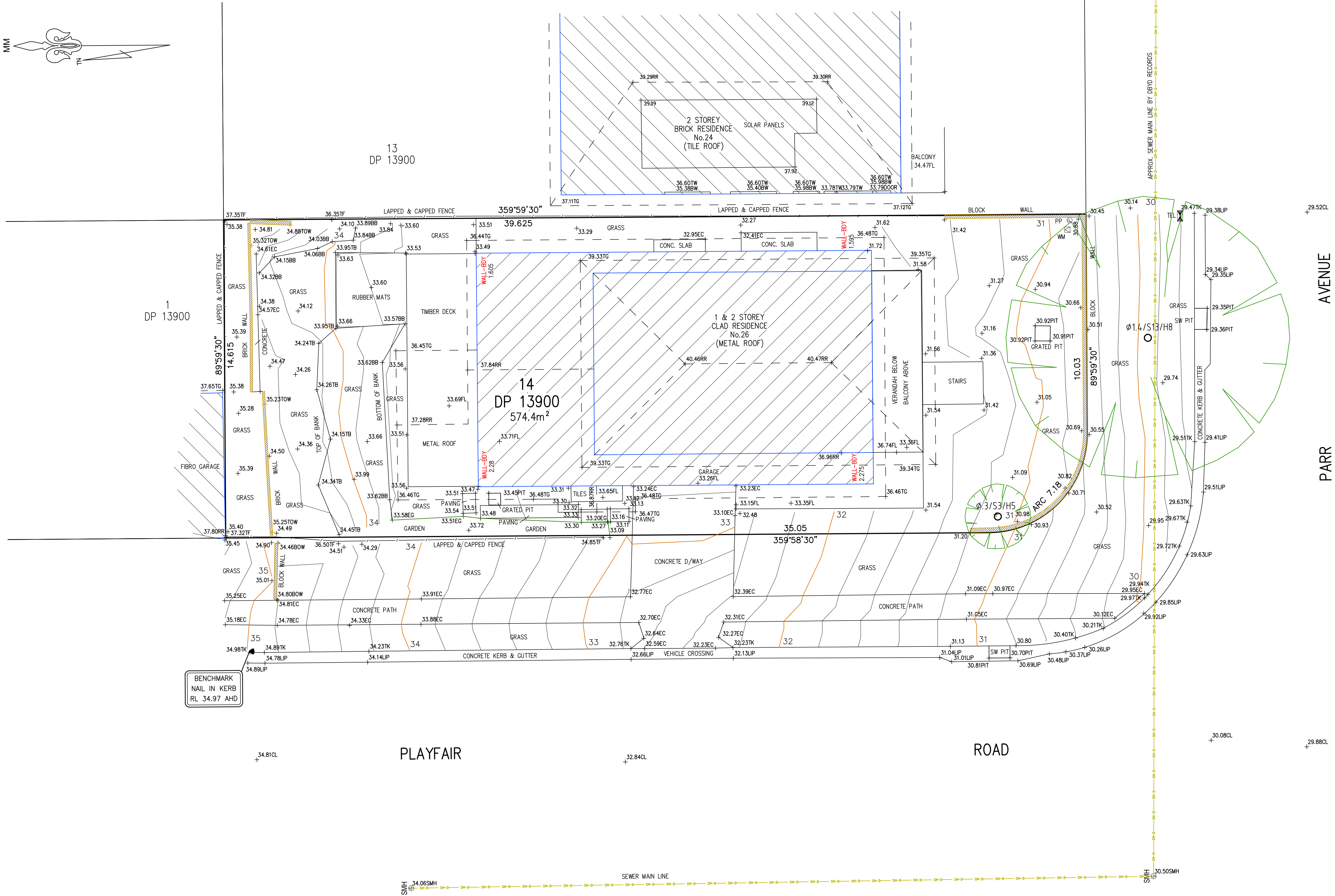
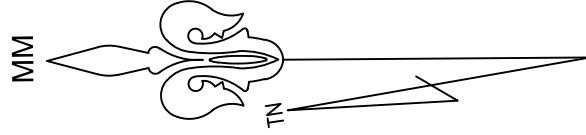
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 2211 WITH RL 29.046 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

COVENANT C785977 NOT INVESTIGATED



LEGEND

BENCH MARK	▲
TELSTRA PIT	⊠ TEL
ELECTRIC LIGHT POLE	⋄ LP
POWER POLE	⊙ PP
SIGN POST	○ SP
SEWER INSPECTION PIT	⊕ SIP
SEWER VENT	⊕ SEWER
MANHOLE	⊙ MH
SEWER MANHOLE	⊙ SMH
STOP VALVE	⊠ SV
WATER HYDRANT	⊠ HYD
WATER METER	⊠ WM
GAS METER	⊠ GM
STATE SURVEY MARK	⊠ SSM



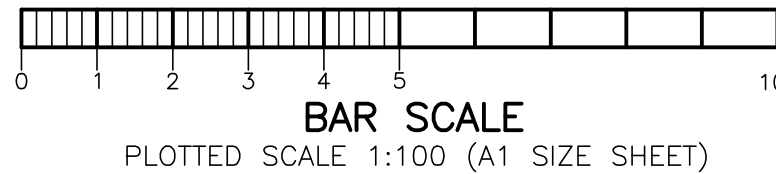
NOTE:

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REVISION No.	REVISION DATE:	COMMENT:

LEGEND:

EC - EDGE OF CONCRETE
TK - TOP OF KERB
TW - TOP OF WINDOW
BW - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
FL - FLOOR LEVEL
DS - DOOR STEP
EG - EDGE OF GARDEN
Ø4/S10/H16 - DIAMETER/SPREAD/HEIGHT

