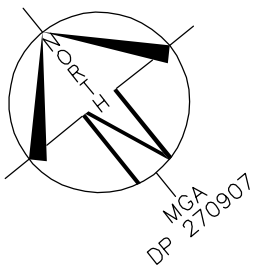


NORTH



- (I) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DP1206507)
- (M) EASEMENT FOR ACCESS AND MAINTENANCE PURPOSES 2.5 WIDE (VIDE DP1206507)
- (T) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390813)

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



LOT 22
D.P: 270907
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED IN ACCORDANCE WITH PITTWATER DCP 21 - D16

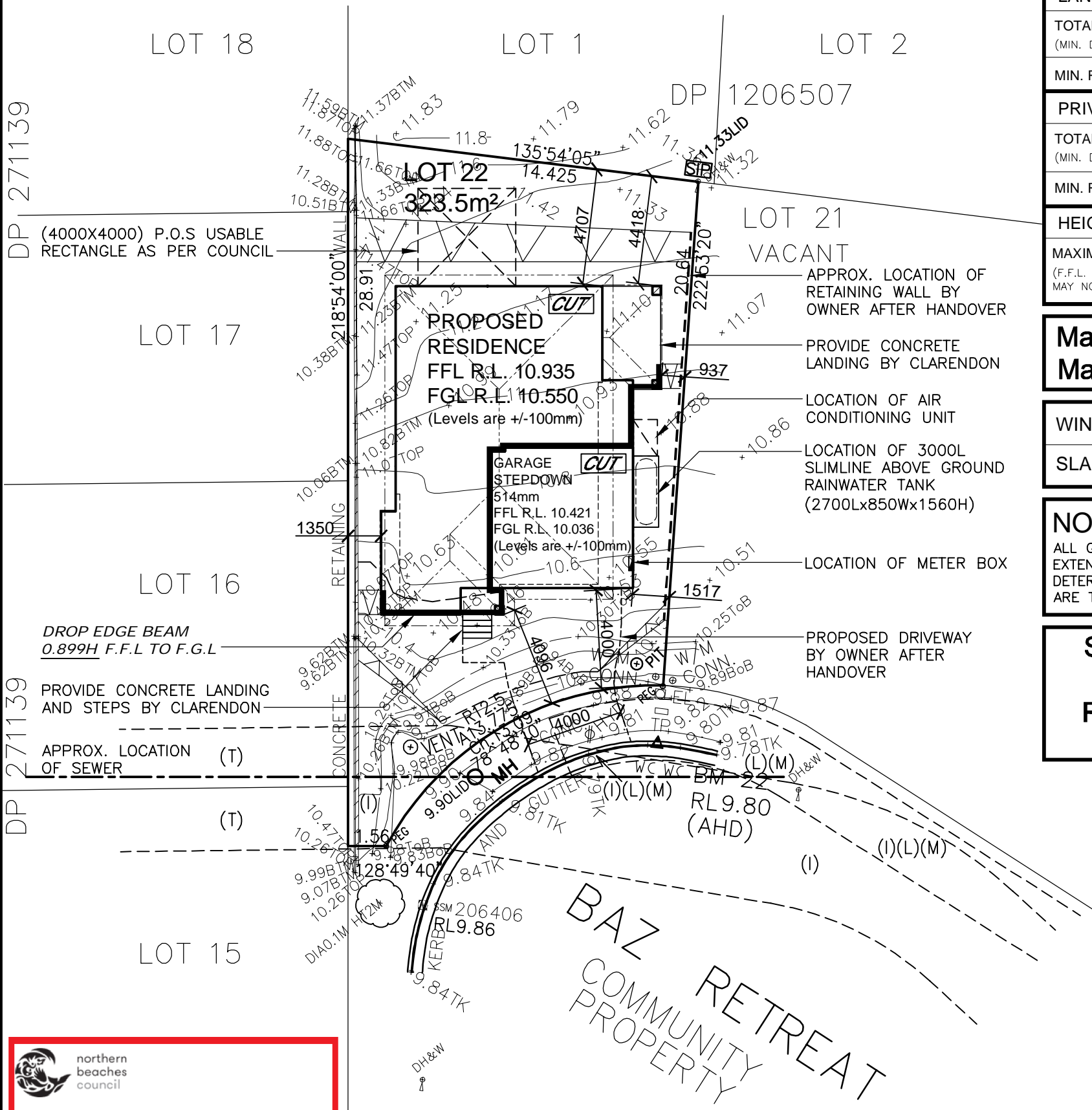
SITE AREA	323.5 m ²
ROOF AREA	145.8 m ²
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	102.1 m ²
(MIN. DIMENSION OF 4.0m)	31.6 %
MIN. REQUIRED BY COUNCIL:	35 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	72.9 m ²
(MIN. DIMENSION OF 4.0m)	
MIN. REQUIRED BY COUNCIL:	24 m ²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

Maximum 1000mm CUT
Maximum 1000mm FILL

WIND CLASSIFICATION: "- "
 SLAB CLASSIFICATION: "- "

