

23 October 2006

Customer Service Department
Pittwater Council
Po Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

282 LOWER PLATEAU ROAD, BILGOLA PLATEAU
DEVELOPMENT APPLICATION NO. N0545/06
CONSTRUCTION CERTIFICATE NO. 26201

City Plan Services have issued a Construction Certificate under Part 4A of the Environmental Planning and Assessment Act 1979 for the above premises.

Please find enclosed the following documentation:

- Construction Certificate No. CC 26201
- Copy of application for Construction Certificate.
- Documentation used to determine the application for the Construction Certificate as detailed in Schedule 1 of the certificate.
- Notice of Appointment of Principal Certifying Authority.
- Cheque for Council's registration fee.

Our client has been advised of the necessity to submit to Council the notice of commencement of building works 48 hours prior to the commencement of works.

Should you need to discuss any issues, please do not hesitate to contact the Project Building Surveyor Anthony Banham on 8270-3500.

Yours Sincerely,



Brendan Bennett
Director

Encl



NOTICE OF APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 81A(2)(b1)(i) & 86(1)(a1)(i)

PROPOSAL

Address of land on which the work is to be carried out:

**282 Lower Plateau Road,
Bilgola Plateau
Deck and pergola**

Description of building works covered by this Notice:

APPLICANT

Name of person having benefit of the development consent:

Dusan Poljak

Address:

**282 Lower Plateau Road,
Bilgola Plateau**

Contact Details:

Phone: 0409 116 485

The applicant has appointed Brendan Bennett as the Principal Certifying Authority as stated in the Construction Certificate Application lodged with City Plan Services for the building works identified in this Notice.

RELEVANT CONSENTS

Development Consent No:

DA: N0545/06

Date of Development Consent:

11.10.06

Construction Certificate No:

CC 26201

Date of Construction Certificate:

23.10.06

CERTIFYING AUTHORITY

Brendan Bennett for and on behalf of
City Plan Services Pty Ltd

ACCREDITATION BODY

**Planning Institute Australia NSW
Accreditation Scheme**
Registration No. 3004

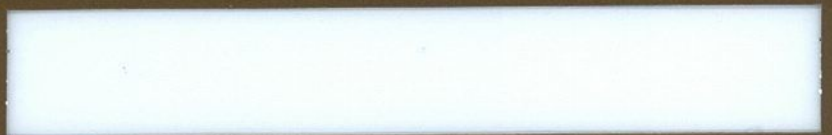
That I, Brendan Bennett, of City Plan Services located at Level 1, 364 Kent Street, Sydney accept the appointment as the Principal Certifying Authority for the building works identified and covered under the relevant Construction Certificate as stated in this Notice.

DATED THIS 23rd day of October 2006

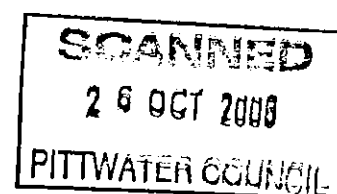

Brendan Bennett
Director

BUILDING
HERITAGE
LANDSCAPE
URBAN DESIGN

CITY PLAN SERVICES



282 Lower Plateau Road, Bilgola Plateau
Construction Certificate No. 26201



CONSTRUCTION CERTIFICATE NO. 26201

Issued under Section 81A(5) and Part 4A Sections 109C, of the Environmental Planning and Assessment Act 1979

APPLICANT

Name of person having benefit of the development consent: **Dusan Poljak**
Address: **282 Lower Plateau Road, Bilgola Plateau**
Contact Details: **Phone: 0409 116 485**

OWNER

Name: **Dusan Poljak**
Address: **282 Lower Plateau Road, Bilgola Plateau**
Contact Details: **Phone: 0409 116 485**

DEVELOPMENT CONSENT

Consent Authority/Local Government Area: **Pittwater Council**
Development Consent No: **N0545/06**
Date of Development Consent: **11.10.06**