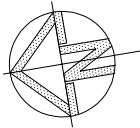


PLAN SHOWING DETAIL & LEVELS
OVER LOT 14 IN DP13900

CLIENT:	KAREN STAUNTON-ROSS
PROJECT:	NORTH CURL CURL
ADDRESS:	26 PARR AVENUE, NORTH CURL CURL

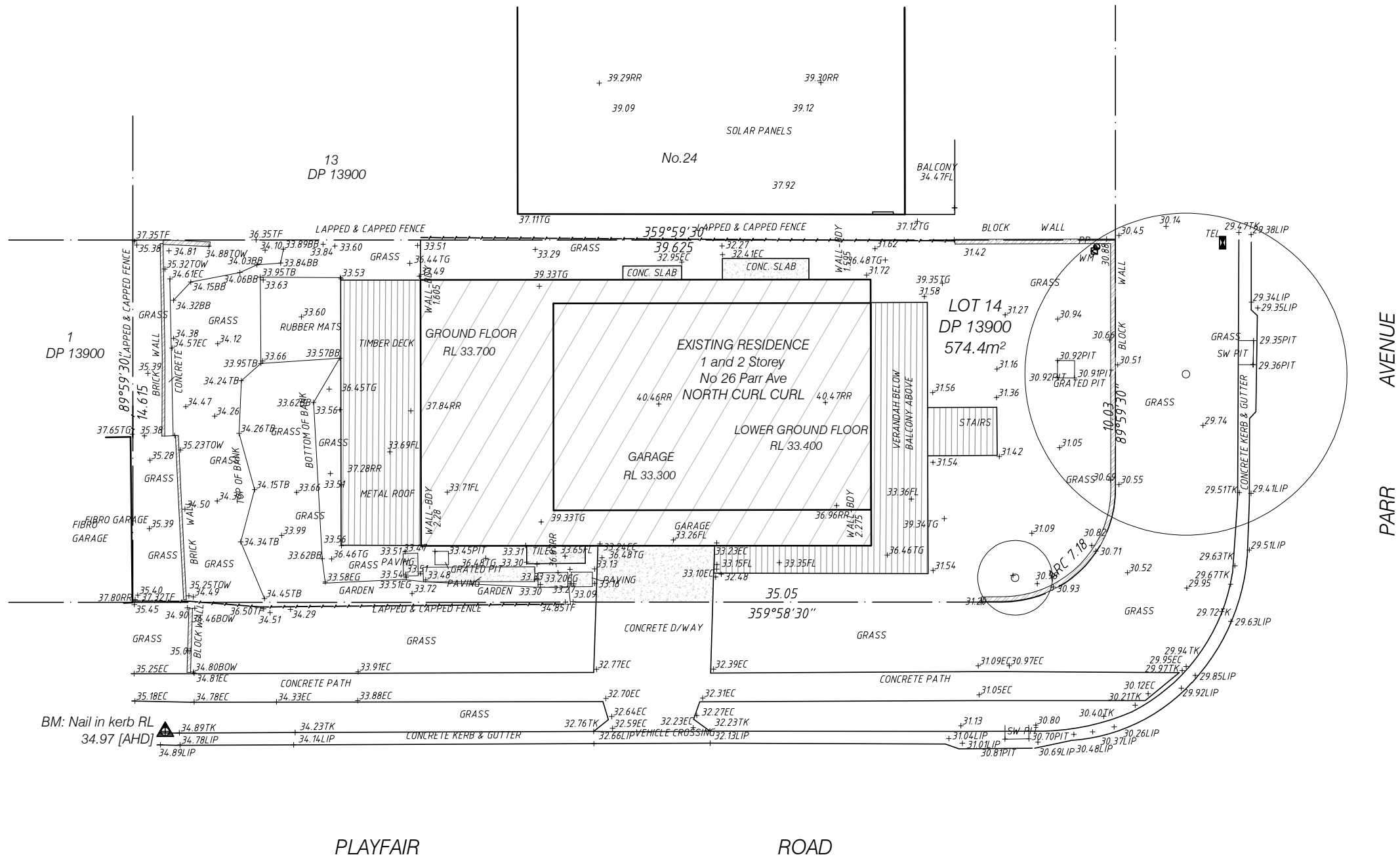
JOB No.:	210765	LGA:	NORTHERN BEACHES
PLAN No.:	210765-1	DATUM:	AHD
DATE:	07/05/2021	SCALE:	1:100@A1
DRAWN:	DF	CONT. INTERVAL:	0.2m
CHK:	XX	SHEET	1 OF 1

Geoff Gallen
Registered Surveyor
N° 1083



LEGEND

- BOUNDARY
- EXISTING BUILDING/STRUCTURE
- EXISTING PAVING
- EXISTING RETAINING WALL/WALL
- EXISTING TREE



Site information based on survey by Total Surveying
Solutions dated 07/05/2021
REFER TO SURVEY FOR FULL SITE DETAILS

SCALE 1:200 @A3

DRAWN BY
Unit 20
12 Phillip Mall
West Pymble 2073
Phone 9440 5451 Facsimile 9402 6499
ABN 97 077 163 663
Fellow of Australian Institute of Landscape Designers and Managers



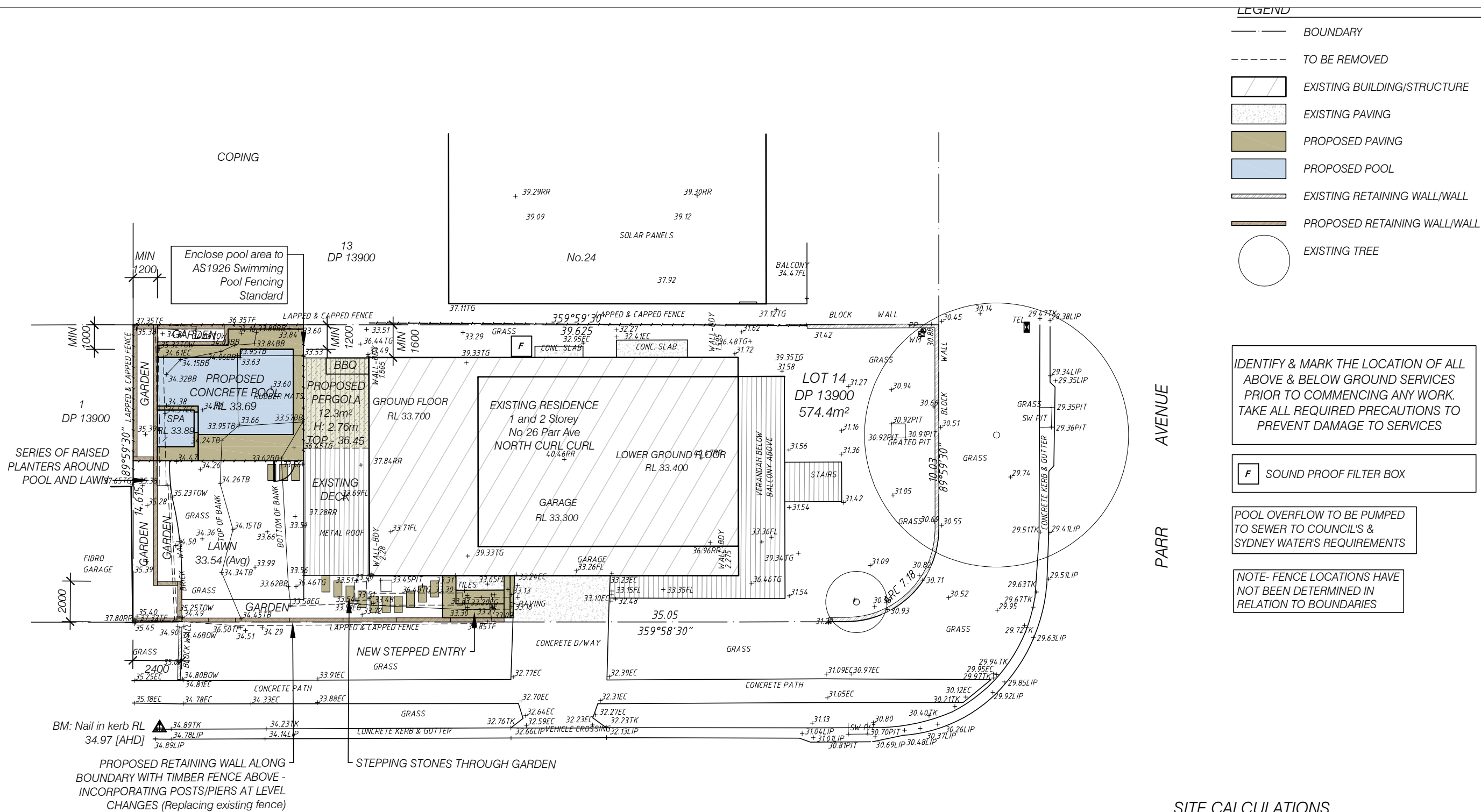
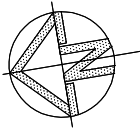
NOTES TO THE PLAN
THIS PLAN IS TO BE READ AS PART OF A COMPLETE SET OF
DRAWINGS RELATING TO THE PROPOSED DEVELOPMENT
THIS PLAN RELATES TO A SPECIFIC DEVELOPMENT
INFORMATION RELATING TO THE DEVELOPMENT NEEDS TO BE
CONFIRMED ON SITE PRIOR TO CONSTRUCTION
ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS
OTHERWISE INDICATED