NOTE:
 ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

STORMWATER TO STREET VIA RAINWATER TANK
 REFER TO HYDRAULIC DETAILS



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

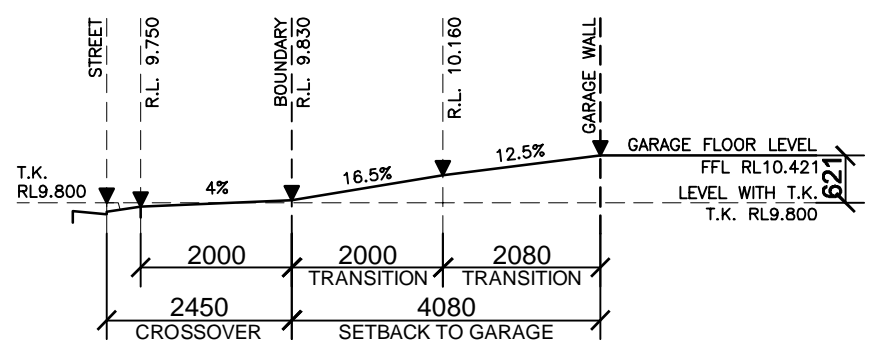
DA2020/1313

SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



DRIVEWAY GRADIENT PROFILE

SCALE-1:100

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706

Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

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 # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 25 MKII
 Classic
 R/H Garage

Evolution Specification

CLIENT:
 Mr. GOCK
 Mrs. GOCK

SITE ADDRESS:
 Lot 22 No.30 D.P:270907
 Baz Retreat
 WARRIEWOOD 2102

DA DRAWINGS		
DRAWN: BG	DATE: 26.03.20	Rev: E
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29914188	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

- ⊗ EXHAUST FAN
- SP STEEL POST
- TSP TELESCOPIC STEEL POST
- DP DOWN PIPE LOCATION
- TAP GARDEN TAP LOCATION
- ⓧ LIFT OFF HINGES

ARTICULATION JOINTS TO ENGINEERS DETAILS

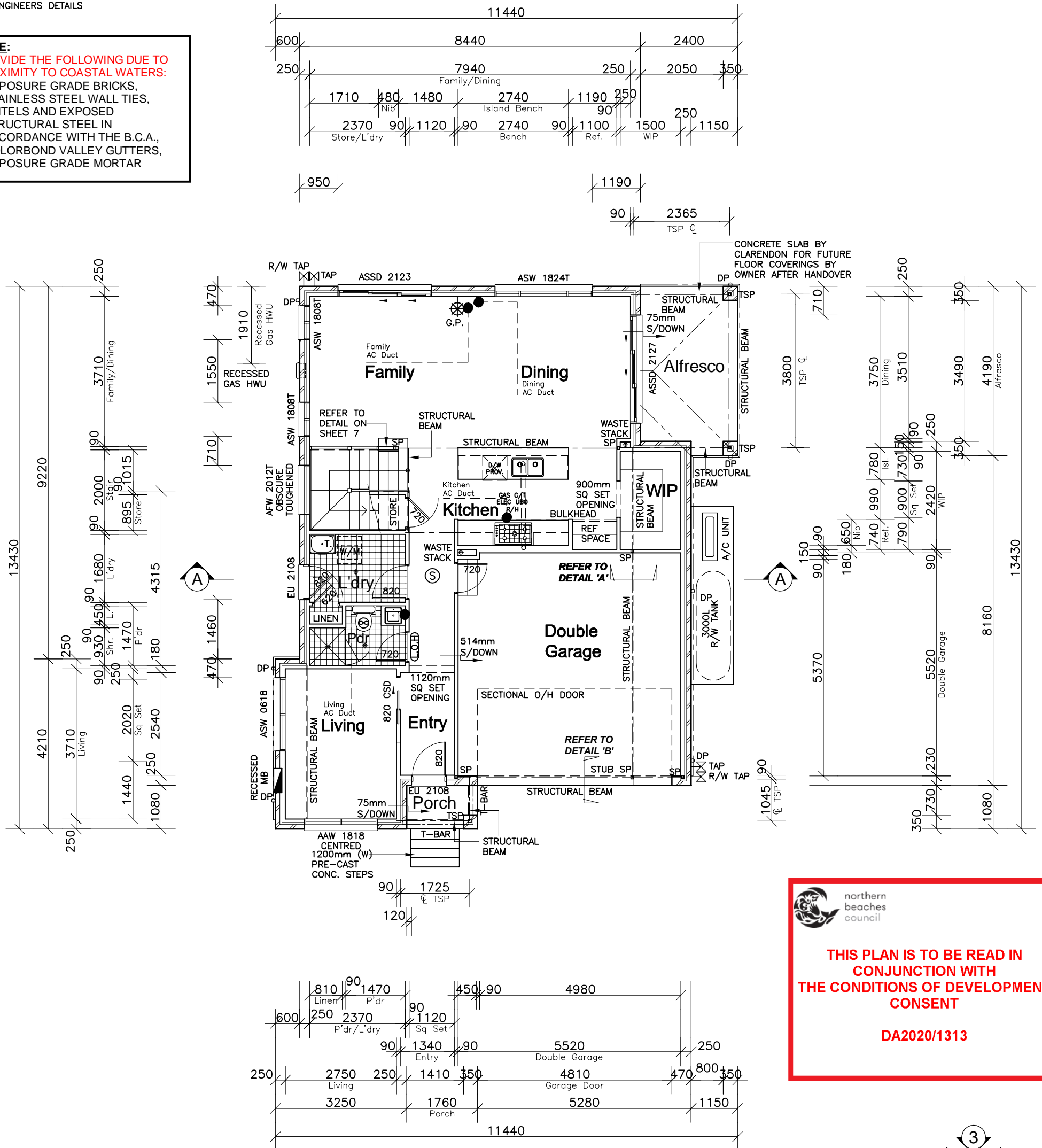
NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

