

(H): EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE

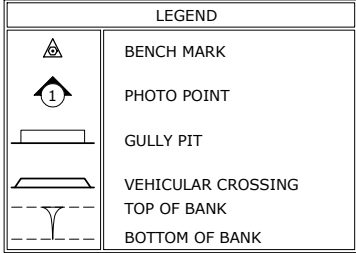
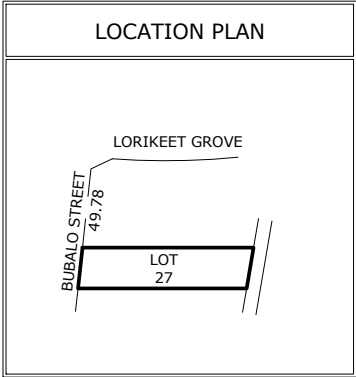
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OF RAWSON HOMES PTY LTD-ACN 053 733 841

SITE NOTES:

- BEFORE STARTING WORK ON SITE CHECK FOLLOWING:
1. SERVICE LOCATIONS
 2. SEWER CONNECTION POSITION
 3. DRIVEWAY ALIGNMENT & LEVELS
- "N2 WIND CATEGORY"
dp indicates DOWNPIPE LOCATION

NOTE: POOL OR EXCAVATION COVER (NEW OR EXISTING): IN ACCORDANCE WITH SECTION 5.4.1 POOLS, OF THE RAWSON GROUP WHS SAFETY MANAGEMENT PLAN 2019.2020, THE OWNER MUST MEET, INSTALL AND MAINTAIN FOR THE DURATION OF CONSTRUCTION THE FOLLOWING REQUIREMENTS: (REFER TO TENDER VARIATION 4, ITEM 1-7 FOR DETAILS

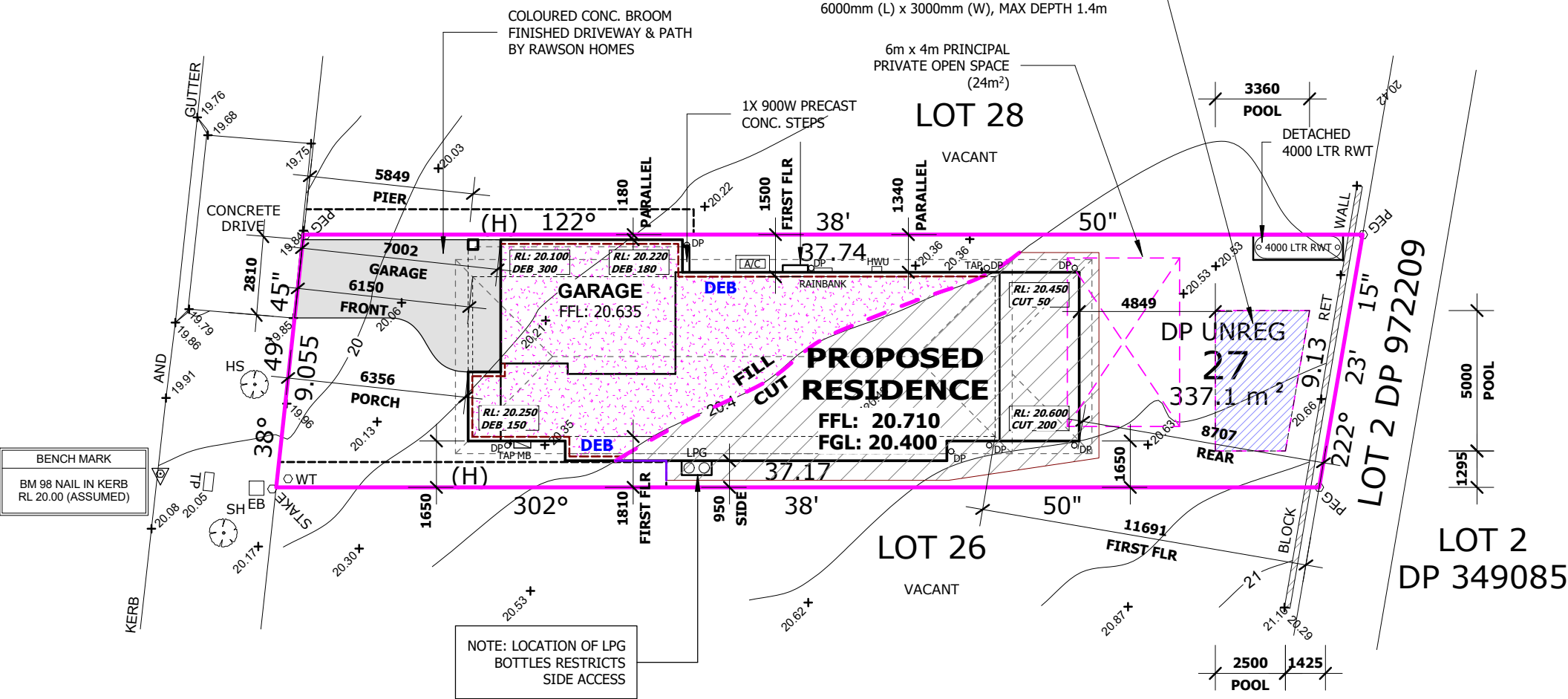
SERVICE FREE AREA ON SITE PLAN FOR POOL BY OWNER PRIOR TO CONSTRUCTION APPROX. 6000mm (L) x 3000mm (W), MAX DEPTH 1.4m