CLIENT
HAINES AND MOSS RESIDENCE
SITE
26 PARR AVE
NORTH CURL CURL

DRAWING
SITE ANALYSIS
PROJECT
PROPOSED SWIMMING POOL
AND LANDSCAPING

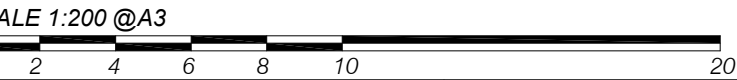
Date of Issue
A 26-02-21
B 24-05-21

JOB No
21-02
ISSUE
B
DWG No
1



NOTES

1. All dimensions to be verified prior to commencement by the builder. Any discrepancies are to be resolved with the designer.
2. All structural work to engineer's detail.
3. Levels shown are indicative (unless provided by a registered surveyor)
4. All services are to be located and verified prior to commencement of building work.
6. Materials and workmanship to comply with the provisions of the National Construction Code, relevant Australian Standards and the requirements of the Local Government Authority.
7. The structure is to be maintained in a stable condition during construction.



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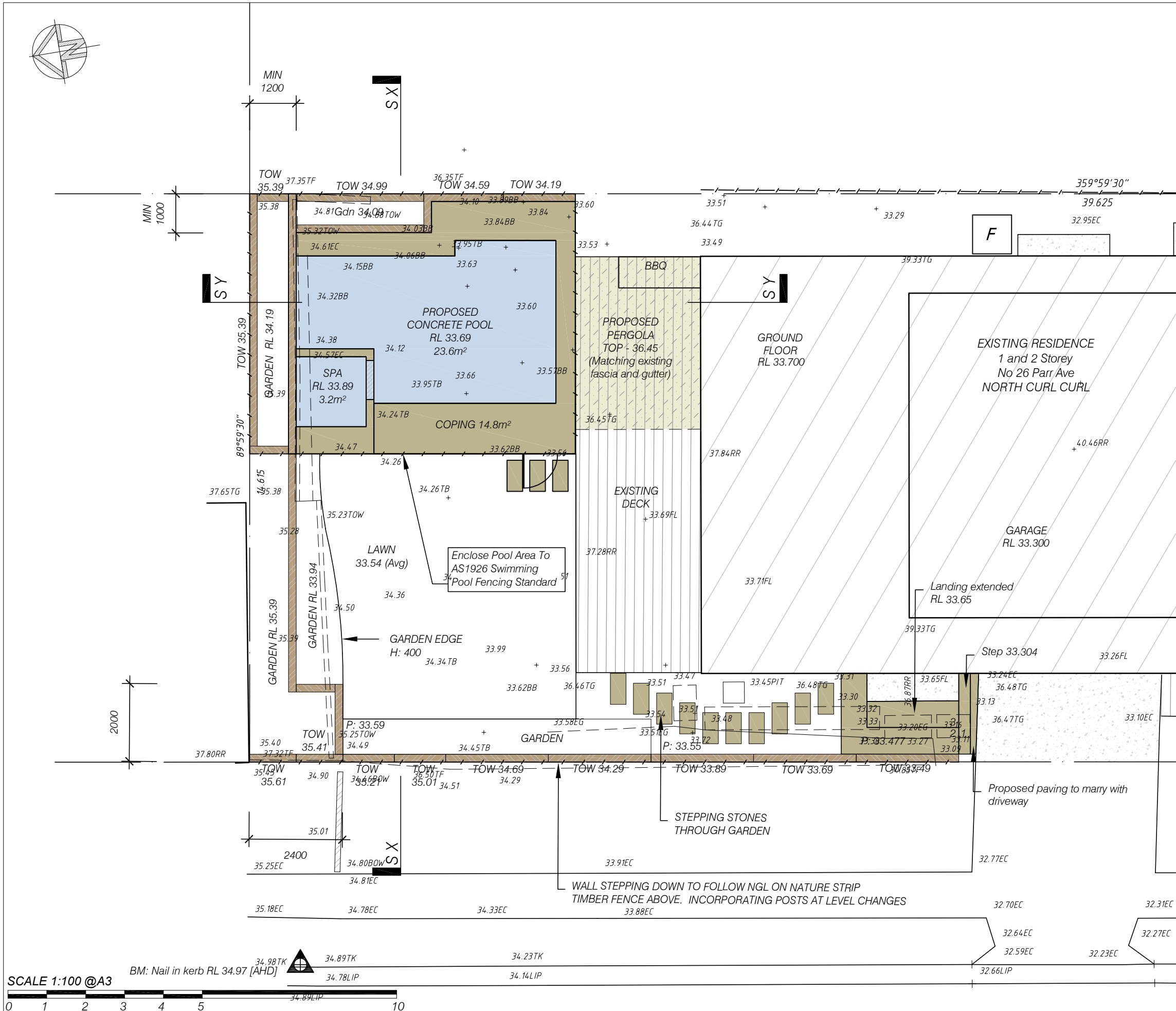
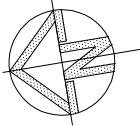
CLIENT
HAINES AND MOSS RESIDENCE
SITE
26 PARR AVE
NORTH CURL CURL

DRAWING
SITE PLAN
PROJECT
PROPOSED SWIMMING POOL AND LANDSCAPING

Date of Issue A 26-02-21 B 24-05-21	JOB No 21-02
	ISSUE B
	DWG No 2

SITE CALCULATIONS

SITE -	574.4m ²
PROPOSED WORKS	
Proposed Pool -	28m ²
Proposed Pool Coping -	4.6m ²
Proposed Paving -	5.6m ²
PROPOSED LANDSCAPED OPEN SPACE (Required - 40% of the site, min 2.0m wide)	229.8m ²
Proposed -	221.5m ²



LEGEND

- BOUNDARY
- TO BE REMOVED
- EXISTING BUILDING/STRUCTURE
- EXISTING SPOT HEIGHT
- P: 33.59; TOW PROPOSED SPOT HEIGHT/TOP OF WALL
- EXISTING PAVING
- PROPOSED PAVING
- PROPOSED POOL
- EXISTING RETAINING WALL/WALL
- PROPOSED RETAINING WALL/WALL
- EXISTING TREE

IDENTIFY & MARK THE LOCATION OF ALL ABOVE & BELOW GROUND SERVICES PRIOR TO COMMENCING ANY WORK. TAKE ALL REQUIRED PRECAUTIONS TO PREVENT DAMAGE TO SERVICES

