

Statement of Environmental Effects

Dwelling house improvements-

Ground, and first floor improvement works to an existing dwelling house at 38 Delaigh Avenue, North Curl Curl 2099

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1. Introduction

This Development Application proposes ground, and first floor improvement works to an existing dwelling house at 38 Delaigh Avenue, North Curl Curl 2099 (Lot 4 in DP 17125).

The development proposal is permissible in the R2- Low Density Residential zone under the provisions of Warringah Local Environmental Plan (LEP) 2011.

The proposed works are defined as ancillary alterations to an existing dwelling house.

The main body of this report will review the key planning considerations for a consent authority under the heads of consideration of Section 4.15 of the Environmental Planning and Assessment Act 1979.

2. Site Details

2.1. Location

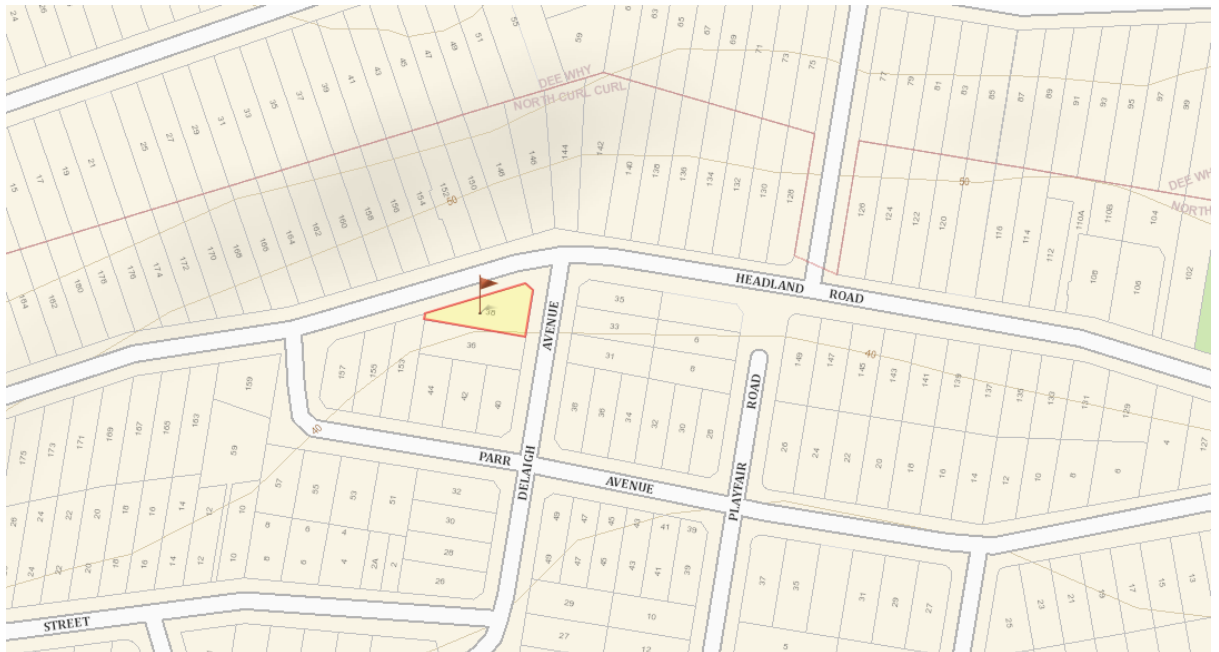
The subject site is an irregular corner allotment on the south western corner of Delaigh Avenue and Headland Road.

The site is known as 38 Delaigh Avenue, North Curl Curl 2099 and is legally identified as Lot 4 in DP 17125.

Access to the site is off an existing driveway at Delaigh Avenue and at the site stands a 2-storey light clad dwelling with a metal sheet roof. Other site improvements include a pool, picket fence and landscaping. The dwelling provides a neat and tidy appearance to the public domain.

Surrounding the development consists of detached dwellings of varying age, scale and design where some the dwellings are large 3 storey dwellings to the northern side of Headland Road. The site's secondary frontage road reserve is densely covered with vegetation screening.

A location plan of the site is provided below and along with a photo of the subject premises.



