

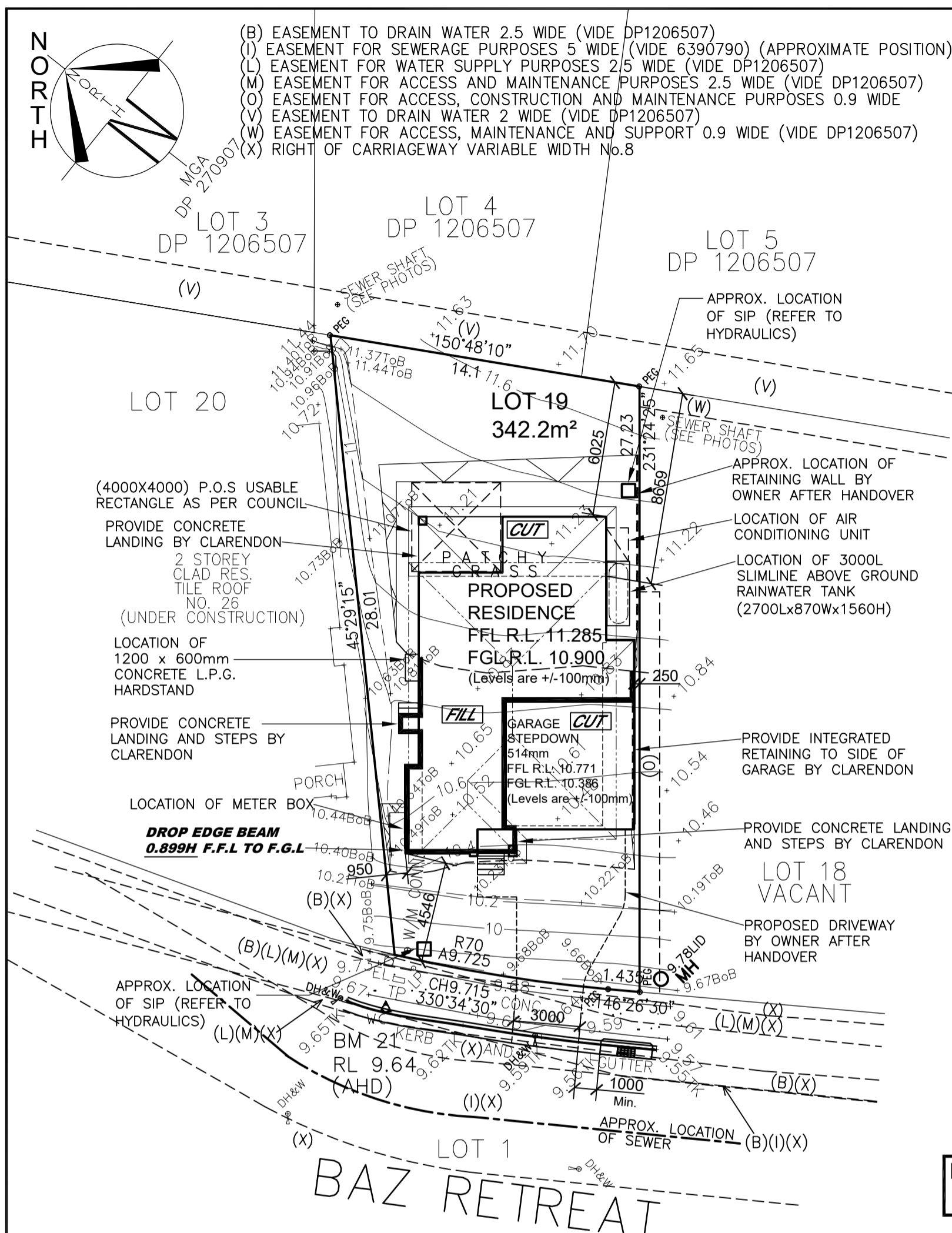
- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
- (I) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790) (APPROXIMATE POSITION)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DP1206507)
- (M) EASEMENT FOR ACCESS AND MAINTENANCE PURPOSES 2.5 WIDE (VIDE DP1206507)
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE PURPOSES 0.9 WIDE
- (V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP1206507)
- (W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
- (X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No.8

**LOT 19**  
**D.P: 270907**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED  
 IN ACCORDANCE WITH  
 PITTSWATER DCP 21 - D16**

SITE AREA	342.2 m <sup>2</sup>
ROOF AREA	153.3 m <sup>2</sup>
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 4.0m)	129.7 m <sup>2</sup> 37.9 %
MIN. REQUIRED BY COUNCIL:	35 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 4.0m)	111.5 m <sup>2</sup>
MIN. REQUIRED BY COUNCIL:	80 m <sup>2</sup>
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

**Maximum 1000mm CUT**  
**Maximum 1000mm FILL**



**For Driveway Gradient Refer  
 to Sheet 7**

**PROVIDE T2 FRAMING  
 TO DWELLING IN LIEU  
 OF STANDARD**



**WIND CLASSIFICATION: "N2"**  
**SLAB CLASSIFICATION: "H1"**

**NOTE:**  
 ALL GROUND LINES ARE APPROXIMATE.  
 EXTENT OF FILL & BATTER WILL BE  
 DETERMINED ON SITE. SEDIMENT BARRIERS  
 ARE TO BE CUSTOMISED SITE SPECIFIC

**STORMWATER TO  
 STREET VIA  
 RAINWATER TANK**  
 REFER TO HYDRAULIC DETAILS

**SITE PLAN**

SCALE 1:200  
 GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

**northern beaches council**

**THIS PLAN IS TO BE READ IN  
 CONJUNCTION WITH  
 THE CONDITIONS OF DEVELOPMENT  
 CONSENT**

**DA2020/0474**

CLIENT'S SIGNATURE:	DATE:	PRODUCT: <b>BRONTE 25 MKI Classic R/H Garage</b>	CLIENT: <b>Mr BRADY Mrs BRADY</b>	DA DRAWINGS	
		Evolution Specification	SITE ADDRESS: <b>Lot 19 No.24, D.P: 270907 Baz Retreat WARRIEWOOD 2102</b>	DRAWN: DV	DATE: 10.02.20
<small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		<small>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</small>		RATIO @ A3: 1:200	CHECKED: BG
		# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING		SHEET: 2	JOB No: 29914083
					Rev: H
					NSW