F SOUND PROOF FILTER BOX

POOL OVERFLOW TO BE PUMPED TO SEWER TO COUNCIL'S & SYDNEY WATER'S REQUIREMENTS

NOTE- FENCE LOCATIONS HAVE NOT BEEN DETERMINED IN RELATION TO BOUNDARIES

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DRAWN BY
Unit 20
12 Phillip Mall
West Pymble 2073
Phone 9440 5451 Facsimile 9402 6499
ABN 97 077 163 663
Fellow of Australian Institute of Landscape Designers and Managers



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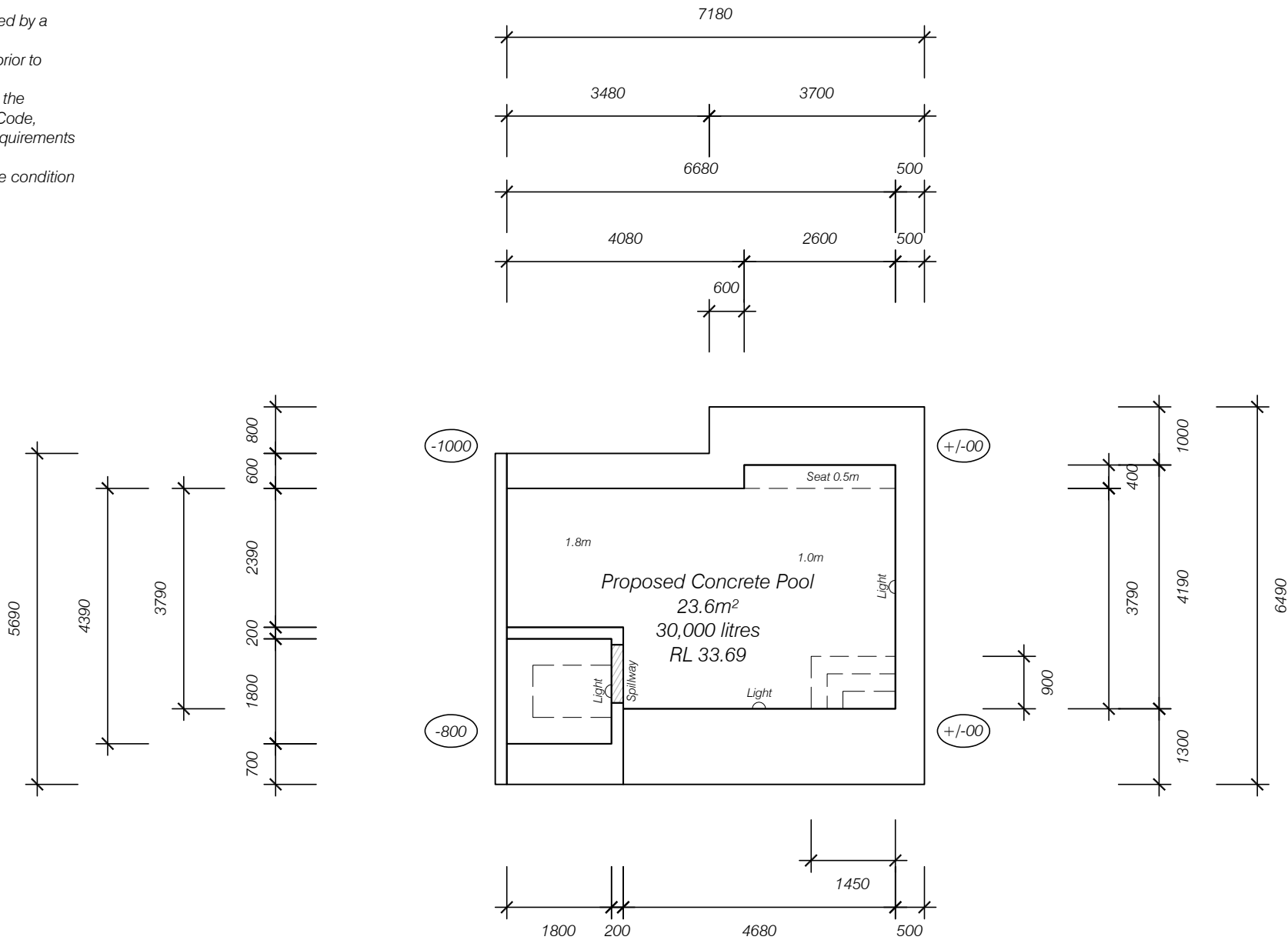
CLIENT
HAINES AND MOSS RESIDENCE
SITE
26 PARR AVE
NORTH CURL CURL

DRAWING
PART SITE PLAN
PROJECT
PROPOSED SWIMMING POOL
AND LANDSCAPING

Date of Issue A 26-02-21 B 24-05-21	JOB No 21-02
	ISSUE B
	DWG No 3

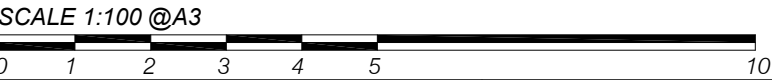
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POOL DETAIL

LEVELS SHOWN INDICATE FINISHED LEVEL
+ ABOVE - OR BELOW EXISTING GROUND LEVELS



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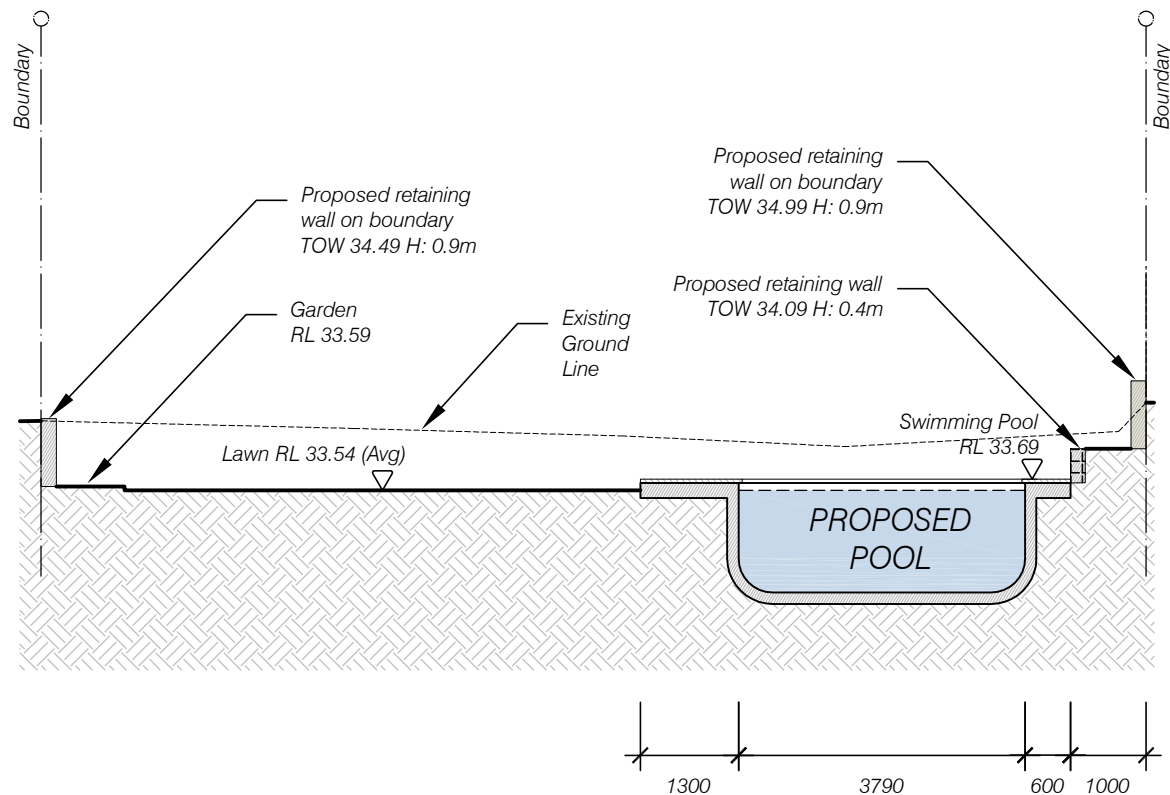
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CLIENT
HAINES AND MOSS RESIDENCE
SITE
26 PARR AVE
NORTH CURL CURL