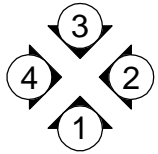
PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



NOTE:
PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:
* EXPOSURE GRADE BRICKS,
* STAINLESS STEEL WALL TIES,
* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
* COLORBOND VALLEY GUTTERS,
* EXPOSURE GRADE MORTAR



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2020/1313



GROUND FLOOR PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
BL No. 2298C
ABN 18 003 892 706
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
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Classic
R/H Garage
Evolution Specification

CLIENT:
Mr. GOCK
Mrs. GOCK
SITE ADDRESS:
Lot 22 No.30 D.P:270907
Baz Retreat
WARRIEWOOD 2102

DA DRAWINGS		
DRAWN: PG.	DATE: 08.05.20	Rev: E
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 3	JOB No: 29914188	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

DP ○ DOWN PIPE LOCATION

ⓐ LIFT OFF HINGES

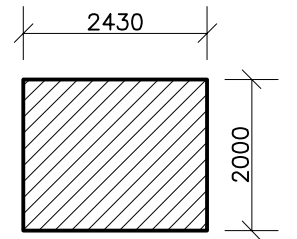
SP ○ STEEL POST

TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

NOTE:
PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:

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- * LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
- * COLORBOND VALLEY GUTTERS,
- * EXPOSURE GRADE MORTAR