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

FLOOR JOIST DIRECTION

DP ○ DOWN PIPE LOCATION

TAP X GARDEN TAP LOCATION

COB LIFT OFF HINGES

SP STEEL POST

TSP TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

⊗ EXHAUST FAN

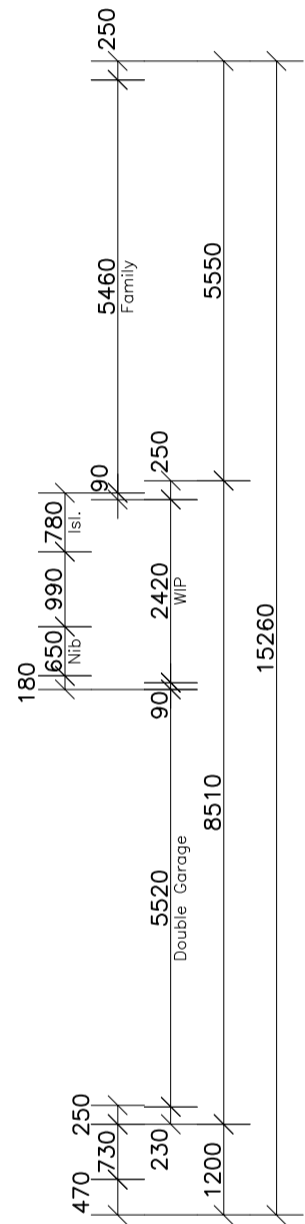
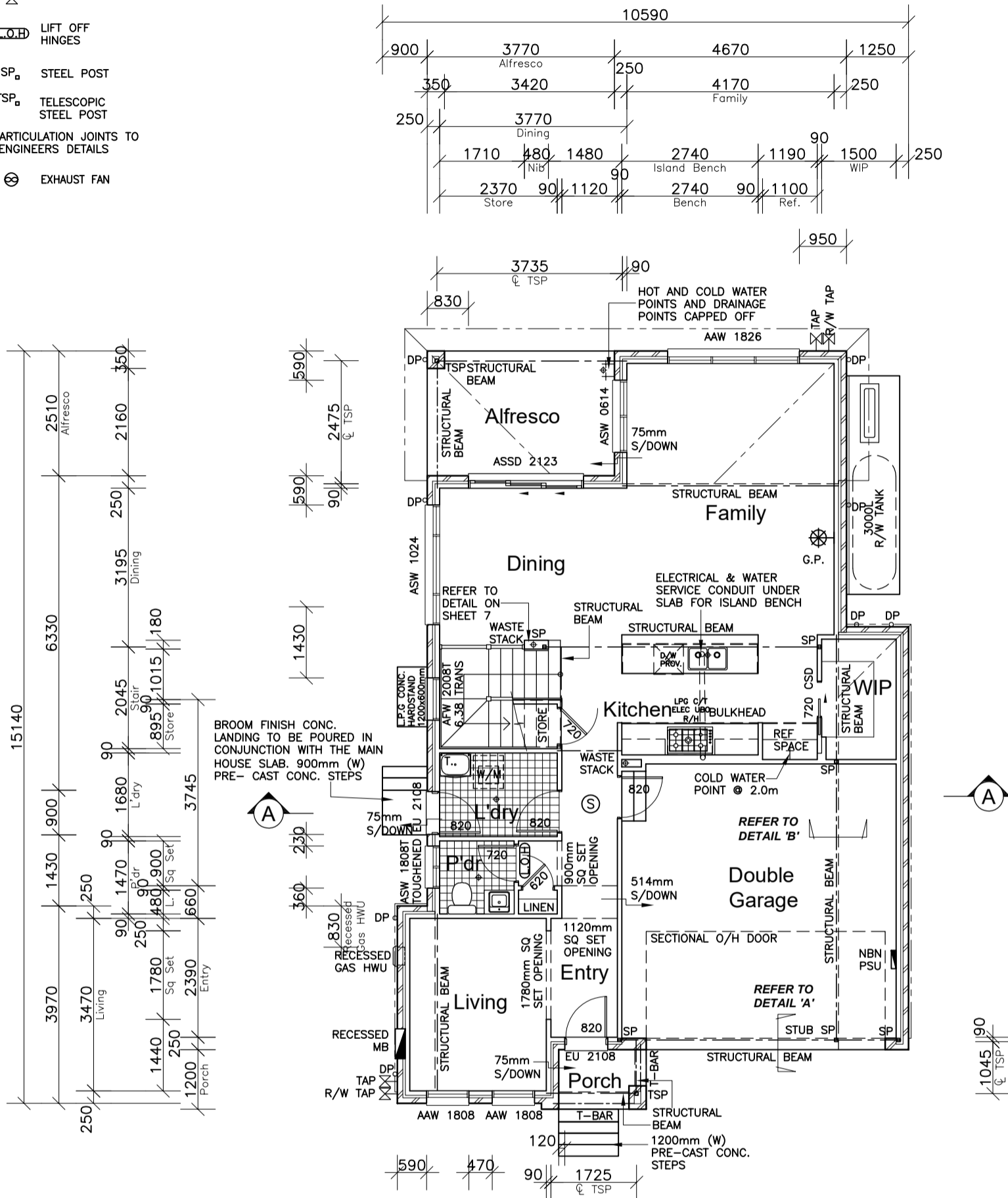
NOTE: (UNLESS NOTED OTHERWISE) 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

NOTE: PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

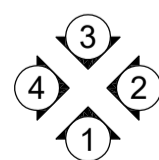
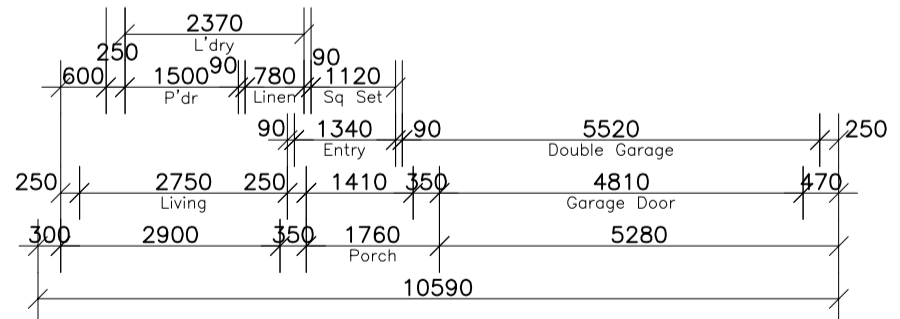
PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



NOTE: PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS: \* EXPOSURE GRADE BRICKS, \* STAINLESS STEEL WALL TIES, \* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A., \* COLORBOND VALLEY GUTTERS, \* EXPOSURE GRADE MORTAR



northern beaches council  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
DA2020/0474



# GROUND FLOOR PLAN

CLIENT'S SIGNATURE:	DATE:	PRODUCT: <b>BRONTE 25 MKI Classic R/H Garage</b> Evolution Specification	CLIENT: Mr BRADY Mrs BRADY SITE ADDRESS: Lot 19 No.24, D.P: 270907 Baz Retreat WARRIEWOOD 2102	DA DRAWINGS								
<b>ClarendonHomes</b> <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING		<table border="1"> <tr> <td>DRAWN: PG.</td> <td>DATE: 25.02.20</td> <td>Rev: H</td> </tr> <tr> <td>RATIO @ A3: 1:100</td> <td>CHECKED: J.S</td> <td></td> </tr> <tr> <td>SHEET: 3</td> <td>JOB No: 29914083</td> <td>NSW</td> </tr> </table>	DRAWN: PG.	DATE: 25.02.20	Rev: H	RATIO @ A3: 1:100	CHECKED: J.S		SHEET: 3	JOB No: 29914083	NSW
	DRAWN: PG.	DATE: 25.02.20		Rev: H								
	RATIO @ A3: 1:100	CHECKED: J.S										
SHEET: 3	JOB No: 29914083	NSW										

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

DP ○ DOWN PIPE LOCATION

(L.O.B) LIFT OFF HINGES

SP ○ STEEL POST

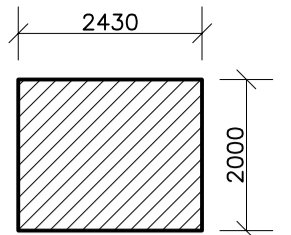
TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