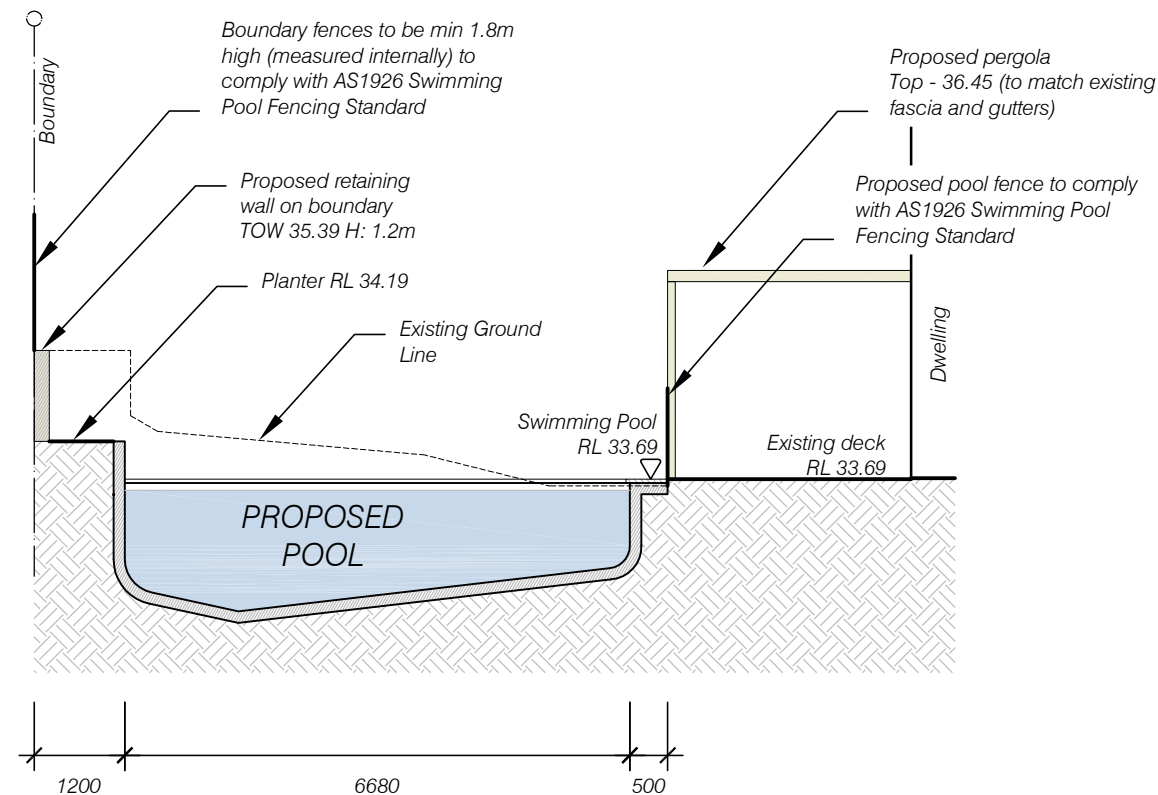
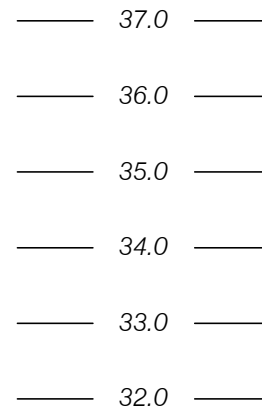
DRAWING
POOL DETAIL
PROJECT
PROPOSED SWIMMING POOL
AND LANDSCAPING

Date of Issue
A 26-02-21
B 24-05-21

JOB No
21-02
ISSUE
B
DWG No
4



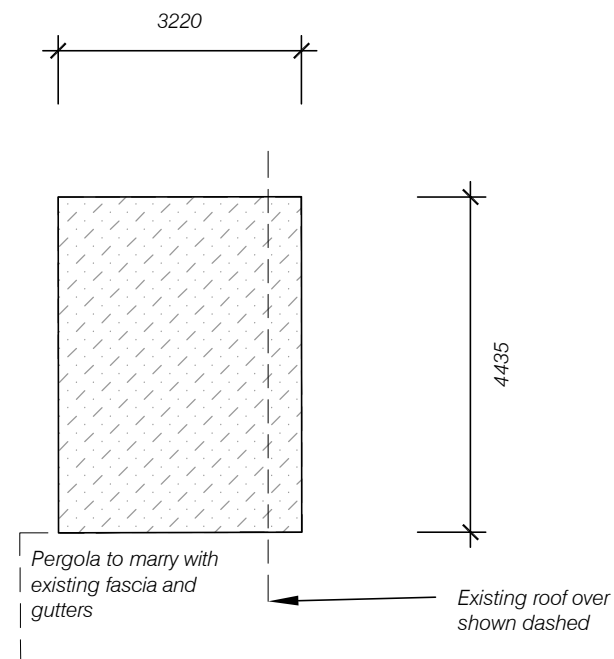
SECTION X-X



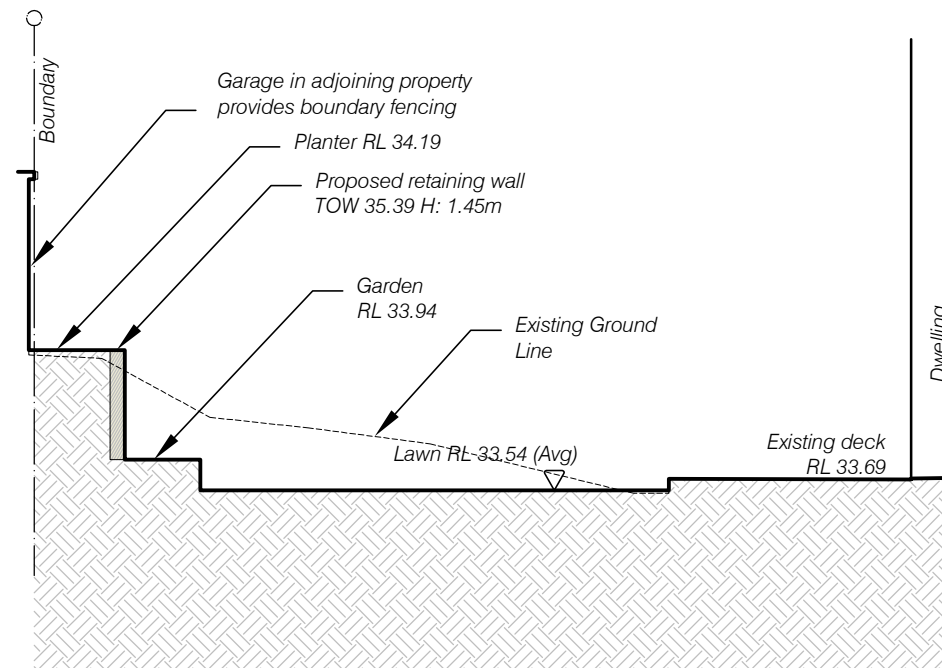
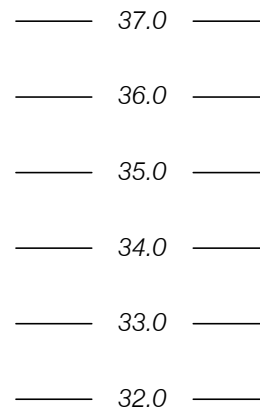
SECTION Y-Y

