

NORTHERN BEACHES
BASED ON
PITTWATER DCP 2014

SITE AREA: 828.30 SQM

PROPOSED ROOF COVERAGE
ROOF COVERAGE AREA: 253.20 SQM

LANDSCAPED AREA
TOTAL LANDSCAPED AREA: 524.20 SQM
EXCL. ALL HARD SURFACES 63.3 %

MIN. REQUIRED BY COUNCIL: 60 %

PRIVATE OPEN SPACE
PRIVATE OPEN SPACE: 314.24 SQM
37.9 %

MIN. REQUIRED BY COUNCIL: 80.00 SQM
MINIMUM DIMENSION OF 3.0M

STORMWATER CALCULATION
HARD LANDSCAPE AREAS: 330.3 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)

SITE COVERAGE RATIO: 39.8 %

MAX. ALLOWABLE SITE COVERAGE
PRIOR TO O.S.D. REQUIRED: 40 %
(MAX. 250 SQM)

BUILDING HEIGHT RESTRICTION
MAXIMUM 8.5M RIDGE HEIGHT
MAXIMUM 6.5M WALL HEIGHT
(F.F.L. MUST BE ACCURATE TO COMPLY)

MAXIMUM 1000 MM CUT
MAXIMUM 1000MM FILL
NO EXCAVATION OR FILL WITHIN 900MM OF
ANY BOUNDARY

DEMOLITION REQUIREMENTS:
SITE TO BE CLEARED OF ALL EXISTING
STRUCTURES, LEVELLED AND ALL SERVICES
RELOCATED BY THE OWNER TO THE SATISFACTION
OF METRICON HOMES P/L.

EXISTING TREES TO BE
LOPPED/REMOVED BY OWNER

TREE REMOVAL REQUIREMENTS:
SITE TO BE CLEARED BY OWNER OF ANY EXISTING
TREES AND/OR PRUNE TREES WHICH WILL EFFECT
THE BUILDING AREA PRIOR TO CONSTRUCTION
IT IS THE RESPONSIBILITY OF THE OWNER TO
OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED

SURVEYORS NOTES
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR
PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT
PROPERTY HAVE NOT BEEN INVESTIGATED AND THE
POSITION SHOWN IS APPROXIMATE ONLY.
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL
EVIDENCE APPARENT AT THE TIME OF SURVEY. THE
RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED
TO VERIFY THE EXISTENCE AND POSITION OF ALL
SERVICES PRIOR TO THE COMMENCEMENT OF ANY
CONSTRUCTION OR EXCAVATION.
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY
ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES
TO BE RELIED ON FOR REDUCED LEVELS ON
PARTICULAR FEATURES

EXISTING TREES TO BE
LOPPED/REMOVED BY OWNER

TREE REMOVAL REQUIREMENTS:
SITE TO BE CLEARED BY OWNER OF ANY EXISTING
TREES AND/OR PRUNE TREES WHICH WILL EFFECT
THE BUILDING AREA PRIOR TO CONSTRUCTION
IT IS THE RESPONSIBILITY OF THE OWNER TO
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CONSENT

DA2019/0575

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER
HANDOVER

APPROX. LOCATION OF
HOT WATER UNIT
BY METRICON

APPROX. LOCATION OF
AIR-CONDITIONING UNIT

The main site plan shows a residential development on Lot 12. The building footprint is a rectangular structure with a main house and an attached garage. The main house has a footprint of 828.3m² by DP and 834.2m² by CALC. The garage is 75m wide with a 5mm stepdown. The plan includes a driveway, a retaining wall, and a hot water unit. Various annotations include 'AREA TO BE KEPT CLEAR OF SERVICES FOR POOL BY OWNER', 'EXISTING TREES TO BE REMOVED', 'PROVIDE CONCRETE LANDING BY METRICON', 'LOCATION OF 3000L SLIMLINE ABOVE GROUND RAINWATER TANK', 'PROVIDE CONCRETE LANDING BY METRICON', 'PLAIN CONCRETE DRIVEWAY AND ENTRY PATH BY METRICON', and 'PLAIN CONCRETE CROSSOVER BY METRICON'. The plan also shows existing trees to be lopped/removed by the owner and a tree removal requirements section. The plan is based on Northern Beaches Council's Pittwater DCP 2014. The site area is 828.30 SQM, the proposed roof coverage area is 253.20 SQM, and the landscaped area is 524.20 SQM. The site coverage ratio is 39.8%. The maximum allowable site coverage prior to O.S.D. required is 40% (max. 250 SQM). The building height restriction is a maximum 8.5m ridge height and a maximum 6.5m wall height. The maximum cut is 1000mm and the maximum fill is 1000mm. The plan also includes a demolition requirements section and a surveyors notes section.