⊗ EXHAUST FAN

⌈ 7  
| X |  
⌋ 3 400x200mm EAVE VENT

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

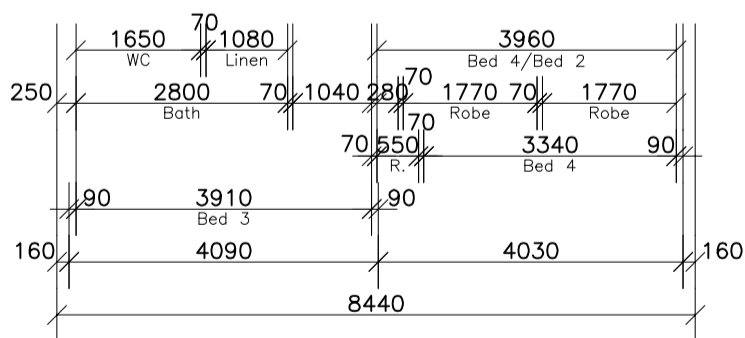
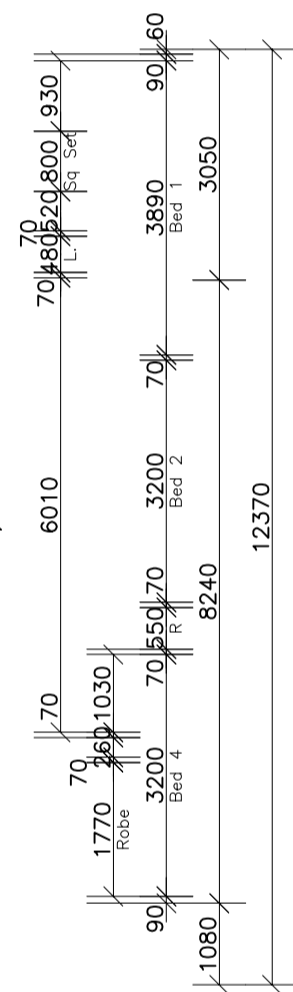
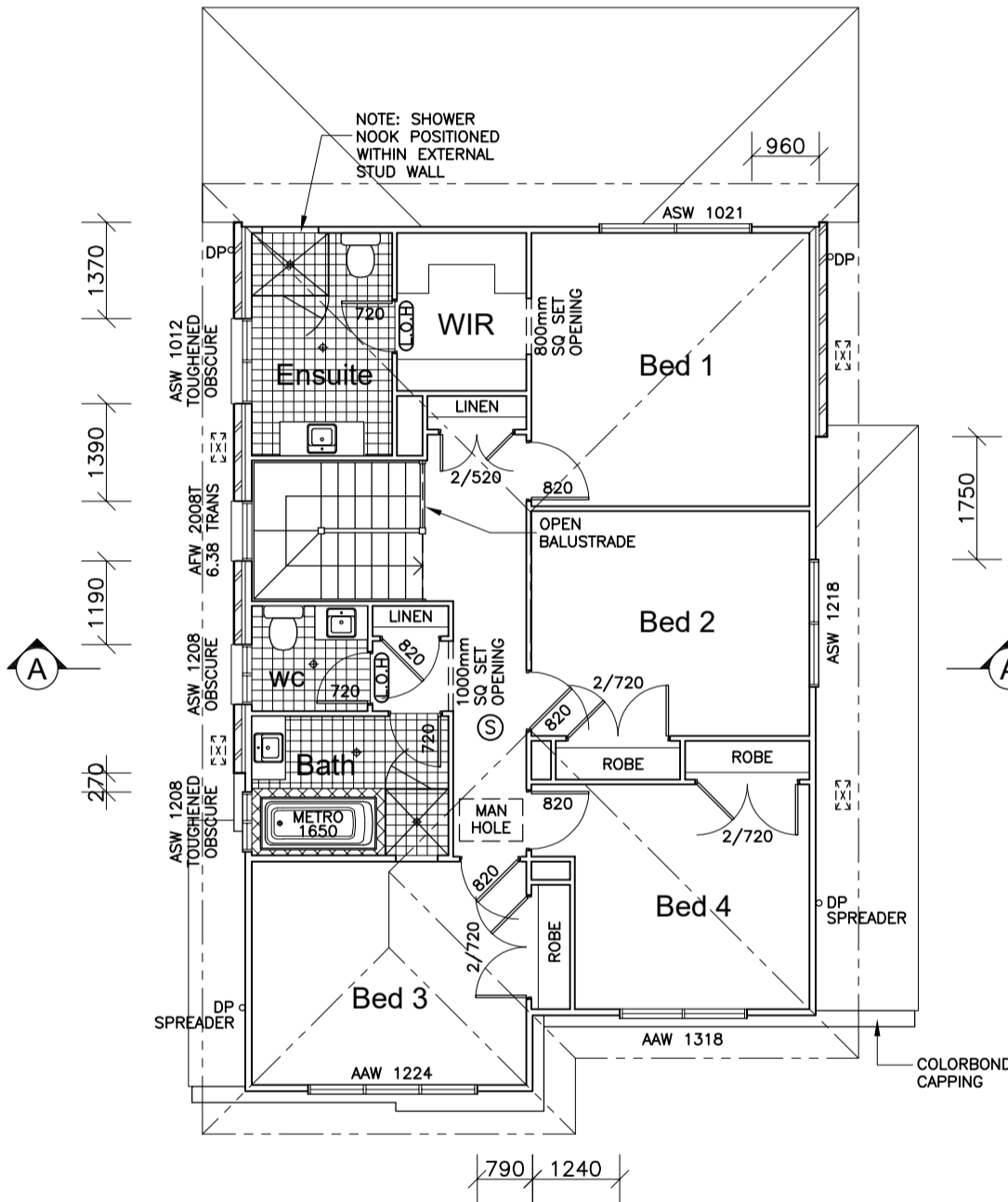
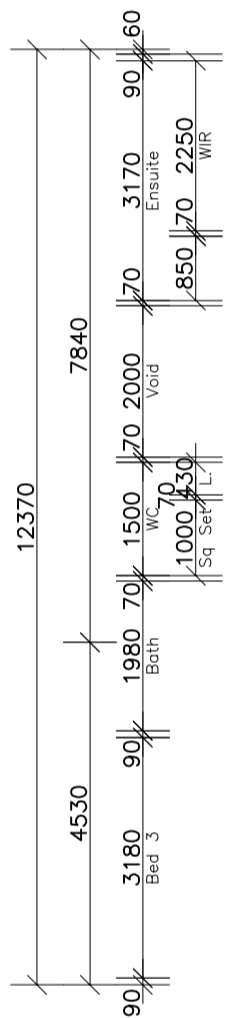
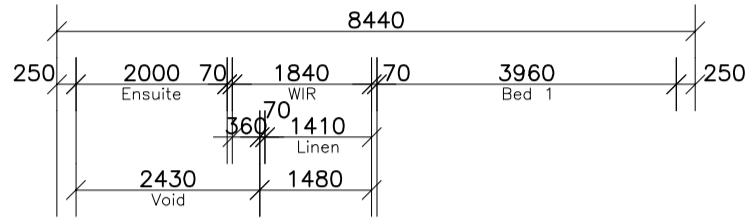


STAIR CUTOUT  
SCALE 1:100

NOTE:  
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 10 FOR DETAILS

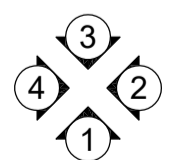
NOTE:  
ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE:  
PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:  
\* EXPOSURE GRADE BRICKS,  
\* STAINLESS STEEL WALL TIES,  
\* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,  
\* COLORBOND VALLEY GUTTERS,  
\* EXPOSURE GRADE MORTAR



**northern beaches council**  
**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**  
**DA2020/0474**

FIRST FLOOR PLAN



CLIENT'S SIGNATURE: _____ DATE: _____		PRODUCT: <b>BRONTE 25 MKI Classic R/H Garage</b> Evolution Specification		CLIENT: <b>Mr BRADY Mrs BRADY</b> SITE ADDRESS: <b>Lot 19 No.24, D.P: 270907</b> Baz Retreat WARRIEWOOD 2102		DA DRAWINGS	
<b>ClarendonHomes</b> BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300		© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING				DRAWN: PG. RATIO @ A3: 1:100 SHEET: 4	
						DATE: 25.02.20 CHECKED: J.S JOB No: 29914083	
						Rev: H NSW	