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PERGOLA ROOF PLAN



SECTION Z-Z

SCALE 1:100 @A3



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West Pymble 2073

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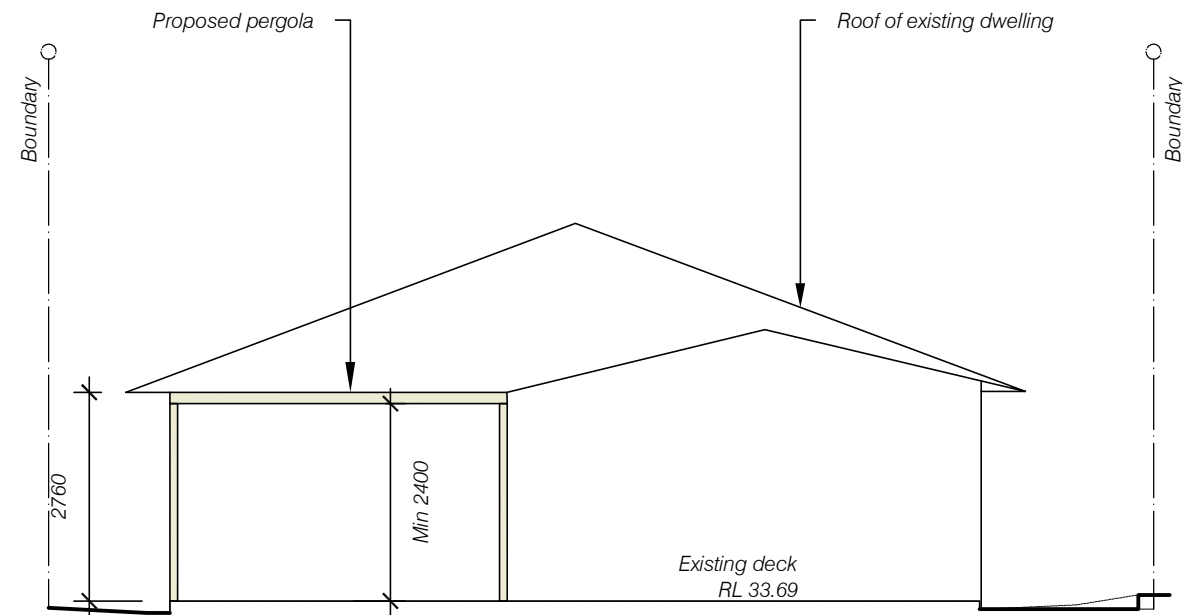
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CLIENT
HAINES AND MOSS RESIDENCE
SITE
26 PARR AVE
NORTH CURL CURL

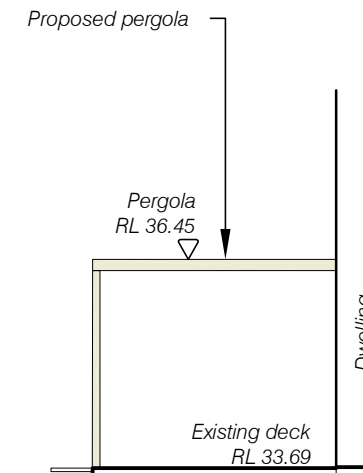
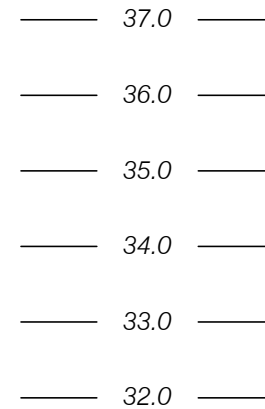
DRAWING
SECTIONS and PERGOLA ROOF PLAN
PROJECT
PROPOSED SWIMMING POOL AND LANDSCAPING

Date of Issue
A 26-02-21
B 24-05-21

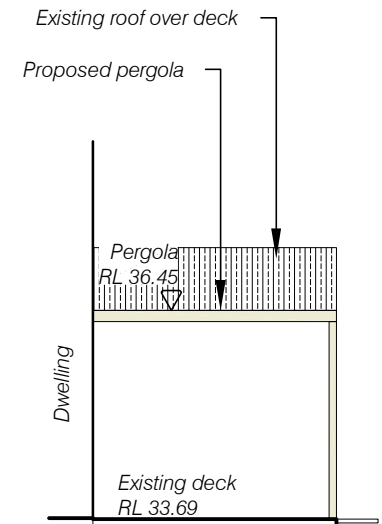
JOB No
21-02
ISSUE
B
DWG No
5



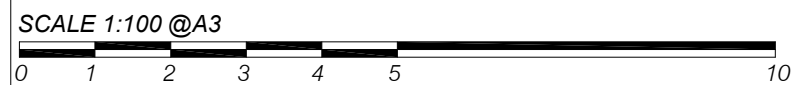
NORTH ELEVATION
(Rear)