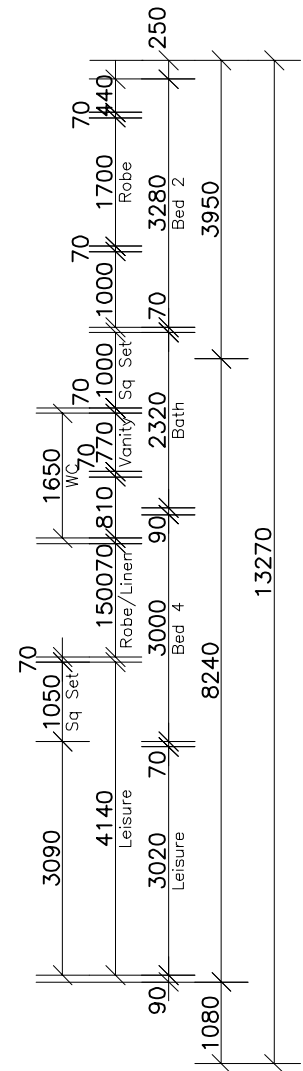
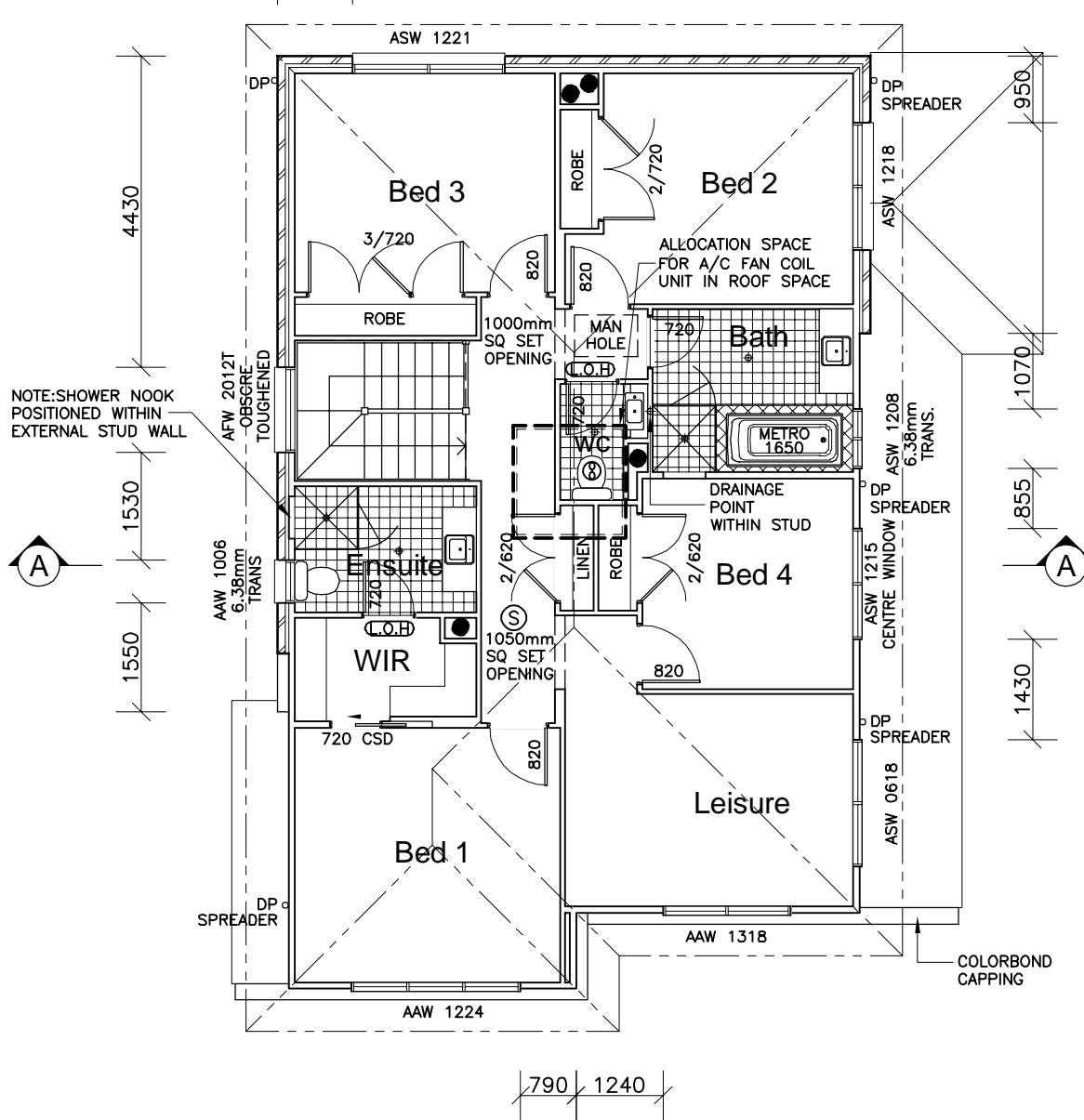
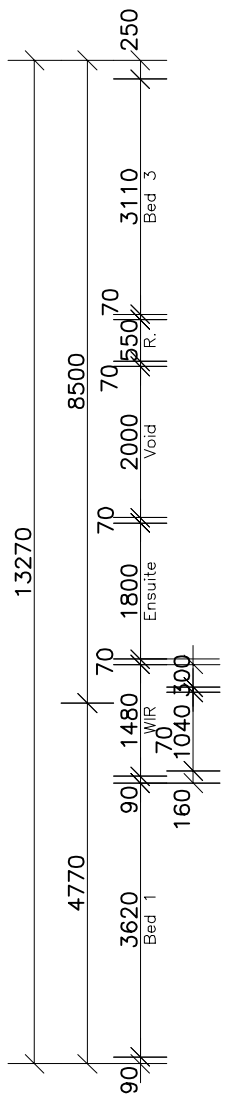
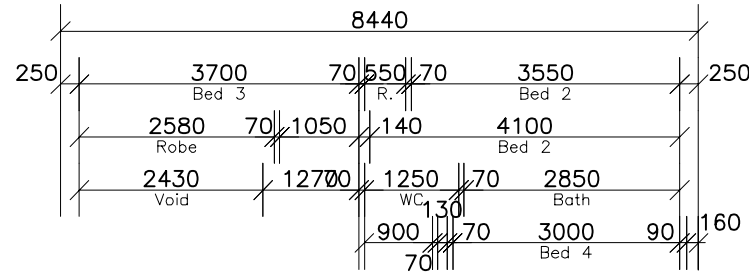
STAIR CUTOUT
SCALE 1:100

NOTE:
ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE:
SHOWER NOOK/RECESS REFER TO **CDN 54.240** & SHEET 10 FOR DETAILS

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

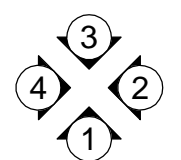
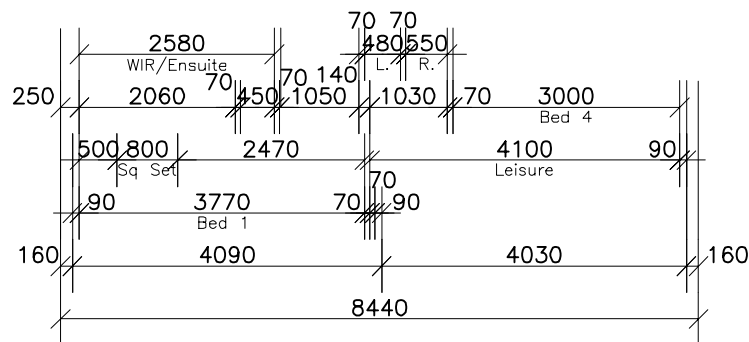


northern beaches council

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DA2020/1313

FIRST FLOOR PLAN



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.