ABBREVIATIONS

EB - ELECTRICAL BOX
EM - ELECTRICAL METER
GM - GAS METER
H - HYDRANT
R - HYDRANT RECYCLED
KO - KERB OUTLET
LP - LIGHT POLE
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WM - WATER METER
WMR - WATER METER RECYCLED
WC, GC, EC, TC - SERVICE CONDUIT
W/C - WATER CLOSET

BUBALO STREET



NOTE:
DRIVEWAY & FRONT
PATH TO COMPLY WITH
AS2890

NOTE:
RAWSON HOMES TO
PROVIDE IMPORT OF FILL



- WARNING -
UNREGISTERED PLAN

1) THIS CONTOUR AND DETAIL SURVEY IS BASED UPON AN UNREGISTERED PLAN.

2) ALL BOUNDARIES AND EASEMENTS ARE UNREGISTERED AND MAY BE AMENDED TO SUIT THE REQUIREMENTS OF COUNCIL OR THE LAND TITLES OFFICE.

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500mm FALL ACROSS BUILDING ENVELOPE

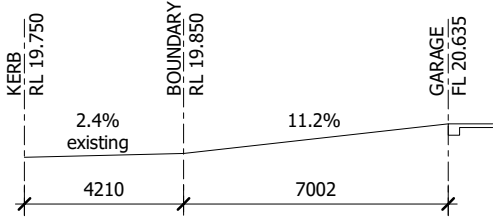
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NOTE

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POSSIBLE BAS



DRIVEWAY GRADIENT

SCALE: 1 : 200

SITE CALCULATIONS DA

GROUND FLOOR	94.71	m²
FIRST FLOOR	105.95	m²
TOTAL LIVING AREA	200.66	m²
SITE AREA	337.10	m²
BUILDING FOOTPRINT	143.82	m²
DRIVEWAY & PATH	24.97	m²
TOTAL LANDSCAPE AREA	168.31	m²
LANDSCAPE AREA (%)	50	%
FRONT LANDSCAPE (%)	62.68	%
FLOOR SPACE RATIO	0.60	:1
SITE COVERAGE	42.66	%
LANDSCAPE AREA (4m)	35.17	%

NOTES:

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- * ALL DIMENSIONS ARE IN MILLIMETRES
- * DO NOT SCALE - USE WRITTEN DIMENSIONS
- * ALL DIMENSIONS ARE TO STRUCTURAL FRAMES ONLY EXCLUDING FINISHED SURFACES

RAWSON HOMES
1 HOMEBUSH BAY DRIVE, BLDG. F
LEVEL 2, SUITE 1
RHODES NSW 2138
TELEPHONE 02 8765 5500
FAX 02 8765 8099
Builder's licence No. 33493C

CLIENT:
MR. M. GEORG & MRS. T. OSTERMAIER

SITE ADDRESS:
LOT 27, DP UNREG
BUBALO STREET
WARRIEWOOD

HOUSE TYPE
MODEL: ELLERSTON 26 MKII
FACADE: CLASSIC
TYPE: SINGLE GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
SITE PLAN

DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION
MTT 19.11.19 MTT

COUNCIL AREA: SCALE:
NORTHERN BEACHES 1 : 200

JOB No: DRWG No: ISSUE:
A009172 02 B

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RS)

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DRAWING TITLE:
ELEVATIONS 1-2

JOB No: A009172	DRWG No: 05	ISSUE: B
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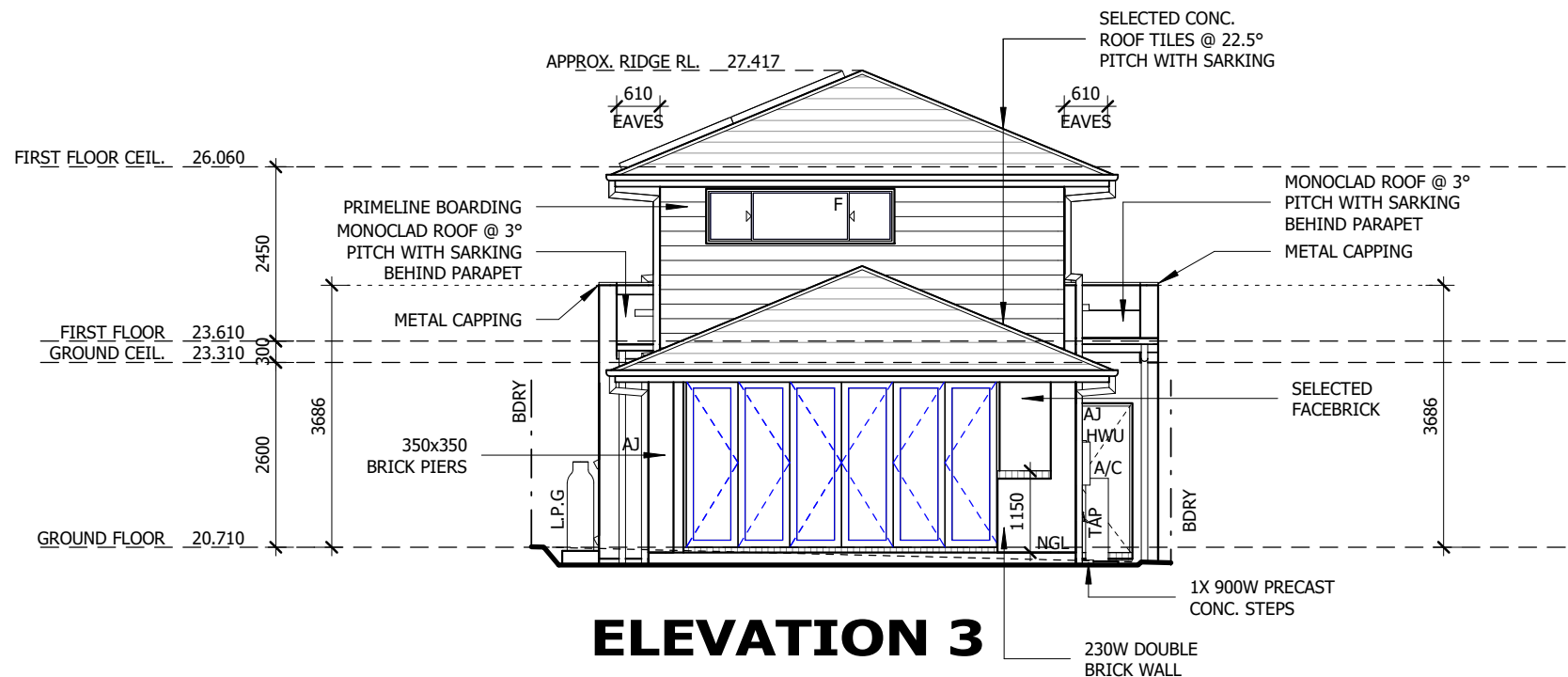
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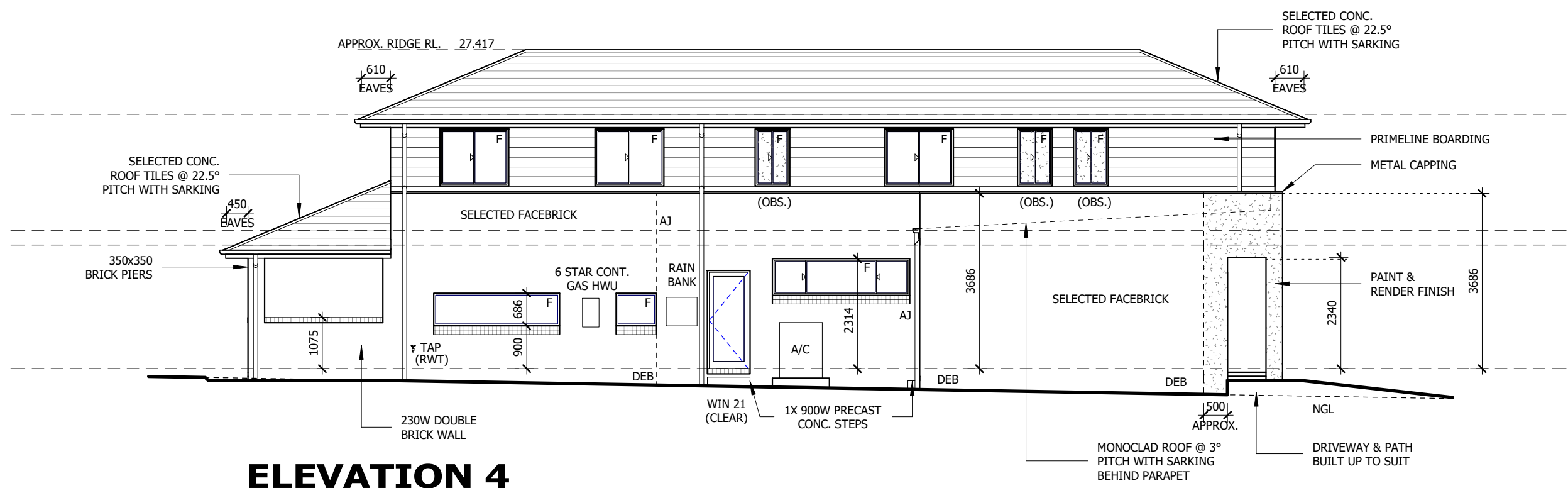
NYLON MESH FLYSCREENS TO ALL OPENING WINDOWS,
SLIDING AND STACKER DOORS (EXCLUDING HINGED DOORS)