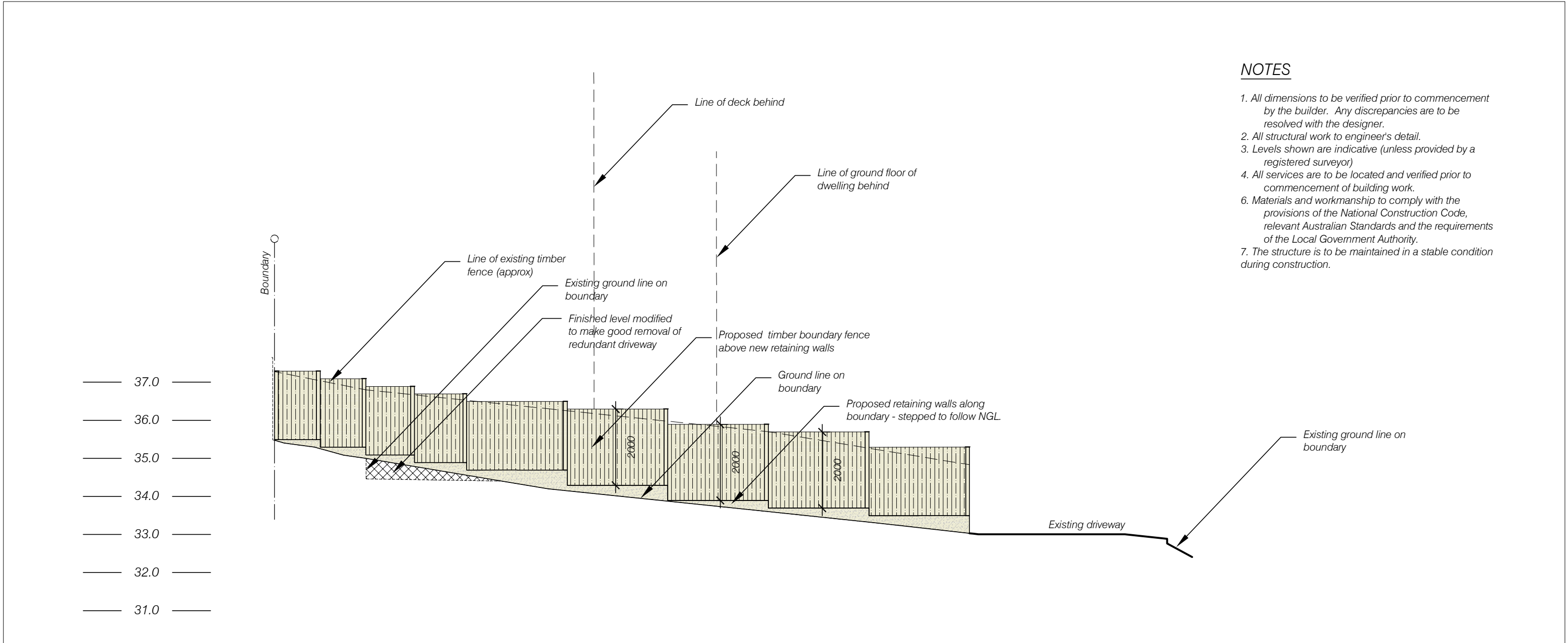


WEST ELEVATION



EAST ELEVATION

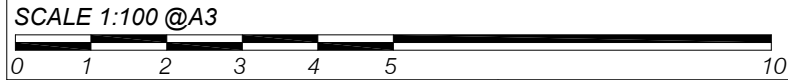




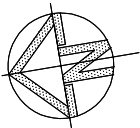
PLAYFAIR ROAD ELEVATION

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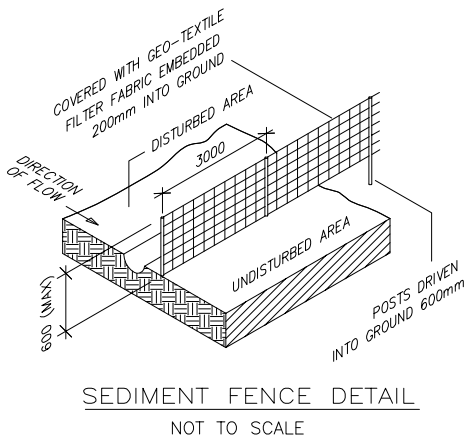
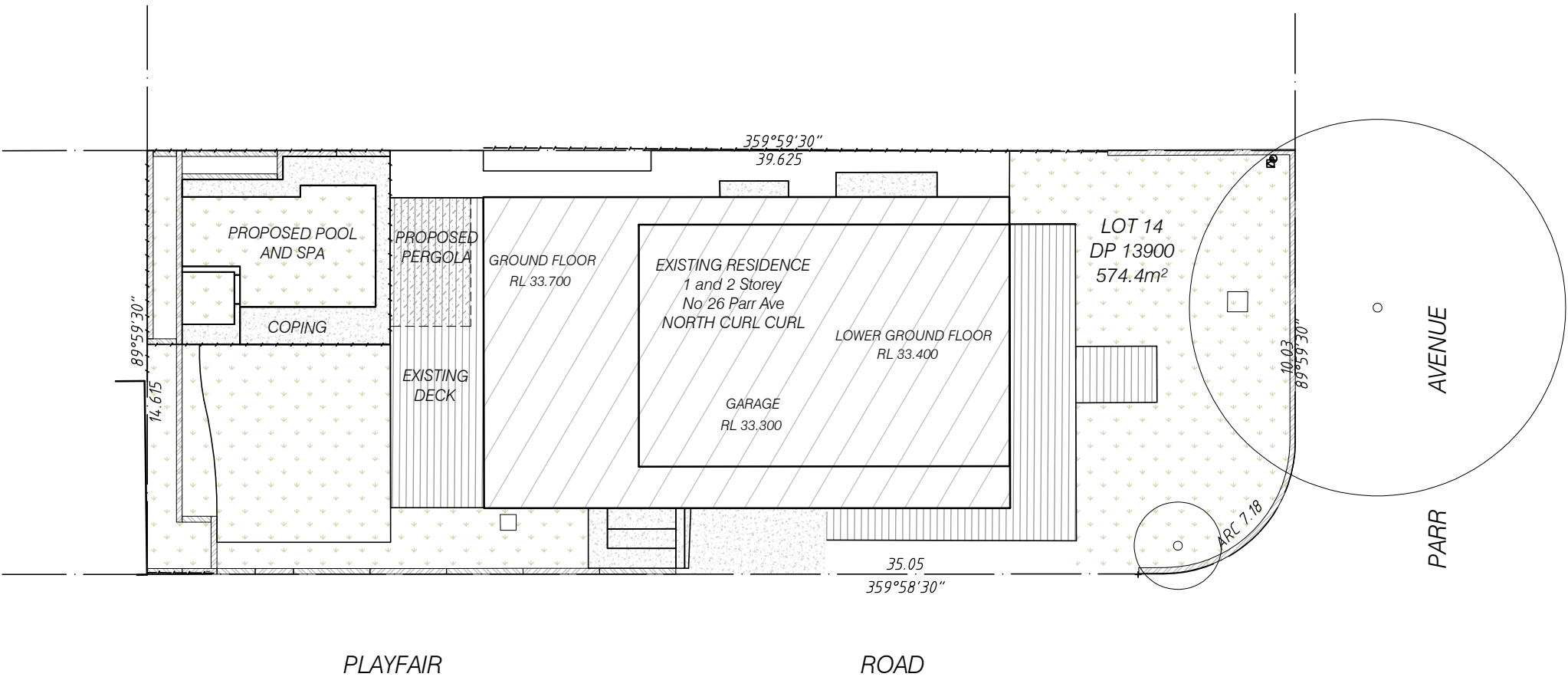


<div><div>DRAWN BY</div><div>Unit 20</div><div>12 Phillip Mall</div><div>West Pymble 2073</div><div>Phone 9440 5451 Facsimile 9402 6499</div><div>ABN 97 077 163 663</div><div>Fellow of Australian Institute of Landscape Designers and Managers</div></div> <div></div>	<div>NOTES TO THE PLAN</div> <div>THIS PLAN IS TO BE READ AS PART OF A COMPLETE SET OF DRAWINGS RELATING TO THE PROPOSED DEVELOPMENT</div> <div>THIS PLAN RELATES TO A SPECIFIC DEVELOPMENT INFORMATION RELATING TO THE DEVELOPMENT NEEDS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION</div> <div>ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE INDICATED</div>	<div>CLIENT</div> <div>HAINES AND MOSS RESIDENCE</div> <div>SITE</div> <div>26 PARR AVE</div> <div>NORTH CURL CURL</div>	<div>DRAWING</div> <div>PLAYFAIR ROAD ELEVATION</div> <div>PROJECT</div> <div>PROPOSED SWIMMING POOL AND LANDSCAPING</div>	<div>Date of Issue</div> <div>A 26-02-21</div> <div>B 24-05-21</div>	<div>JOB No</div> <div>21-02</div> <div>ISSUE</div> <div>B</div> <div>DWG No</div> <div>7</div>
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LEGEND