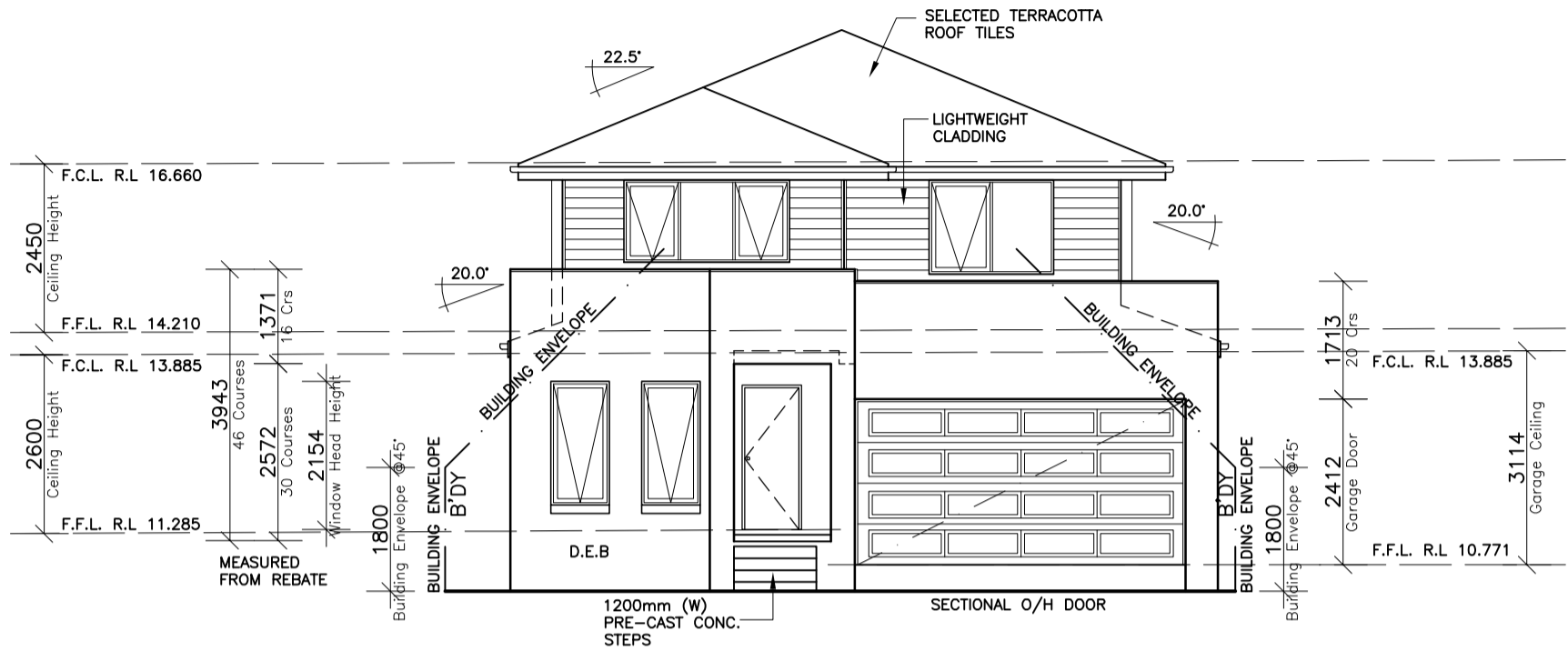
**NOTE:**  
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

**PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD**

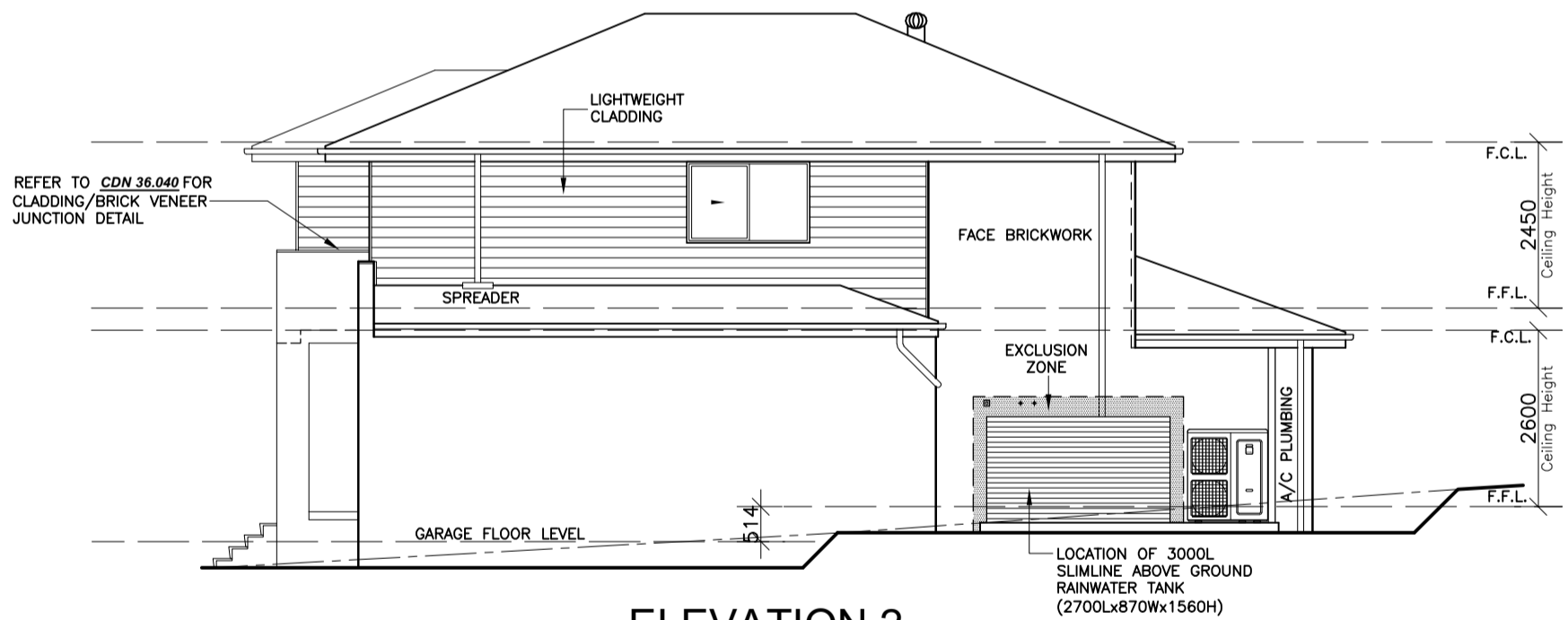


**NOTES:**  
FOR DROP-OFF'S REFER TO FRAMING DETAILS **CDN 21.010-21.080**

**NOTE:**  
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS



**ELEVATION 1  
-SOUTH WEST-**



**ELEVATION 2  
-SOUTH EAST-**

**northern beaches council**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0474**

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

Clarendon Homes (NSW) P/L  
21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:  
**BRONTE 25 MKI Classic R/H Garage**