PROVIDE WINDOW FRAME & FLYSCREENS
COLOUR IN ANODIC NATURAL MALT

PROVIDE COLORBOND 'ULTRA' RATING
TO FASCIA & GUTTERS



ELEVATION 3



ELEVATION 4

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SITE ADDRESS:
LOT 27, DP UNREG
BUBALO STREET
WARRIEWOOD

HOUSE TYPE
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FACADE: CLASSIC
TYPE: SINGLE GARAGE
SPECIFICATION: LUX

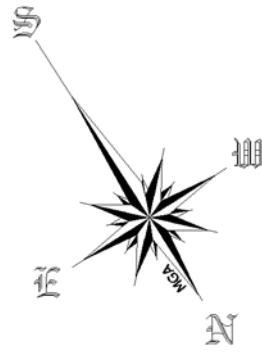
DRAWING TITLE:
ELEVATIONS 3-4

DRAWN BY: MTT	DATE DRAWN: 19.11.19	CHECKED BY: MTT	APPROVED FOR CONSTRUCTION
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1 : 100	
JOB No: A009172		DRWG No: 06	ISSUE: B

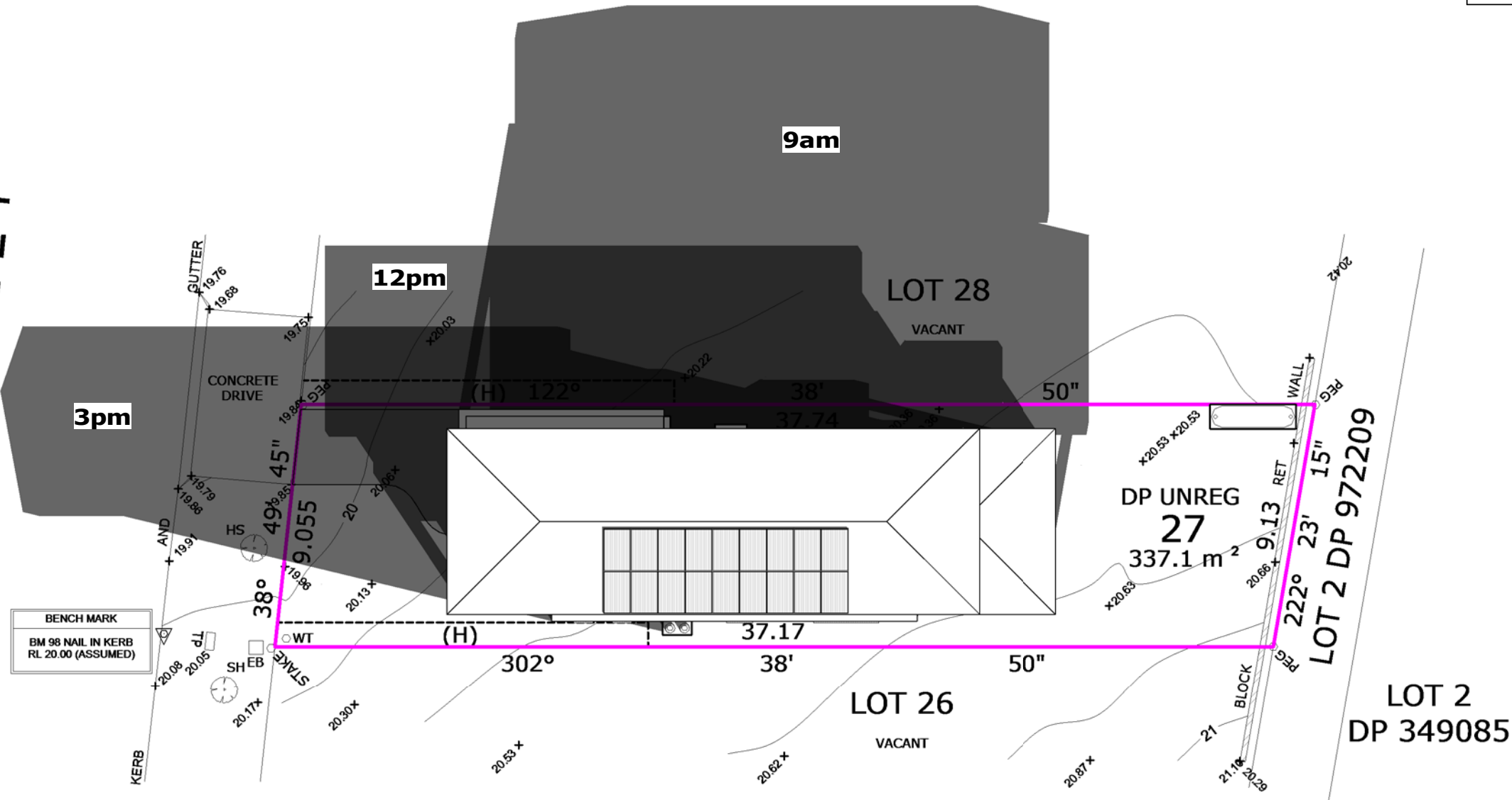
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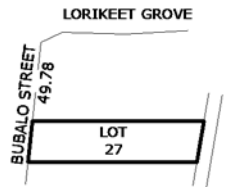
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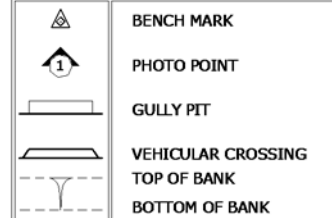
BUBALO STREET



LOCATION PLAN



LEGEND



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FACADE: CLASSIC
TYPE: SINGLE GARAGE
SPECIFICATION: LUX

DRAWING TITLE:
SHADOW DIAGRAM

DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR
MTT 19.11.19 MTT CONSTRUCTION

COUNCIL AREA: SCALE:
NORTHERN BEACHES 1 : 200

JOB No: DRWG No: ISSUE:
A009172 12 B