- BOUNDARY
- EXISTING BUILDING/STRUCTURE
- PAVING
- RETAINING WALL/WALL
- LANDSCAPED OPEN SPACE
- EXISTING TREE



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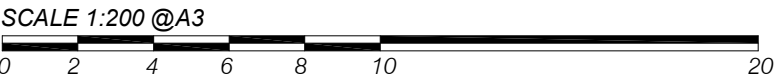
NOTES TO SILT & SEDIMENT CONTROL FENCE CONSTRUCTION

SOURCE: GUIDELINES FOR EROSION & SEDIMENT CONTROL ON BUILDING SITES
HAWKESBURY-NEPEAN CATCHMENT MANAGEMENT TRUST WINDSOR, AUSTRALIA

- CONSTRUCT SEDIMENT FENCE ALONG CONTOURS OF SITE
- DRIVE 1.5m POSTS INTO THE GROUND. PROVIDE UPHILL RETURNS AT EITHER END
- CONNECT THE GEOTEXTILE FABRIC TO THE POSTS IN A SECURE MANNER
- CONSTRUCT A TRENCH ALONG THE UPSLOPE SIDE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE BURIED
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT ON BOTH SIDES
- MAINTAIN THE FENCE REGULARLY TO ENSURE EFFICIENCY

SITE CALCULATIONS

SITE -	574.4m ²
PROPOSED WORKS	
Proposed Pool -	28m ²
Proposed Pool Coping -	4.6m ²
Proposed Paving -	5.6m ²
PROPOSED LANDSCAPED OPEN SPACE (Required - 40% of the site, min 2.0m wide)	229.8m ²
Proposed -	221.5m ²



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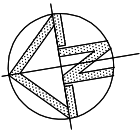
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CLIENT
HAINES AND MOSS RESIDENCE
SITE
26 PARR AVE
NORTH CURL CURL

DRAWING
LANDSCAPE AREA CALCULATIONS
PROJECT
PROPOSED SWIMMING POOL
AND LANDSCAPING

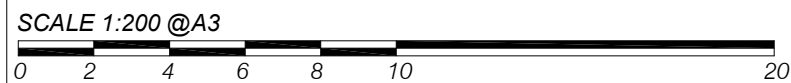
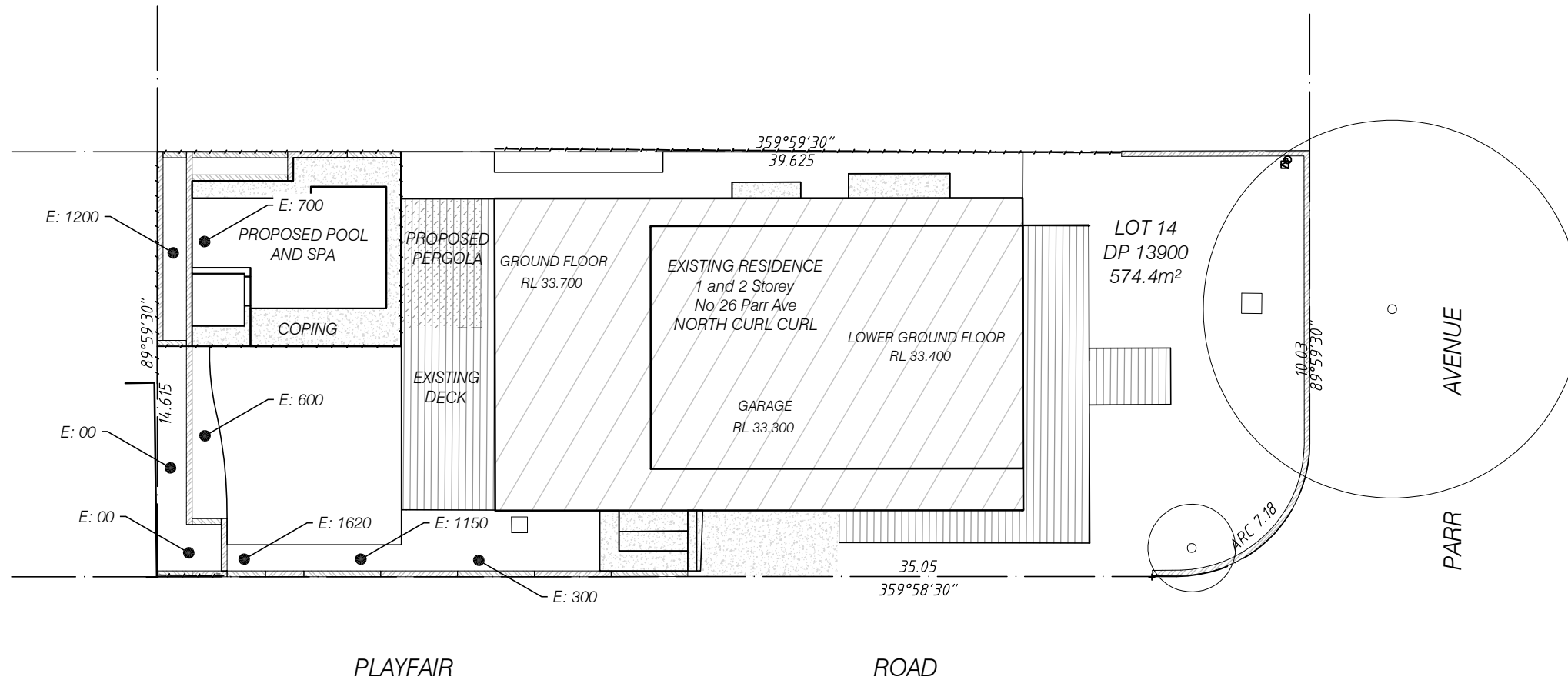
Date of Issue
A 26-02-21
B 24-05-21

JOB No
21-02
ISSUE
B
DWG No
8



LEGEND

- BOUNDARY
- BUILDING/STRUCTURE
- EXISTING PAVING
- PROPOSED PAVING
- PROPOSED POOL
- +500
EXTENT ABOVE (+) OR BELOW (-)
EXISTING GROUND
- E: 500
EXTENT OF EXCAVATION



DRAWN BY
Unit 20
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outside
LIVING

Phone 9440 5451 Facsimile 9402 6499
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CLIENT
HAINES AND MOSS RESIDENCE
SITE
26 PARR AVE
NORTH CURL CURL

DRAWING
EXCAVATION PLAN
PROJECT
**PROPOSED SWIMMING POOL
AND LANDSCAPING**

Date of Issue
A 26-02-21
B 24-05-21

JOB No
21-02

ISSUE
B

DWG No
9