Evolution Specification

CLIENT:  
**Mr BRADY Mrs BRADY**

SITE ADDRESS:  
**Lot 19 No.24, D.P: 270907 Baz Retreat WARRIEWOOD 2102**

DA DRAWINGS		
DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29914083	NSW

DENOTES WINDOWS WITH 6.38MM TRANSLUCENT LAMINATED GLAZING

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

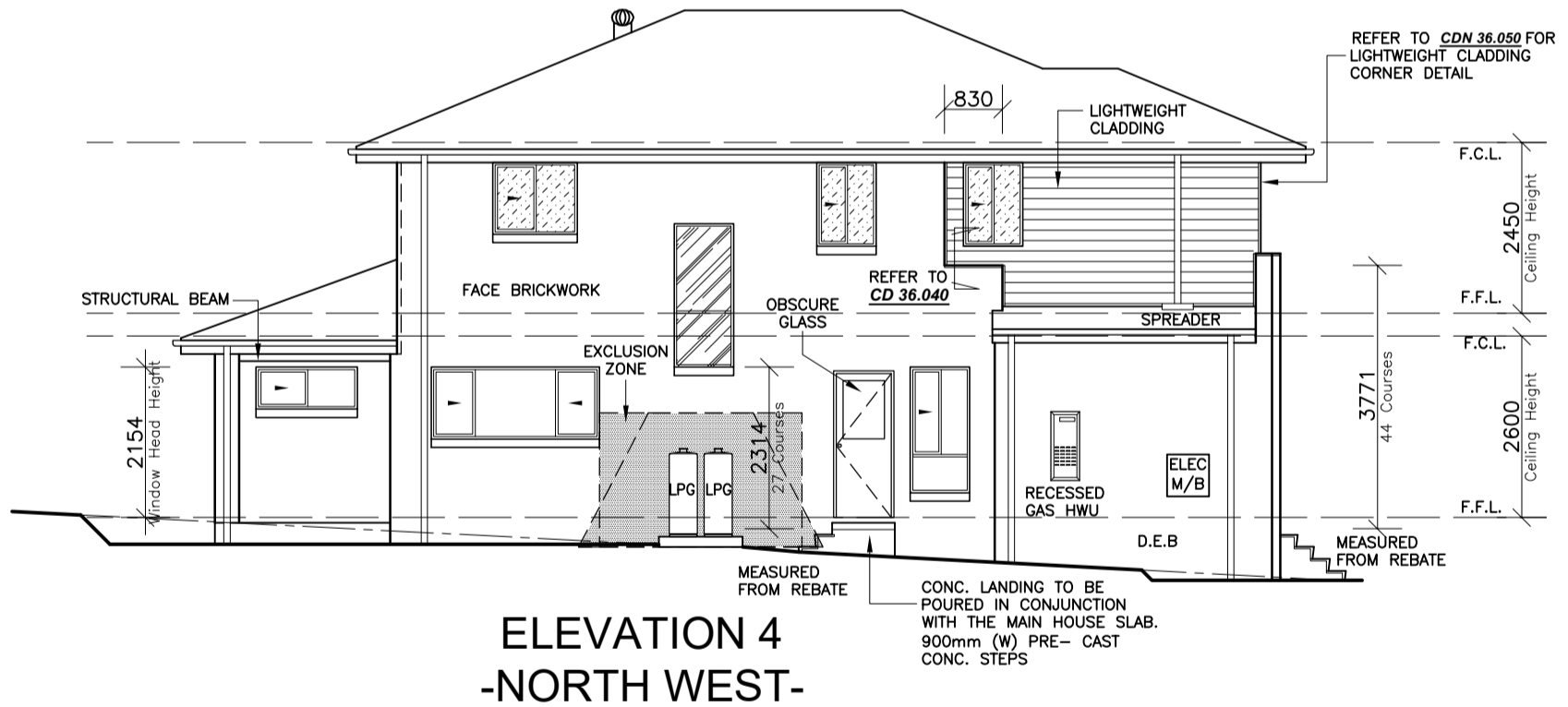
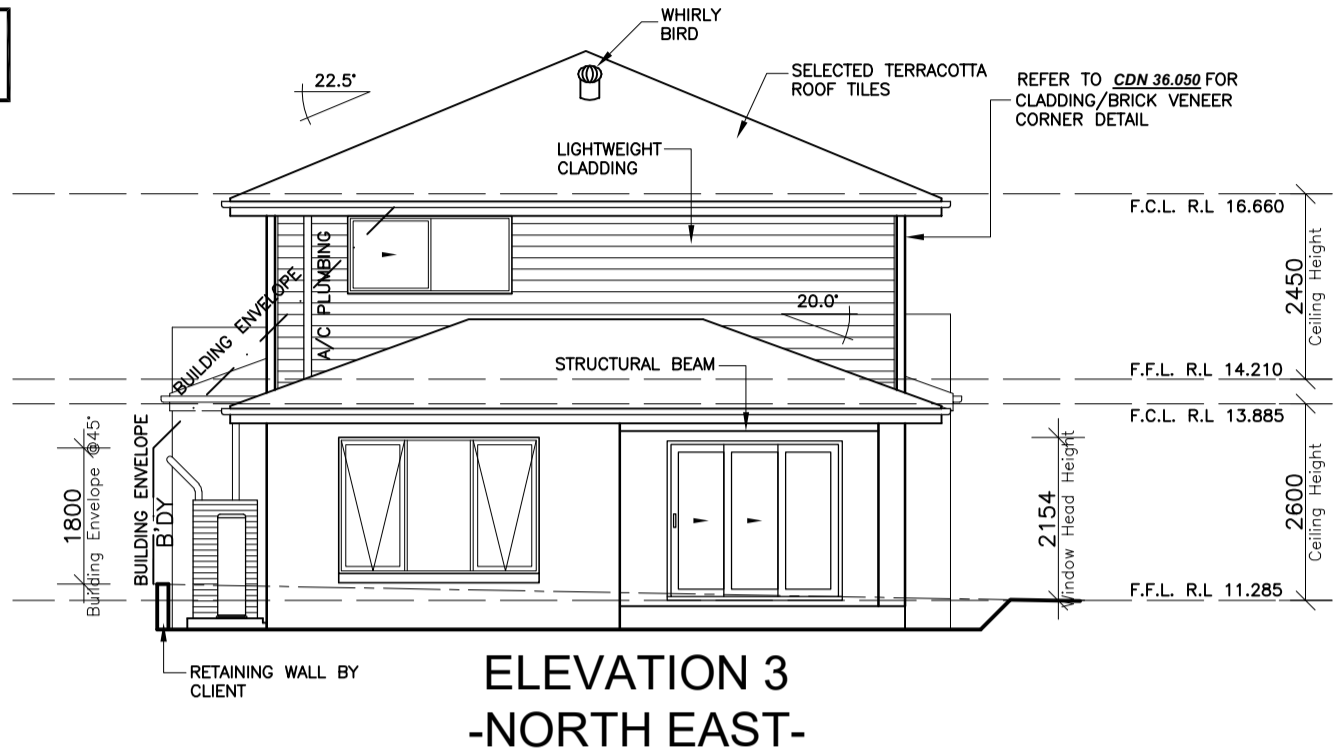



NOTES:  
FOR DROP-OFF'S REFER TO FRAMING DETAILS  
CDN 21.010-21.080

NOTE:  
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:  
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

DENOTES WINDOWS WITH OBSCURE GLAZING



 northern beaches council

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0474**

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**  
BL No. 2298C  
ABN 18 003 892 706  
Clarendon Homes (NSW) P/L  
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# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:  
**BRONTE 25 MKI Classic R/H Garage**  
Evolution Specification

CLIENT:  
**Mr BRADY Mrs BRADY**  
SITE ADDRESS:  
**Lot 19 No.24, D.P: 270907 Baz Retreat WARRIEWOOD 2102**