NORTH

MGA

LOT NO:
12

DEPOSITED PLAN:
25461

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS: M

WIND SPEED: N1

EXCAVATION NOTES:
50MM (+/-) TOLERANCE TO NOMINATED RL'S
EXCAVATE APPROX. 450MM ON RL. 138.850
AND FILL APPROX. 550MM
EXCAVATIONS ARE TO START A MINIMUM OF
1000MM FROM THE EDGE OF THE BUILDING
AND ARE TO BE BATTERED BACK TO SUIT
IT IS THE RESPONSIBILITY OF THE
OWNER TO PROVIDE A GRATED DRAIN
ACROSS GARAGE OPENINGS (IF REQUIRED)
DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL
& NOT TO BE USED BY ANY OTHER CONTRACTORS
OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO
STREET GUTTER
VIA RAINWATER TANK(S)
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES
(AS REQUIRED)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

SURVEY LEGEND
GULLY PIT
HYD HYDRANT
SIP SURFACE INLET PIT
SIC SEWER INSPECTION COVER
SMH SEWER MANHOLE
W/M WATER METER
E/L ELECTRICITY BOX
SMH STORMWATER MANHOLE
TP TELSTRA PIT
SEWER LINE
VEHICLE CROSSING
SV STOP VALVE
DEEP EDGE BEAM
GM GAS METER
LP LIGHT POLE
INV INVERT
TK TOP OF KERB
KO KERB OUTLET

ASPECT SURVEY DATE: 04.03.19
CONTOUR INTERVALS: 200MM
LEVELS TO AHD.
SITE PLAN
m
metricon
Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153
P.O. Box 7510, Norwest Business Park NSW 2153
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MRS COFFEE & MR WILSON
LOT 12, NO.8 BILKURRA AVENUE
BILGOLA PLATEAU
JOB No. 700938
DATE: 20.03.2019 DRAWN: PG
SCALE: 1:250 SHEET: 1 OF 11
UBD REF: SYD 5#123045