PROPOSAL

Address of land on which the work is to be carried out: **282 Lower Plateau Road, Bilgola Plateau**
Building Classification: **Class 1a**
Type of Construction: **N/A**
Scope of building works covered by this Notice: **Deck and pergola**
Value of Construction Certificate (Incl GST): **\$3,500.00**
Plans and Specifications approved: **Schedule 1**
Fire Safety Schedule: **N/A**
Critical stage inspections: **See attached Notice**
Exclusions: **Nil**
Conditions (Clause 187 or 188 of the Environmental Planning & Assessment Regulation 2000): **Nil**

PROJECT BUILDING SURVEYOR

Please contact **Anthony Banham**
for any inquiries

CERTIFYING AUTHORITY


Brendan Bennett for and on behalf of
City Plan Services Pty Ltd

ACCREDITATION BODY

Planning Institute Australia NSW
Accreditation Scheme
Registration No. 3004

That I, Brendan Bennett, as the certifying authority, certify that the work if completed in accordance with the plans and specifications identified in Schedule 1 (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

DATED THIS **23rd** day of **October** **2006**


Brendan Bennett
Director

NB: Prior to the commencement of work S81A(2)(b)(i) and (ii) and (b2)(i) and (ii) and (iii) and (c) of the Environment Planning and Assessment Act 1979 must be satisfied.

SCHEDULE 1 **APPROVED PLANS AND SPECIFICATIONS**

1. Endorsed Architectural plans prepared by Home Team Constructions Pty Ltd

Plan Title	Drawing No	Revision	Date
Driveway Gradient	HT/667/01		21.04.01
Middle Level Floor Plan	HT/667/01		21.04.01
North West & South West Elevations	HT/667/01		21.04.01

2. Endorsed Structural plans prepared by VOM Consulting Engineers Pty Ltd

Plan Title	Drawing No	Revision	Date
Construction Notes	1/3		20.10.06
Pergola – Plan View	2/3		20.10.06
Pergola – Section	3/3		18.10.06

2. Other documents relied upon

Title	Prepared By	Reference	Date
Construction Certificate Application form	Dusan Poljak		23.10.06
Surveyors Plan	M B S Green & Assocs Pty Ltd		25.08.06
Development Consent	Pittwater Council	N0545/06	11.10.06
Building Construction in Bush Fire Prone Areas	Fire Base Consulting	312	24.06.06
Arborist Report	Standfast Tree Service Pty Ltd – Nigel Dean		

NOTICE TO APPLICANT OF CRITICAL STAGE INSPECTIONS

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 81A(2)(b1)(ii)

PROPOSAL

Address of land on which the work is to be carried out: **282 Lower Plateau Road,
Bilgola Plateau**
Description of building works covered by this Notice: **Deck and pergola**

APPLICANT

Name of person having benefit of the development consent: **Dusan Poljak**
Address: **282 Lower Plateau Road,
Bilgola Plateau**
Contact Details: **Phone: 0409 116 485**

RELEVANT CONSENTS

Development Consent No: **DA: N0545/06**
Date of Development Consent: **11.10.06**
Construction Certificate No: **CC 26201**
Date of Construction Certificate: **23.10.06**

INSPECTION TELEPHONE NUMBER

Please telephone the following number to book a critical stage inspection: **Ph: 8270 3500**
A minimum period of 48 hours is to be provided

CERTIFYING AUTHORITY

**Brendan Bennett for and on behalf of
City Plan Services Pty Ltd**

ACCREDITATION BODY

**Planning Institute Australia NSW
Accreditation Scheme
Registration No. 3004**

MANDATORY CRITICAL STAGE INSPECTIONS

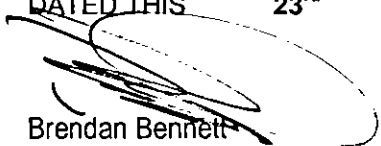
That I, Brendan Bennett, of City Plan Services located at Level 1, 364 Kent Street, Sydney acting as the principal certifying authority hereby give notice in accordance with Section 81A(2)(b1)(ii) of the Environmental Planning and Assessment Act 1979 to the person having the benefit of the development consent that the mandatory critical stage inspections identified in Schedule 1 & Schedule 2 are to be carried out in respect of the building work.