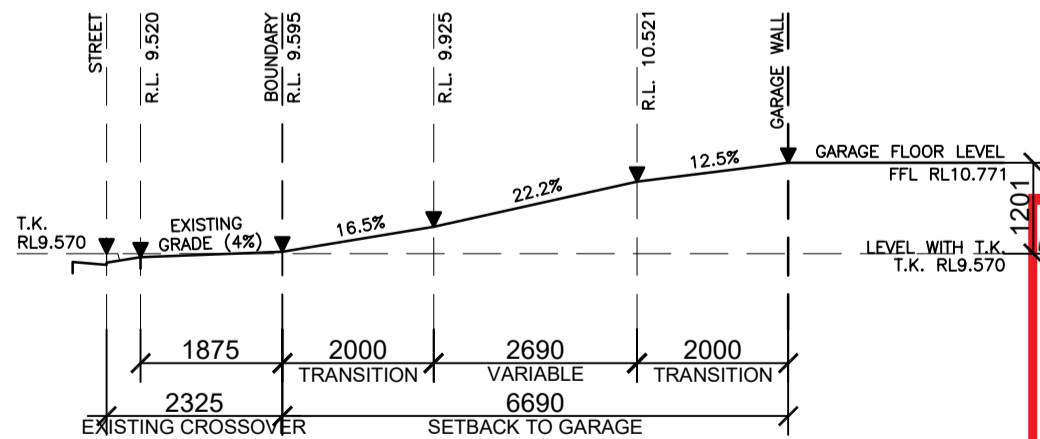
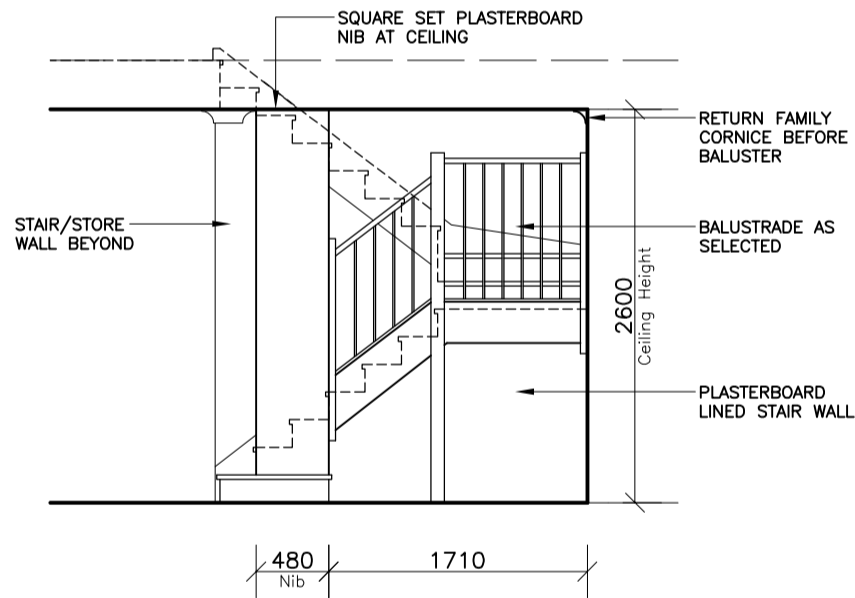
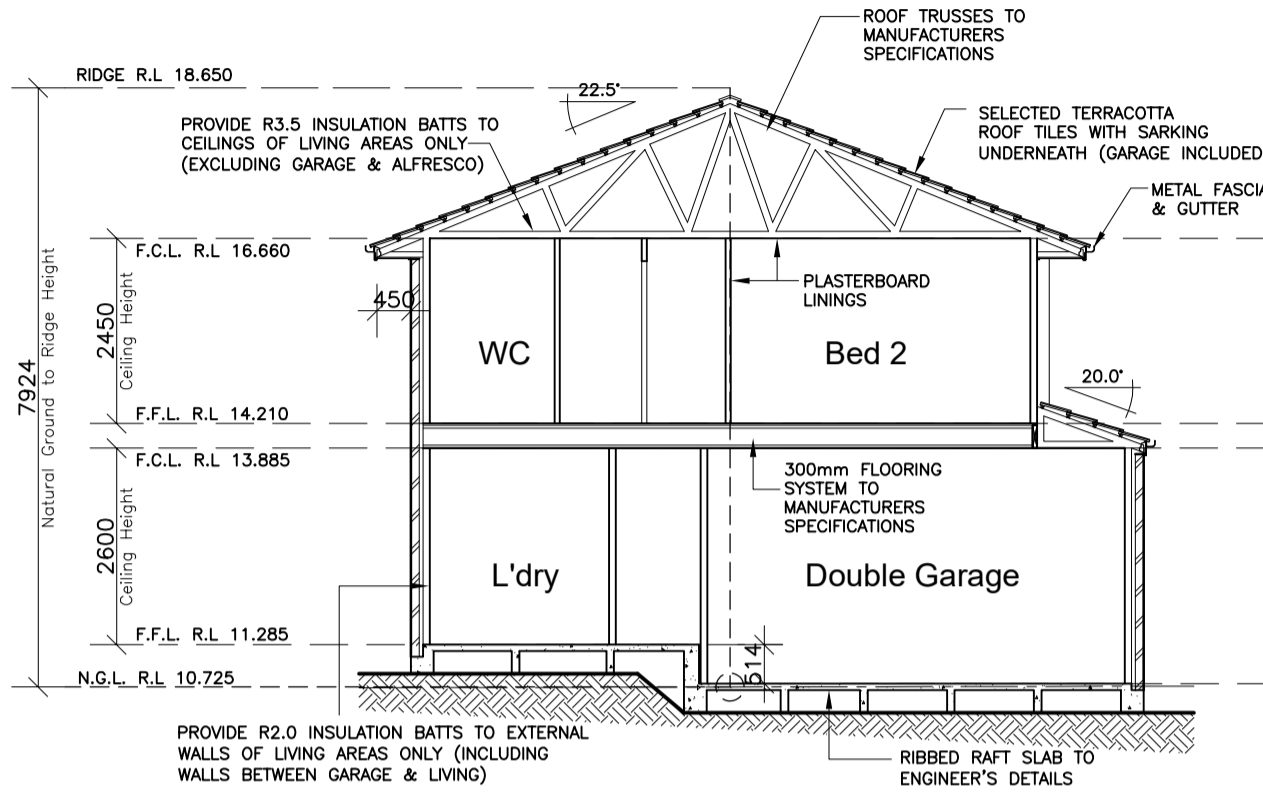
DA DRAWINGS		
DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 29914083	NSW

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



**NOTE:**  
 PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:  
 \* EXPOSURE GRADE BRICKS,  
 \* STAINLESS STEEL WALL TIES,  
 \* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,  
 \* COLORBOND VALLEY GUTTERS,  
 \* EXPOSURE GRADE MORTAR

**NOTE:**  
 PROVIDE R2.0 INSULATION BATTS TO CEILING BETWEEN GARAGE and FIRST FLOOR



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0474**

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**  
 BL No. 2298C  
 ABN 18 003 892 706  
 Clarendon Homes (NSW) P/L  
 21 Solent Circuit, Baulkham Hills NSW 2153  
 T: (02) 8851 5300

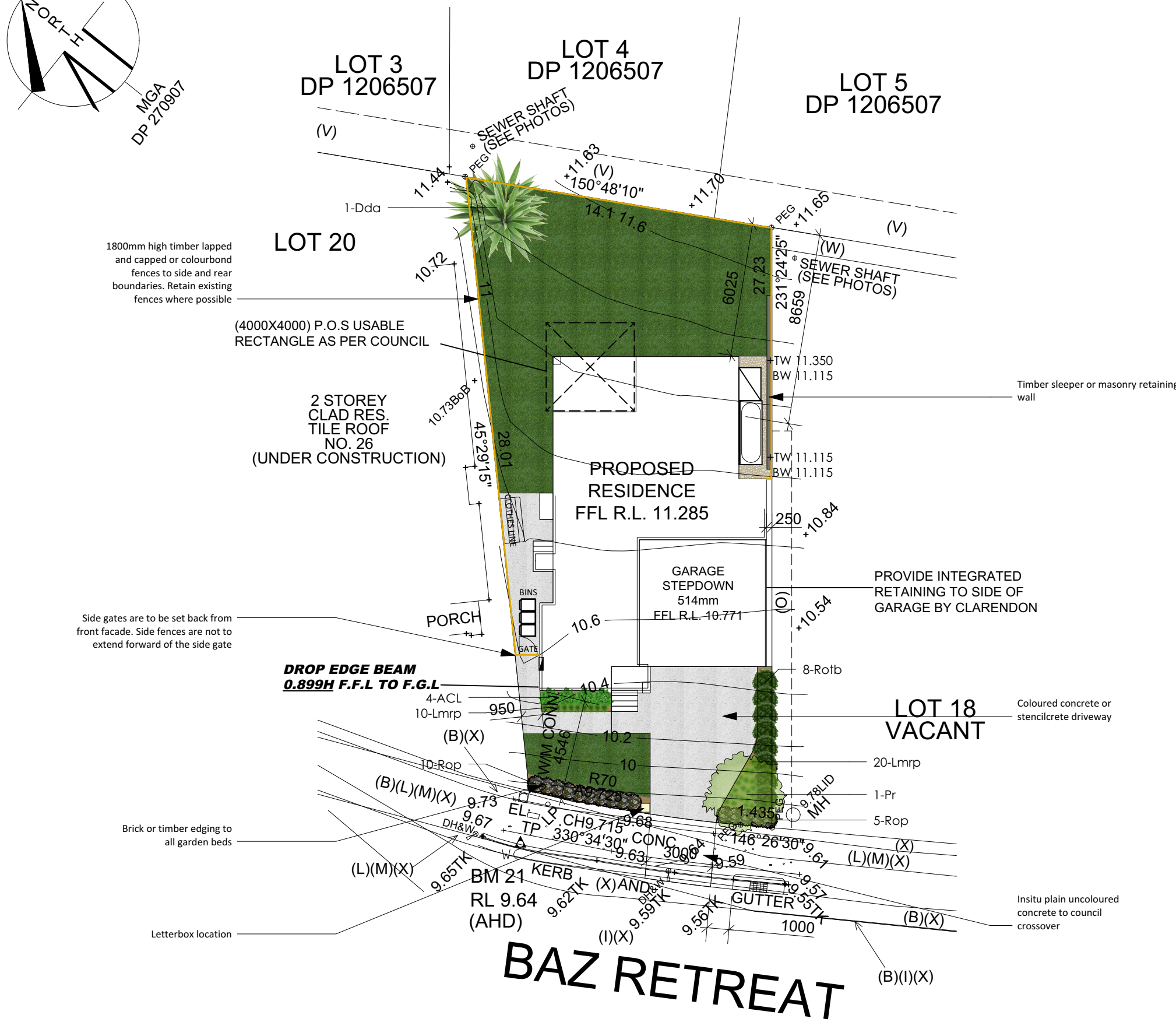
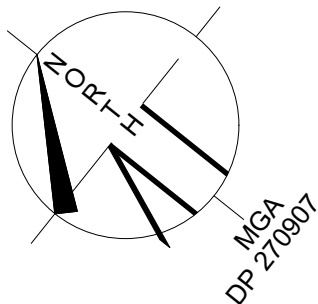
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 # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:  
**BRONTE 25 MKI**  
 Classic  
 R/H Garage  
 Evolution Specification