Revision E
Date: 19.08.2019

SCALE 1:250

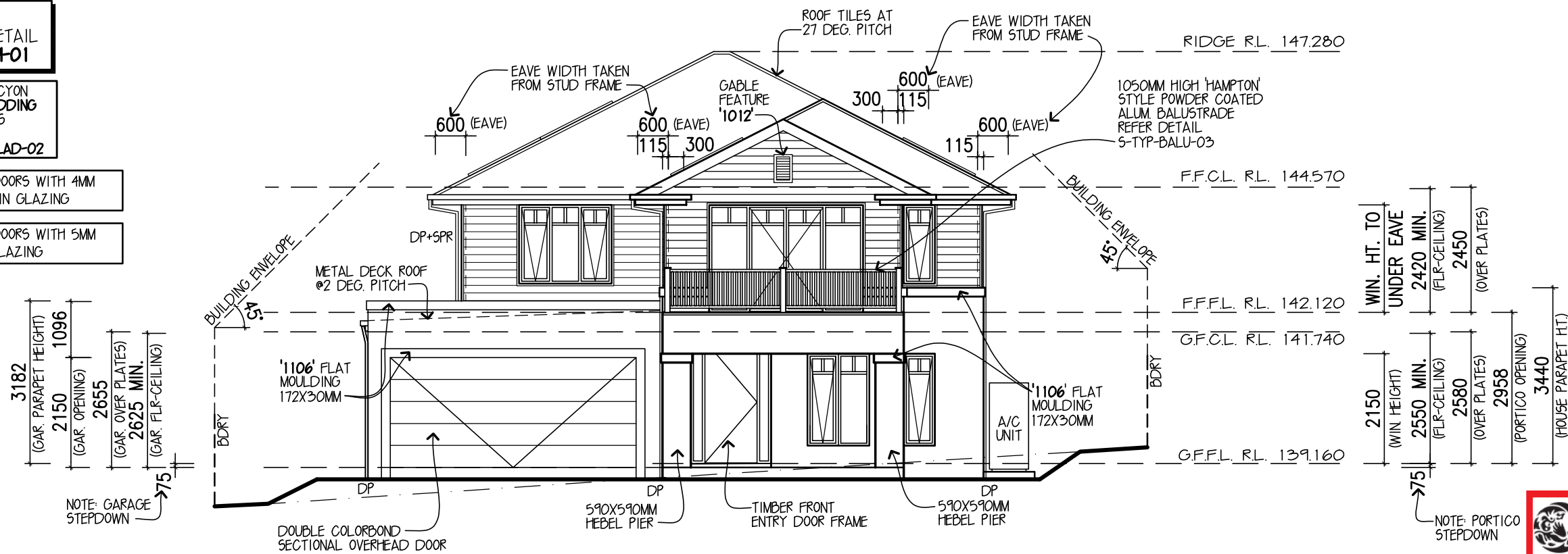
DRIVEWAY GRADIENT PROFILE
SCALE - 1:250

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. **S-TYP-STAM-01**

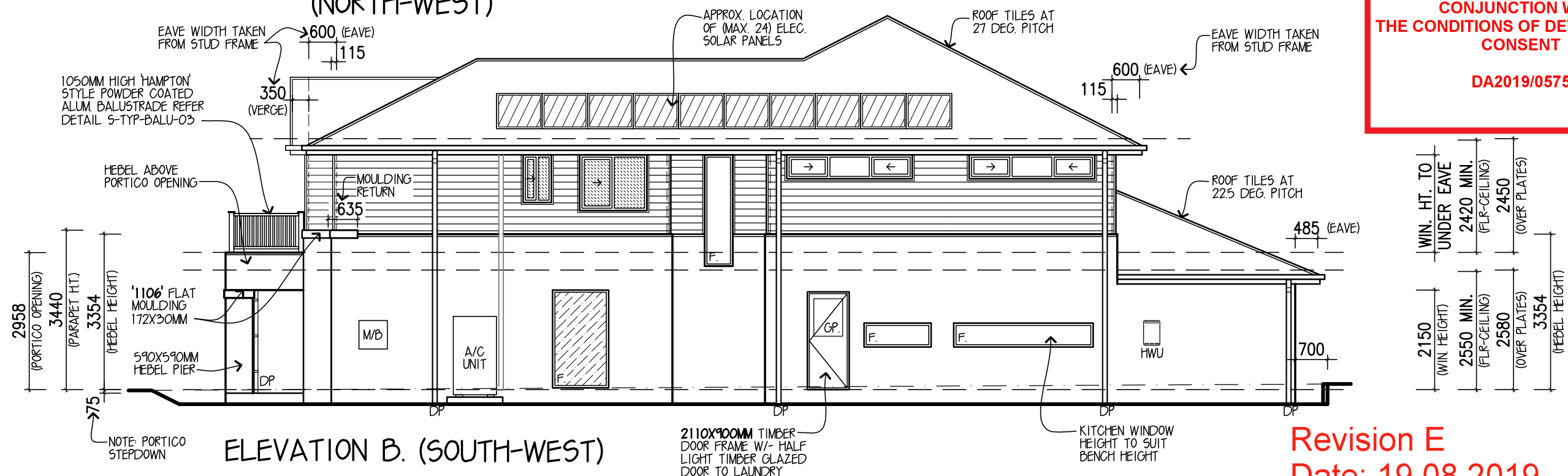
PROVIDE JAMES HARDIES SCYON
LINEA WEATHERBOARD CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: **S-TYP-CLAD-02**

 DENOTES WINDOWS/DOORS WITH 4MM
OBSCURE DECOR SATIN GLAZING

 DENOTES WINDOWS/DOORS WITH 5MM
CLEAR TOUGHENED GLAZING



**ELEVATION A.
(NORTH-WEST)**



ELEVATION B. (SOUTH-WEST)







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CONSENT**

DA2019/0575

Revision E
Date: 19.08.2019

SYMBOL LEGEND

	RECESSED ELECTRICITY METER BOX		ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
	DOWNPIPE W/- RAINWATER HEAD		
	ROTATING ROOF VENTILATOR		

DESIGN: **HAMPSHIRE 40**
FACADE: **STAMFORD** CEILING: **25, L**
GARAGE: **DOUBLE**

DESIGNER



OWNER: **MRS COFFEE & MR WILSON**
LOT 12, NO.8 BILKURRA AVENUE
BILGOLA PLATEAU

ELEVATIONS

BY **METRICON**

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JOB No: **700938** DATE: **20.03.2019**

FC DATE: **DD.MM.YYYY** MST VER: **15.01.2019**

SCALE: **1:100 ON A3 SHEET** REVISION: **E**

DRAWN: **PG** CHECK: **CWK** SHEET: **4 of 11**

PROVIDE JAMES HARDIES SCYON
LINEA WEATHERBOARD CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: S-TYP-CLAD-02

DENOTES WINDOWS/DOORS WITH 4MM
OBSCURE DECOR SATIN GLAZING

RIDGE R.L. 147.280

F.F.C.L. R.L. 144.570

F.F.F.L. R.L. 142.120

G.F.C.L. R.L. 141.740

G.F.F.L. R.L. 139.160

3354 (HEBEL HEIGHT)
2580 (OVER PLATES)
2420 MIN. (FLR-CEILING)
2450 (OVER PLATES)
2420 MIN. (FLR-CEILING)
WIN. HT. TO UNDER EAVE

