
Sent: 14/01/2019 2:38:02 PM
Subject: Development Application DA2018/1816 12//1014199 - 102 WAKEHURST
PARKWAY ELANORA HEIGHTS 2101
Attachments: DA-116661-110486-5.pdf;

BRIMS DA record DA18121716661 received on 17/12/2018 for a S.100B ; Subdivision assessment.

The Rural Fire Service response to the above development application referral is attached.

If you require further information please contact Adam Small on 1300 679 737.

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All communications to be addressed to:

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The General Manager
Northern Beaches Council
PO Box 882
MONA VALE NSW 1660

Your Ref: DA2018/1816
Our Ref: D18/8586
DA18121716661 AS

ATTENTION: Ashley Warnest

14 January 2019

Dear Sir/Madam

**Integrated Development Application - 12//1014199 - 102 Wakehurst Parkway
Elanora Heights 2101**

I refer to your correspondence dated 17 December 2018 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, under Division 4.8 of the 'Environmental Planning and Assessment Act 1979', and a Bush Fire Safety Authority, under Section 100B of the 'Rural Fires Act 1997', are now issued subject to the following conditions:

Asset Protection Zones

The intent of measures is to provide sufficient space and maintain reduced fuel loads so as to ensure radiant heat levels of buildings are below critical limits and to prevent direct flame contact with a building. To achieve this, the following conditions shall apply:

1. At the commencement of building works, and in perpetuity, the area around the existing dwelling shall be managed as outlined within section 4.1.3 and Appendix 5 of 'Planning for Bush Fire Protection 2006' and the NSW Rural Fire Service's document 'Standards for asset protection zones' as follows:
 - North: Inner Protection Area (IPA) to the cliff face; and,
 - All other directions: IPA to the property boundaries.

Water and Utilities

The intent of measures is to provide adequate services of water for the protection of buildings during and after the passage of a bush fire, and to locate gas and

electricity so as not to contribute to the risk of fire to a building. To achieve this, the following conditions shall apply:

2. The provision of water, electricity and gas services are to comply with section 4.1.3 of 'Planning for Bush Fire Protection 2006'.

Access

The intent of measures for property access is to provide safe access to/from the public road system for fire fighters providing property protection during a bush fire and for occupants faced with evacuation. To achieve this, the following conditions shall apply:

3. The property access road shall comply with the acceptable solutions within section 4.1.3 (2) of 'Planning for Bush Fire Protection 2006'.
4. Unobstructed pedestrian access shall be provided to the rear of the property to aid in firefighting activities.

Design and Construction

The intent of measures is that buildings are designed and constructed to withstand the potential impacts of bush fire attack. To achieve this, the following conditions shall apply:

5. New construction on the roof, and the eastern, southern and western elevations of the existing dwelling shall comply with section 3 and section 6 (BAL 19) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone area' or NASH Standard (1.7.14 updated) 'National Standard Steel Framed Construction in Bushfire Areas – 2014' as appropriate and section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.
6. New construction on the northern elevation of the existing dwelling, and the entire proposed garage ancillary to the existing dwelling shall comply with Sections 3 and 5 (BAL 12.5) Australian Standard AS3959-2009 'Construction of buildings in bush fire-prone areas' or NASH Standard (1.7.14 updated) 'National Standard Steel Framed Construction in Bushfire Areas – 2014' as appropriate and section A3.7 Addendum Appendix 3 of 'Planning for Bush Fire Protection 2006'.
7. The existing dwelling where not affected by new construction is required to be upgraded to improve ember protection. This is to be achieved by enclosing all openings (excluding roof tile spaces) or covering openings with a non-corrosive metal screen mesh with a maximum aperture of 2mm. Where applicable, this includes any sub floor areas, openable windows, vents, weepholes and eaves. External doors are to be fitted with draft excluders.

Landscaping

8. Future landscaping to the site is required to comply with the principles of Appendix 5 of 'Planning for Bush Fire Protection 2006'.

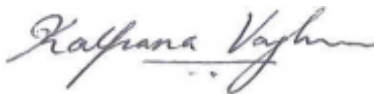
General Advice – consent authority to note

This assessment is for the subdivision of land and the proposed additions and alterations to the existing dwelling only. Any new Section 4.14 application for the newly created lot shall be subject to an independent bush fire assessment. This assessment is to take into consideration the possible remnant vegetation to the northern aspect.

Any new dwelling constructed within the new lot at the rear of the site shall be located >70 metres from the nearest hydrant. As such, static water supply shall be provided for firefighting purposes.

Should you wish to discuss this matter please contact Adam Small on 1300 NSW RFS.

Yours sincerely



Kalpana Varghese

A/Manager - Planning and Environment Services (East)

For general information on bush fire protection please visit www.rfs.nsw.gov.au