PRODUCT:
BRONTE 25 MKII
Classic
R/H Garage
Evolution Specification

CLIENT:
Mr. GOCK
Mrs. GOCK

SITE ADDRESS:
Lot 22 No.30 D.P:270907
Baz Retreat
WARRIEWOOD 2102

DA DRAWINGS			
DRAWN: PG.	DATE: 08.05.20	Rev: E	
RATIO @ A3: 1:100	CHECKED: J.S		
SHEET: 4	JOB No: 29914188	NSW	

NOTE:
PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:
 * EXPOSURE GRADE BRICKS,
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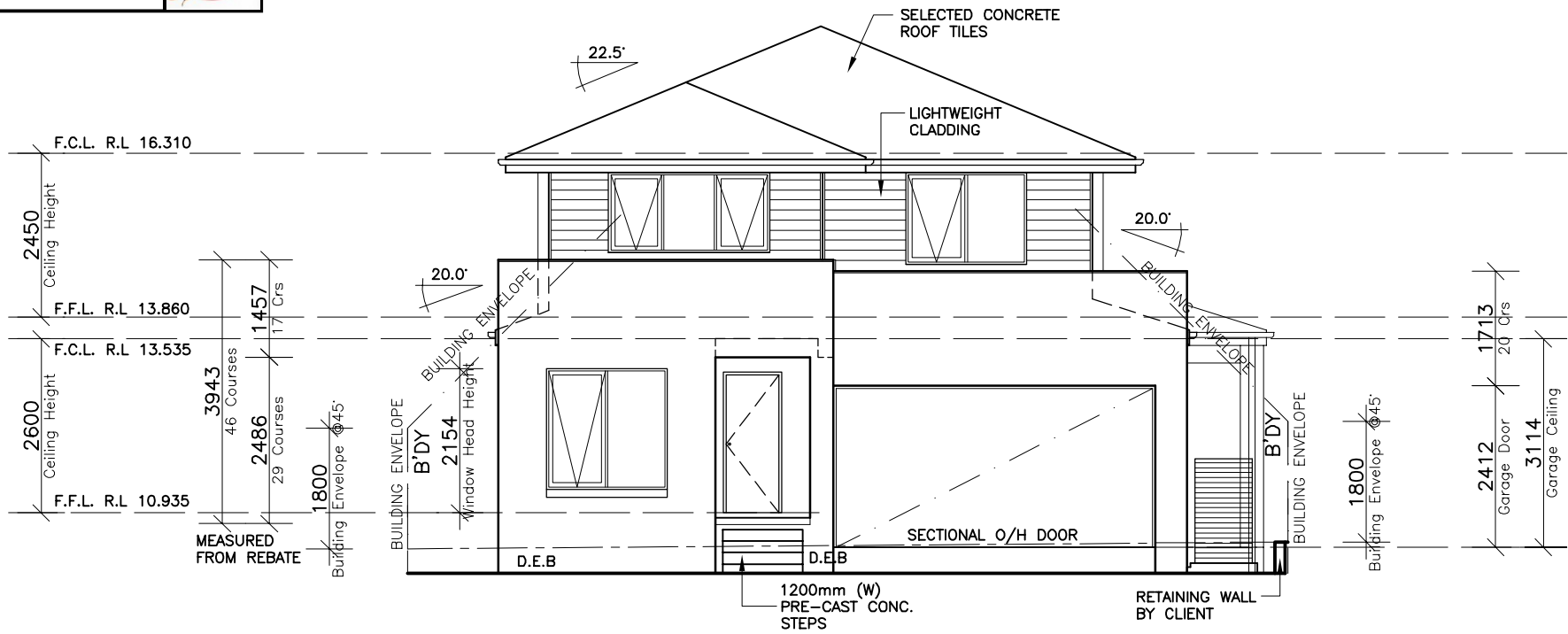
 DENOTES WINDOWS WITH 6.38mm TRANSLUCENT LAMINATED GLAZING