EAVE WIDTH TAKEN FROM STUD FRAME
600 (EAVE)
115

ROOF TILES AT 27 DEG. PITCH

EAVE WIDTH TAKEN FROM STUD FRAME
600 (EAVE)
115

METAL DECK ROOF
MIN 2 DEG. PITCH

ROOF TILES AT 22.5 DEG. PITCH

OUTDOOR ROOM BEAM
(REFER ENGINEERING)

BDRY

A/C UNIT

RETAINING WALL BY
OWNER AFTER HANDOVER
700

ALUM. STACKER SLIDING
DOOR W/- DECAL

710X470MM
HEBEL PIER

2110MM X 900MM
(TIMBER DOOR FRAME)

2625 MIN. (GAR. FLR-CEILING)
2655 (GAR. OVERPLATES)
3354 (HEBEL HEIGHT)
75

NOTE: OUTDOOR &
GARAGE STEPDOWN

ELEVATION C. (SOUTH-EAST)

ROOF TILES AT 27 DEG. PITCH

APPROX. LOCATION
OF (MAX. 24) ELEC.
SOLAR PANELS

EAVE WIDTH TAKEN FROM STUD FRAME
600 (EAVE)
115

APPROX. LOCATION
OF (MAX. 24) ELEC.
SOLAR PANELS

350 (VERGE)
VERGE WIDTH TAKEN FROM STUD FRAME

EAVE WIDTH TAKEN FROM STUD FRAME
600 (EAVE)
115

OUTDOOR ROOM BEAM
(REFER ENGINEERING)

ROOF TILES AT 22.5 DEG. PITCH
485 (EAVE)

3354 (HEBEL HEIGHT)
2580 (OVER PLATES)
2420 MIN. (FLR-CEILING)
2150 (WIN. HEIGHT)
2450 (OVER PLATES)
2420 MIN. (FLR-CEILING)
WIN. HT. TO UNDER EAVE

1050MM HIGH 'HAMPTON'
STYLE POWDER COATED
ALUM. BALUSTRADE REFER
DETAIL S-TYP-BALU-03

HEBEL ABOVE
PORTICO OPENING

DP W/-
SPREADER

METAL DECK ROOF
2 DEG. PITCH

'1106' FLAT
MOULDING
172X30MM

590X590MM
HEBEL PIER

1320X590MM
HEBEL NIB

2625 MIN. (GAR. FLR-CEILING)
2655 (GAR. OVERPLATES)
3182 (GAR. PARAPET HEIGHT)
2958 (PORTICO OPENING)
3440 (FACADE PARAPET HEBEL HT.)
75

NOTE: PORTICO &
GARAGE STEPDOWN

ELEVATION D. (NORTH-EAST)

ROOF TILES AT 27 DEG. PITCH

APPROX. LOCATION
OF (MAX. 24) ELEC.
SOLAR PANELS

EAVE WIDTH TAKEN FROM STUD FRAME
600 (EAVE)
115

APPROX. LOCATION
OF (MAX. 24) ELEC.
SOLAR PANELS

OUTDOOR ROOM BEAM
(REFER ENGINEERING)

ROOF TILES AT 22.5 DEG. PITCH
485 (EAVE)

3354 (HEBEL HEIGHT)
2580 (OVER PLATES)
2420 MIN. (FLR-CEILING)
2150 (WIN. HEIGHT)
2450 (OVER PLATES)
2420 MIN. (FLR-CEILING)
WIN. HT. TO UNDER EAVE

'1106' FLAT
MOULDING
172X30MM

590X590MM
HEBEL PIER

1320X590MM
HEBEL NIB

2625 MIN. (GAR. FLR-CEILING)
2655 (GAR. OVERPLATES)
3182 (GAR. PARAPET HEIGHT)
2958 (PORTICO OPENING)
3440 (FACADE PARAPET HEBEL HT.)
75

NOTE: PORTICO &
GARAGE STEPDOWN

SYMBOL LEGEND

M/B	RECESSED ELECTRICITY METER BOX	AJ	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
RWH	DOWNPIPE W/- RAINWATER HEAD		
DP	ROTATING ROOF VENTILATOR		

DESIGN: HAMPSHIRE 40

FACADE: STAMFORD CEILING: 25, L

GARAGE: DOUBLE

ELEVATIONS

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DESIGNER



BY METRICON

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SCALE: 1:100 ON A3 SHEET REVISION: E

DRAWN: PG CHECK: CWK SHEET: 5 of 11