CLIENT:  
 Mr BRADY  
 Mrs BRADY  
 SITE ADDRESS:  
 Lot 19 No.24, D.P: 270907  
 Baz Retreat  
 WARRIEWOOD 2102

DA DRAWINGS

DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 7	JOB No: 29914083	NSW



- Legend**
- Colour / Stencil Concrete
  - Pebbles / Decorative Gravel Areas
  - Planting Areas
  - Lawn Areas
  - Retaining Wall
  - 1800mm High Boundary Fencing

**Revision Schedule**

Issue:	Description:	By:	Date:
A	Submission Plan	JS	12/03/20

Drafted: JS  
Scale: 1:200 @A3  
Sheet: 1 of 4  
Reference: LP 01

Designed by:  
**Julian Saw**  
Diploma of Horticulture  
(Landscape Design)

General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.  
3. All relevant Australian standards are to be adhered to.  
4. Any structural items are to be installed as per the manufacturer/engineers specifications.  
5. This plan is indicative only and not for construction purposes

**SITE CALCULATIONS**

LOT AREA	342.2 sq m
LANDSCAPED AREA TOTAL	146.2 sq m 42.721%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Brady**  
**Mrs Brady**

Client Signatures:  
1.  
2.

Job No. **200095**

Drawing: **Landscape Plan**

Address: **Lot 19, No.24 Baz Retreat Warriewood**

Council/Lodgement: **Northern Beaches/DA**

**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0474**

[Click Here to View Our Plant Profiles!](#)

Any existing trees are to be protected in accordance with councils Tree Protection Detail

- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
- (I) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790) (APPROXIMATE POSITION)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DP1206507)
- (M) EASEMENT FOR ACCESS AND MAINTENANCE PURPOSES 2.5 WIDE (VIDE DP1206507)
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE PURPOSES 0.9 WIDE
- (V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP1206507)
- (W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
- (X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No.8

**DappleDesigns**

Ph: 1300 DAPPLE  
(1300 327 753)  
E: info@dappledesigns.com.au  
www.dappledesigns.com.au

## LANDSCAPE SPECIFICATION

### SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANAGEMENT FACILITY.

### TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINED WHERE APPLICABLE.

### WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANAGEMENT FACILITY.

### GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

### LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

### PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEASE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

### STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

### GARDEN EDGING

USE EITHER 'HAVEN' BRICK EDGING OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR TREATED TIMBER EDGING SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

### RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

### COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

### MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENANCE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

**a) REPLACEMENTS:** ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

**b) WATERING:** REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

**c) GARDEN BEDS:** GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

**d) LAWN AREAS:** LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFIED IN THE PLAN.

**e) PRUNING:** ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

**f) FERTILISING:** 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

## PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
<b>TREES</b>							
	Dda	PANDANUS TECTORIUS	SCREW PINE	8M X 5M	YES	1	25LTR
	Pr	PLUMERIA SP	FRANGIPANI	5M X 5M	NO	1	25LTR
<b>SHRUBS</b>							
	Acl	ACACIA 'LIMELIGHT'	LIMELIGHT	1M X 1M	YES	4	200MM
	Rop	RHAPHIOLEPIS 'ORIENTAL PEARL'	INDIAN HAWTHORN	1M X 1M	NO	15	200MM
	Rotb	ROSMARINUS OFFICINALIS	ROSEMARY	1.2M X 1.2M	NO	8	200MM
<b>GRASSES &amp; STRAP LEAF PLANTS</b>							
	Lmrp	LIRIOPE MUSCARI 'ROYAL PURPLE'	LILY TURF	0.4M X 0.4M	NO	30	140MM



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DA2020/0474**

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## Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	12/03/20

Drafted:	Scale: 1:200 @A3
JS	

Sheet:	Reference:
2 of 4	LP 01

Designed by:

**Julian Saw**  
**Diploma of Horticulture**  
**(Landscape Design)**

General Notes:

- See Architects drawings for site levels, setbacks and extent of cut and fill.
- This plan shall be read in conjunction with the Hydraulic Engineers drawings.
- All relevant Australian standards are to be adhered to.
- Any structural items are to be installed as per the manufacturer/engineers specifications.
- This plan is indicative only and not for construction purposes.

### SITE CALCULATIONS

LOT AREA	342.2 sq m
LANDSCAPED AREA TOTAL	146.2 sq m 42.721%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Brady**  
**Mrs Brady**

Client Signatures:

- 
- 

Job No. **200095**

Drawing: **Plant List/Specification**

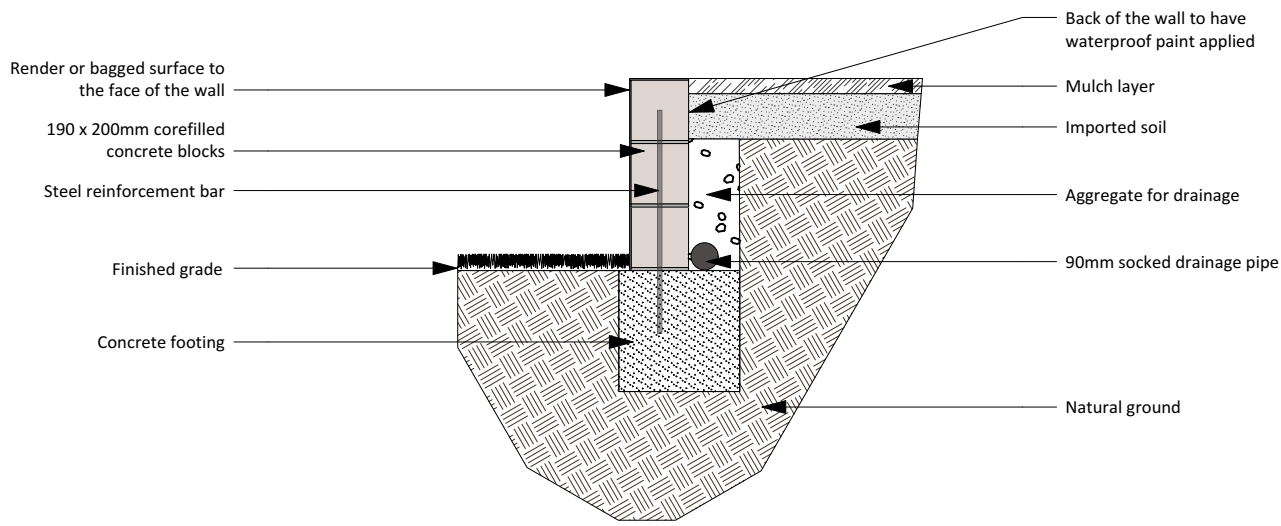
Address: **Lot 19, No.24 Baz Retreat**  
**Warriewood**