NOTES:
 FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

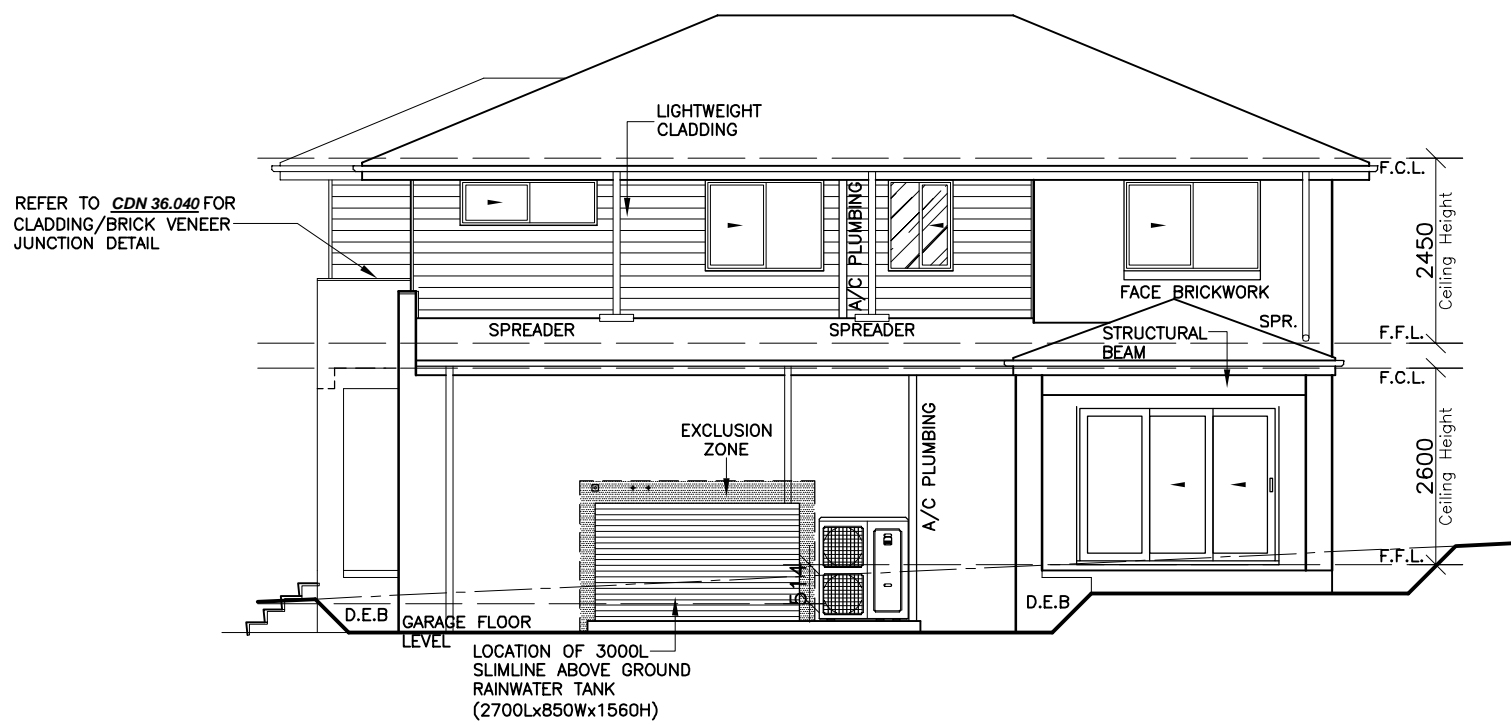
NOTE:
 HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:
 NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



**ELEVATION 1
 -SOUTH WEST-**



**ELEVATION 2
 -SOUTH EAST-**



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DA2020/1313

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
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 ABN 18 003 892 706
 Clarendon Homes (NSW) P/L
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Mrs. GOCK
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 Baz Retreat
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DA DRAWINGS		
DRAWN: PG.	DATE: 08.05.20	Rev: E
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29914188	NSW

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- * EXPOSURE GRADE MORTAR

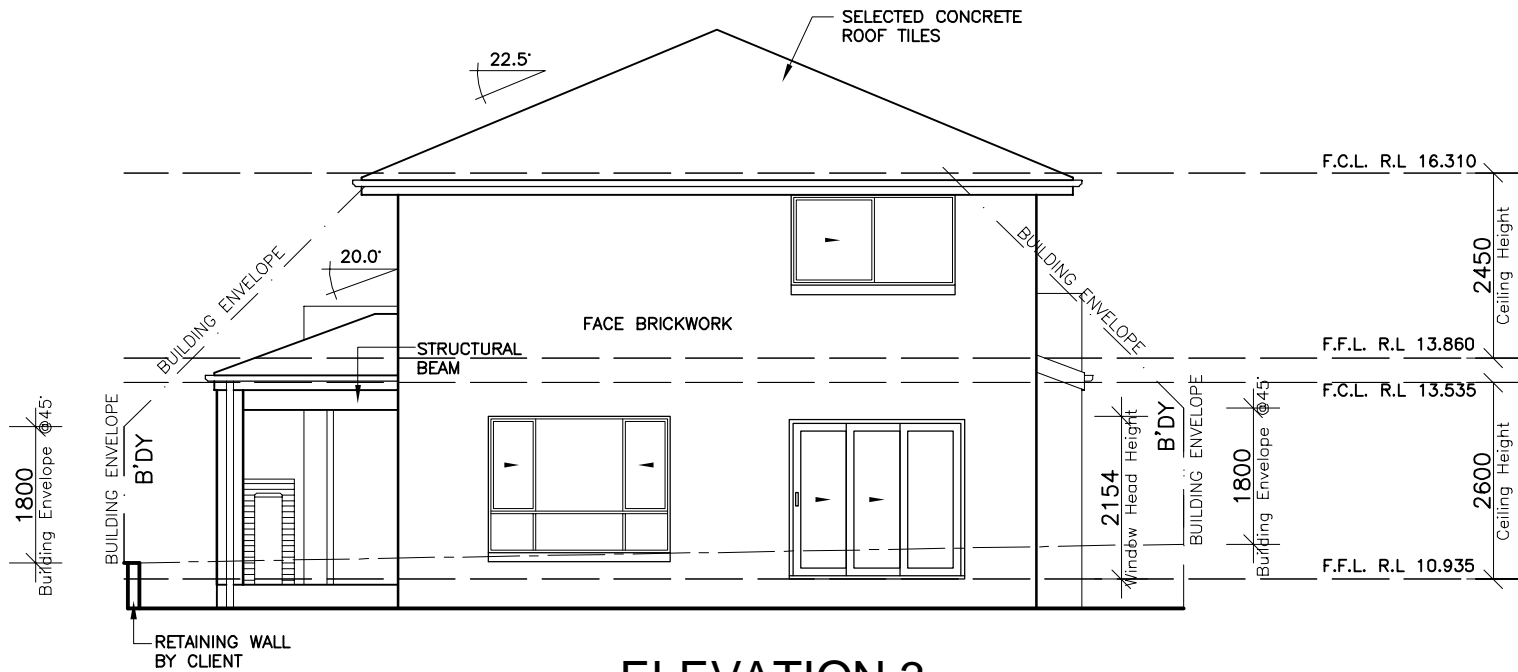
 DENOTES WINDOWS WITH 6.38mm TRANSLUCENT LAMINATED GLAZING