Location Plan



Aerial photo

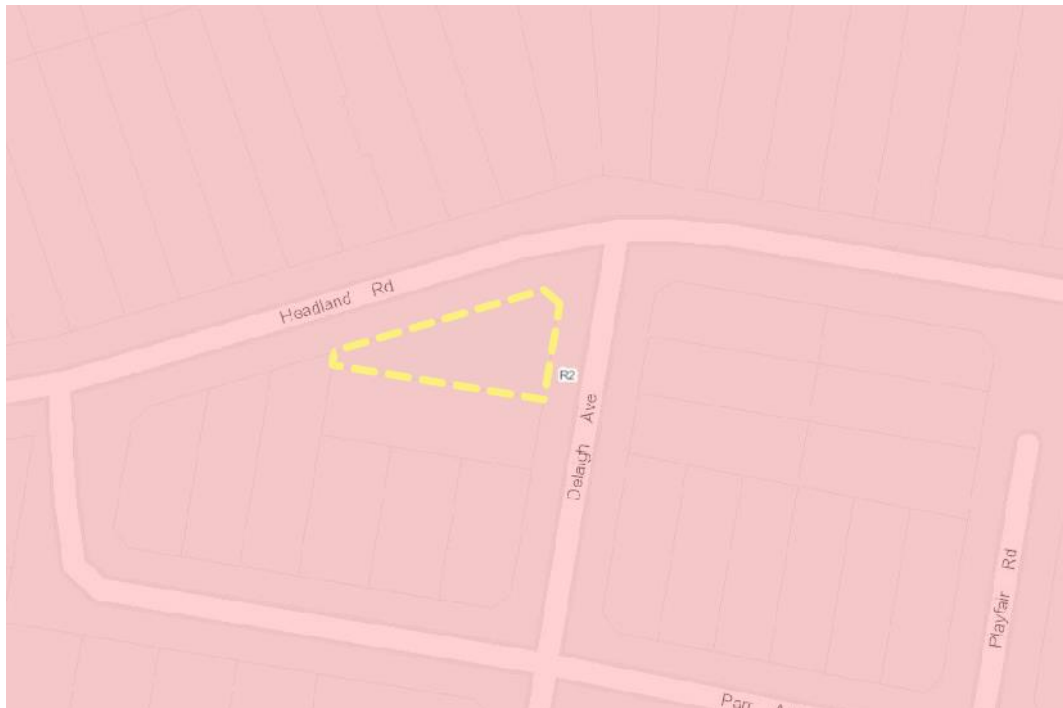


Streetscape photos

2.2. Zoning

The site is located within the R2 Low Density Residential zone pursuant to Warringah Local Environmental Plan 2011.

A zoning map is provided below.



Zoning map.

3. Development Proposal

The Development Application proposes improvement works to a dwelling house and these include:

Ground floor: - new robe, new walk-in robe, new doors, removal of doors, removal of sliding door and enclosure of rear deck.

First floor: - new rumpus, window replacement, new walk-in robe, ensuite, wardrobes, desk area, master room, vergola and roofline.

The relevant architectural plans, survey plan and other supporting documents accompany the Development Application.

4. Permissibility

The proposed development is permissible in the R2- Low Density Residential zone under the provisions of Warringah Local Environmental Plan 2011.

5. Matters of Consideration

5.1. Section 4.15(1)(A)(I) – any environmental planning instruments

Warringah Local Environmental Plan 2011

The objectives of the R2 Low Density Residential zone are as follows:

- To provide for the housing needs of the community within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

Compliance Analysis

Clause of LEP	Compliance with Requirements
2.7 Demolition requires consent	Yes
4.3 Height of buildings	Yes New roof line does not exceed the height control of 8.5m.
4.6 Exceptions to development standards	N/A
6.2 Earthworks	N/A
6.4 Development on sloping land	N/A

5.2. Section 4.15(1)(A)(ii) – any draft environmental planning instrument(s)

There are no known draft environmental planning instruments which affect the proposal.

5.3. Section 4.15(1)(A)(iii) – any development control plan(s)

The proposed changes do not compromise the core objectives of Warringah Development Control Plan.

Compliance Analysis

Clause	Compliance with Requirements	Consistency Aims/Objectives
A.5 Objectives	N/A	Yes
B3 Side Boundary Envelope	Yes	Yes
R2 Side Boundary Envelope Exceptions	Yes	N/A
B5 Side Boundary Setbacks	Yes	Yes
Side Setbacks - R2	Yes	N/A
B7 Front Boundary Setbacks	Yes	N/A
R2 - All other land in R2 Zone	Yes	N/A
Front Boundary Exceptions - R2	Yes	N/A
All other land under R2	Yes	N/A
C2 Traffic, Access and Safety	Yes	Yes
C3 Parking Facilities	Yes	Yes
C4 Stormwater	Yes	Yes
C5 Erosion and Sedimentation	Yes	Yes
C7 Excavation and Landfill	Yes	Yes
C8 Demolition and Construction	Yes	Yes
C9 Waste Management	Yes	Yes
D1 Landscaped Open Space and Bushland Setting	Yes	Yes
D2 Private Open Space	Yes	Yes
D3 Noise	Yes	Yes
D6 Access to Sunlight	Yes	Yes
D7 Views	Yes	Yes
D8 Privacy	Yes	Yes
D9 Building Bulk	Yes	Yes
D10 Building Colours and Materials	Yes	Yes
D11 Roofs	Yes	Yes
D12 Glare and Reflection	Yes	Yes
D16 Swimming Pools and Spa Pools	Yes	Yes

D20 Safety and Security	Yes	Yes
D22 Conservation of Energy and Water	Yes	Yes
E1 Private Property Tree Management	Yes	Yes
E6 Retaining unique environmental features	Yes	Yes
E10 Landslip Risk	Yes	Yes

5.4. Section 4.15(1)(A)(iiia) – any planning agreement or draft planning agreement

There are no related matters for consideration in terms of a planning agreement or draft planning agreement.

5.5. Section 4.15(1)(A)(iv) – the regulations

The proposal is viewed sufficient to enable a proper evaluation to be carried out by Council under the planning regulations.

5.6. Section 4.15(1)(B) – the likely impacts of the development

There are no undesirable socio-economic impacts that will result from the alterations and additions to the existing dwelling house located on site.

It is our opinion there would be no undue impact upon the natural and built environment within the vicinity of the subject site as a result of the proposed works.

5.7. Section 4.15(1)(C) – the suitability of the site

The appearance of the dwelling from the rear building line would not cause unacceptable overlooking, overshadowing or visual impacts as a result of the works. From an architectural viewpoint, the works are suitably integrated.

The improvements result in a satisfactory level of residential amenity and complies with all other Council requirements.

5.8. Section 4.15(1)(D) – any submission made

Council will review any submissions made during the exhibition process.

5.9. Section 4.15(1)(e) – the public interest

Council will review any submissions made during the exhibition process and we welcome the opportunity to comment on any such submissions.

6. Conclusion and Recommendation

The main body of this report reviewed key planning considerations for a consent authority under the matters of consideration in Section 4.15 of the Environmental Planning and Assessment Act 1979.

The proposed development is permissible with consent and will not result in any significant adverse impacts on the adjoining parcels or the streetscape.

On this basis, it is recommended that the development proposal be approved subject to conditions.

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