Council/Lodgement:  
**Northern Beaches/DA**

**DappleDesigns**

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 www.dappledesigns.com.au



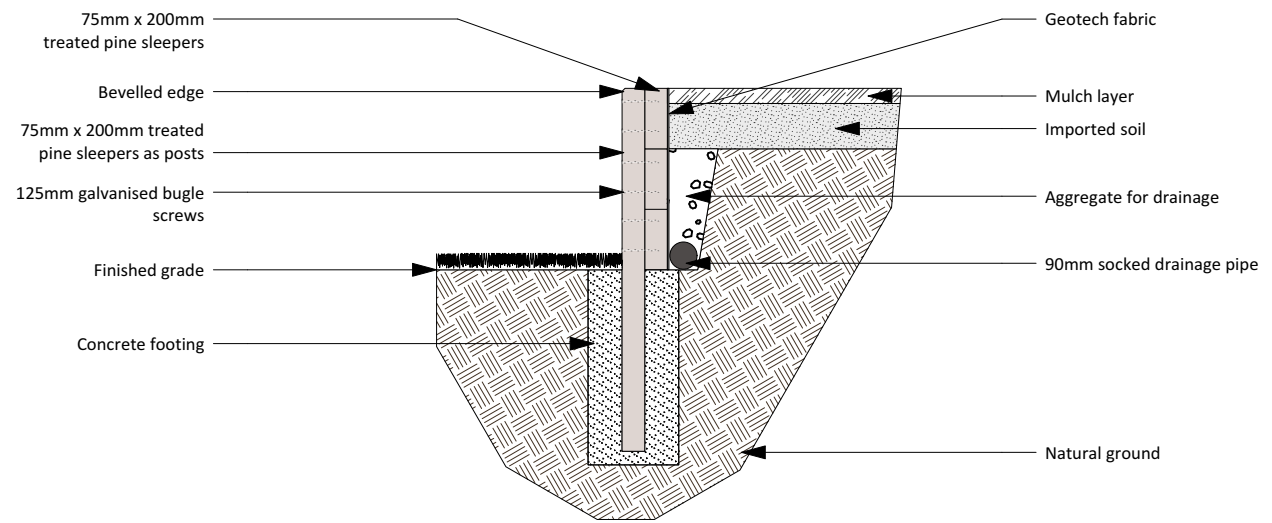


**DETAILS**

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT
3. REFER TO PLAN FOR HEIGHTS
4. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

RENDERED/BAGGED RETAINING WALL DETAIL

SCALE 1:25

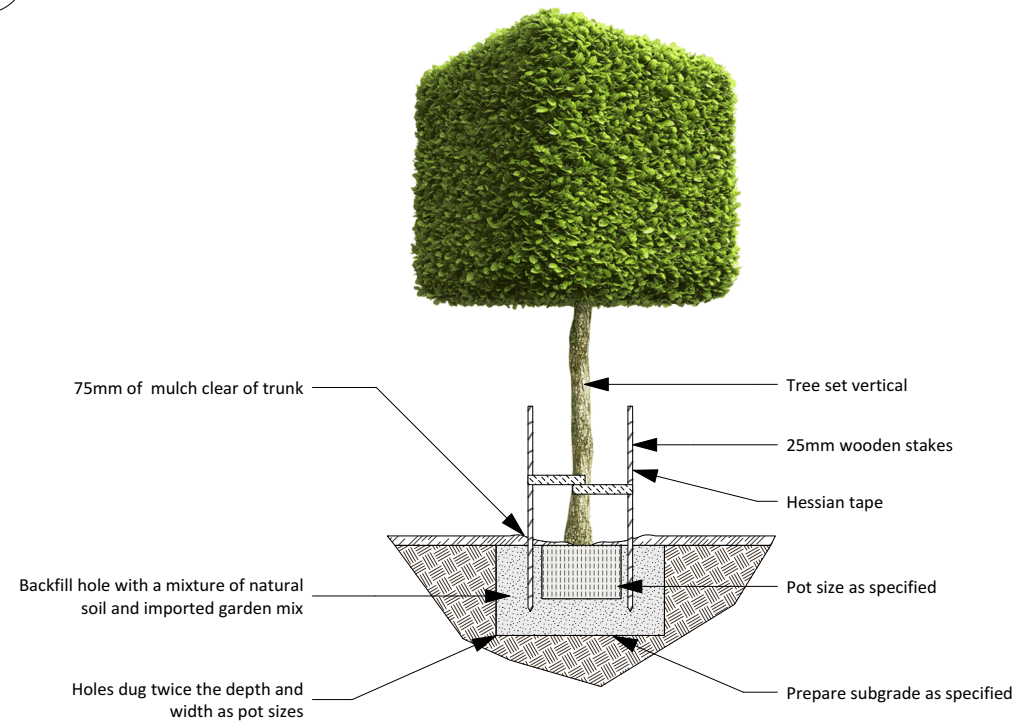


**DETAILS**

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT OR SLIGHTLY SLANTED TOWARDS THE SOIL BEING RETAINED
3. TIMBER IS TO BE FREE OF CRACKS AND KNOTS
4. REFER TO PLAN FOR HEIGHTS
5. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

TREATED TIMBER RETAINING WALL DETAIL

SCALE 1:25



**DETAILS**

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. WATER THOROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

SCALE 1:40

**Revision Schedule**

Issue:	Description:	By:	Date:
A	Submission Plan	JS	12/03/20

Drafted: JS  
Scale: 1:200 @A3  
0 0 1 2 3 M

Sheet: 3 of 4  
Reference: LP 01

Designed by:  
**Julian Saw**  
Diploma of Horticulture  
(Landscape Design)

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Client: **Mr Brady**  
**Mrs Brady**

Client Signatures:

- 1.
- 2.

Job No. **200095**

Drawing: **Construction Details**

Address: **Lot 19, No.24 Baz Retreat**  
**Warriewood**

Council/Lodgement: **Northern Beaches/DA**

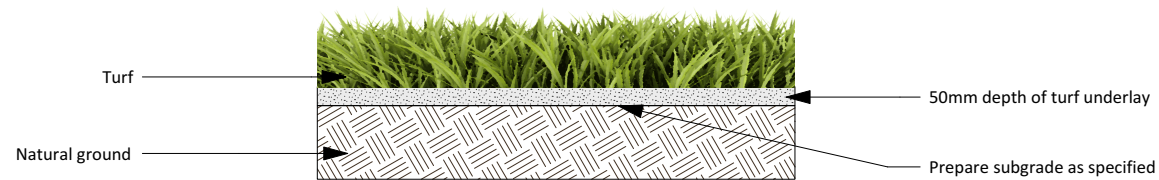
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northern beaches council

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**DA2020/0474**

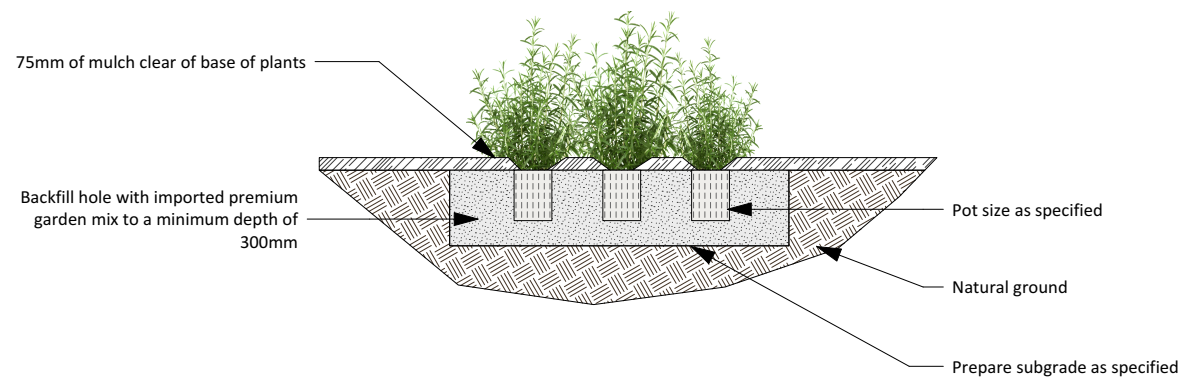


**DETAILS**

1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

TURF LAYING DETAIL

SCALE 1:20



**DETAILS**

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
3. WATER THOROUGHLY AFTER PLANTING
4. REFER TO PLAN FOR QUANTITIES AND SPACING

SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30

**Revision Schedule**

Issue:	Description:	By:	Date:
A	Submission Plan	JS	12/03/20

Drafted: JS  
Scale: 1:200 @A3  
0 0 1 2 3 M

Sheet: 4 of 4  
Reference: LP 01

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