NOTES:
 FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

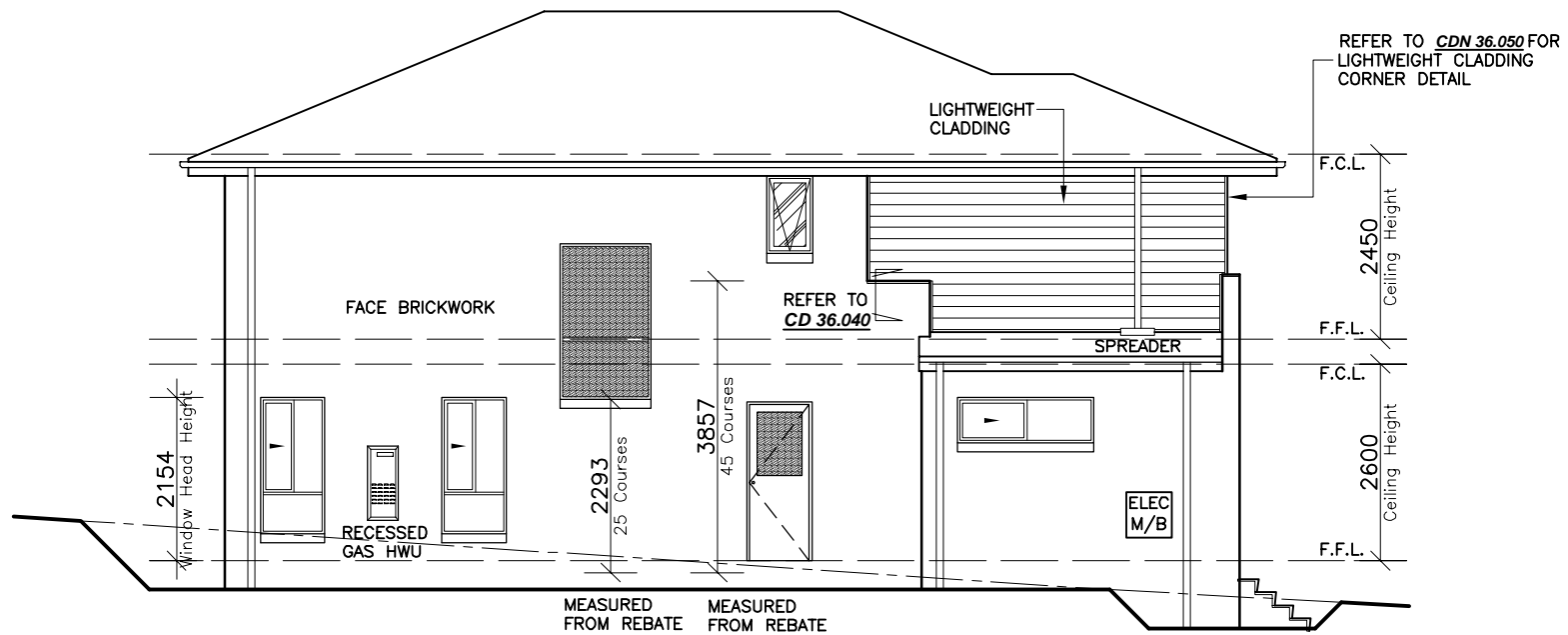
NOTE:
 HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:
 NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



**ELEVATION 3
 -NORTH EAST-**



**ELEVATION 4
 -NORTH WEST-**



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DA2020/1313

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 Baz Retreat
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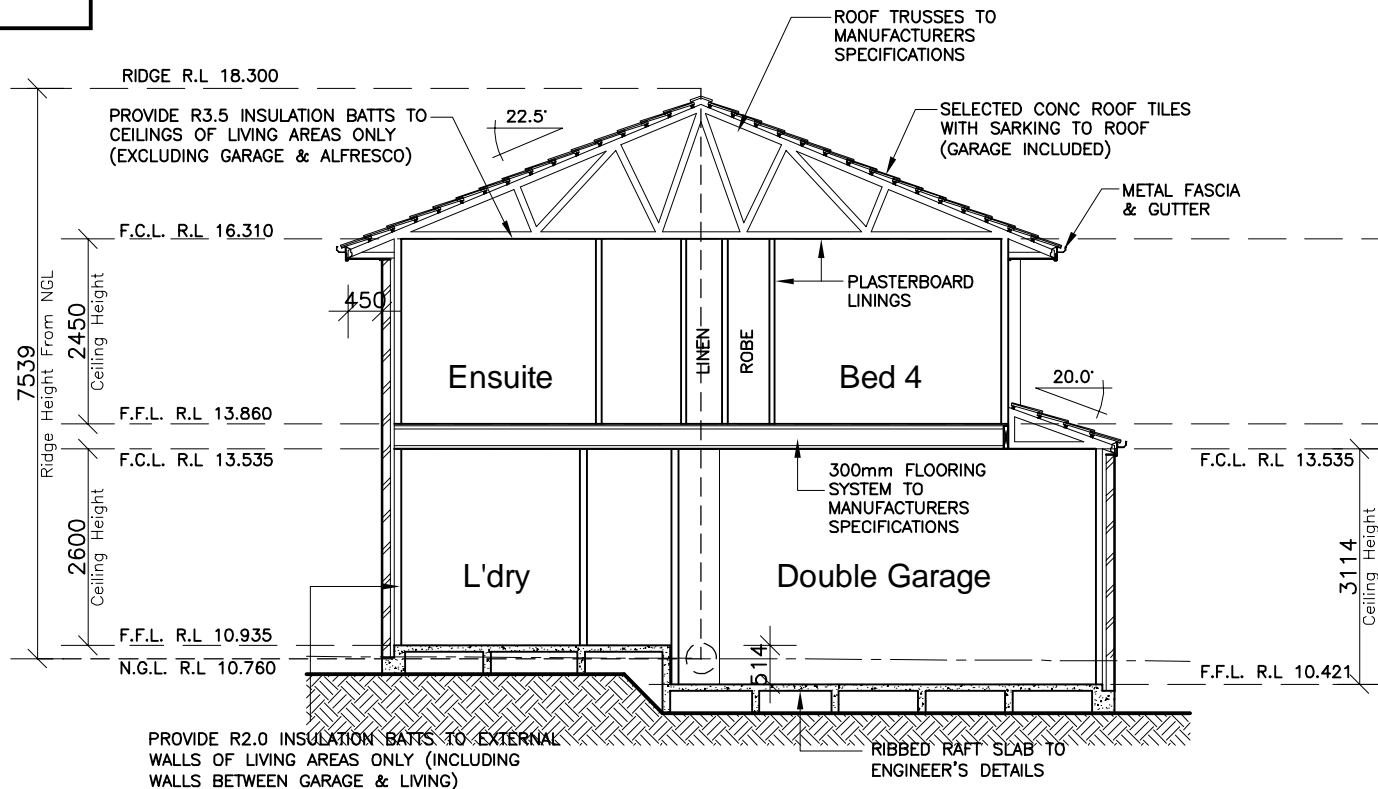
DA DRAWINGS

DRAWN: PG.	DATE: 08.05.20	Rev: E
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 29914188	NSW

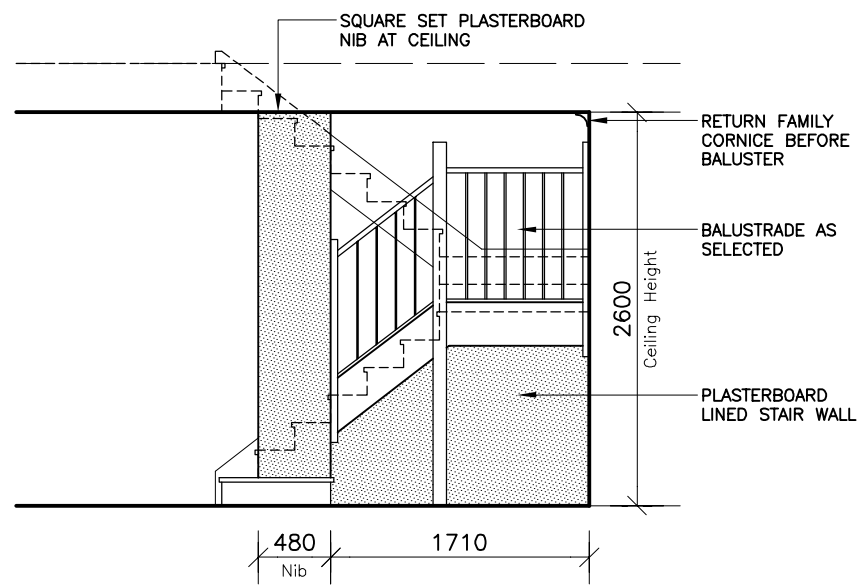
NOTE:
 PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:
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 * COLORBOND VALLEY GUTTERS,
 * EXPOSURE GRADE MORTAR

PROVIDE R3.5 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



SECTION A-A.



STAIR ELEVATION

VIEWED FROM FAMILY
 SCALE 1:50



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DA2020/1313

CLIENT'S SIGNATURE: _____ DATE: _____

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 Lot 22 No.30 D.P:270907
 Baz Retreat
 WARRIEWOOD 2102

DA DRAWINGS

DRAWN: PG.	DATE: 08.05.20	Rev: E
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 7	JOB No: 29914188	NSW