The applicant, being the person having benefit of the development consent is required under Section 81A(2)(b2)(lii) of the Environmental Planning and Assessment Act 1979 to notify the principal contractor (if not an owner-builder) of the applicable mandatory critical stage inspections specified under this notice.

To allow a principal certifying authority or another certifying authority time to carry out mandatory critical stage inspections, the principal contractor for the building site, or the owner builder, must notify the principal certifying authority at least 48 hours before building work is commenced at the site if a mandatory critical stage inspection is required before the commencement of the work in accordance with Clause 163 of the Environmental Planning & Assessment Regulation 2000.

Failure to request a mandatory critical stage inspections will prohibit the principal certifying authority under with Section 109E(3)(d) of the Environmental Planning and Assessment Act 1979 to issue an occupation certificate.

DATED THIS 23rd day of October 2006


Brendan Bennett
Director

SCHEDULE 1 **MANDATORY CRITICAL STAGE INSPECTIONS**

NO.	CRITICAL STAGE INSPECTION	INSPECTOR
1.	At commencement of building work	Certifying Authority
2.	After Excavation for, and prior to the placement of any footings	Certifying Authority
3.	Prior to covering of the framework for any floor, wall, roof or other building element	Certifying Authority
4.	After the building work has been completed & prior to any occupation certificate being issued in relation to the building	Principal Certifying Authority

SCHEDULE 2 **OTHER MANDATORY INSPECTION SPECIFIED BY THE PRINCIPAL CERTIFYING AUTHORITY**

NO.	OTHER CRITICAL STAGE INSPECTIONS	INSPECTOR
	None have been specified in this instance	N/A

Construction Certificate APPLICATIONMade under the *Environmental Planning and Assessment Act 1979* Sections 81A(2), 109C(1)(b)**IDENTIFICATION OF BUILDING**

Address_282 Lower Plateau Rd

Lot, DP/MPS Lot 113

Suburb or town_Bilgola Plateau Post Code_2107

DESCRIPTION OF DEVELOPMENT

Detailed Description:

Addition of a wooden deck and pergola to the rear of an existing residence

APPLICANT

Name Dusan Poljak Company_NA

Address_282 Lower Plateau Rd

Suburb or town_Bilgola Plateau Post Code_2107

Phone B/H_9918 3735 Fax No

Mobile 0409116485 Email_dusan.poljak@semf.com.au

As the applicant, I/we hereby:

1. Submit this Construction Certificate Application under the *Environmental Planning & Assessment Act 1979*, with City Plan Services Pty Ltd.
2. Appoint Brendan Bennett of City Plan Services Pty Ltd as the Principal Certifying Authority for the building work identified in this application.

Signature of applicant:

Sign  Date 23/10/06**CONSENT TO ALL OWNER(S)**

Name_Dusan Poljak Company_NA

Address_282 Lower Plateau Rd

Suburb or town_Bilgola Plateau Post Code_2107

Phone B/H_9918 3735 Fax No

Mobile_0409 116 485 Email_dusan.poljak@semf.com.au

As the owner of the above property, I/we consent to this application

Signature of Owner

Sign  Date 23/10/06

VALUE OF WORK

Estimated Cost of work: \$ 3,500

GST: \$

For developments over \$5 million, a Quantity Surveyors Certificate verifying the cost must be submitted on lodgement of the application.

DEVELOPMENT CONSENT

Development Consent No. No. DA No: N0545/06

Date of Determination Date 11/10/2006

**BUILDING CODE OF AUSTRALIA
BUILDING CLASSIFICATION**

Nominated on the Development Consent Class

RESIDENTIAL BUILDING WORK

Relevant only to residential building work

Owner-builder Permit No. Not Applicable

or

Name of Builder Not Applicable

Address Not Applicable

Telephone Fax

Contractor License No. Not
Applicable**REQUIRED ATTACHMENTS**

- Note 1 details the information that must be submitted with an application for a construction certificate for proposed building works
- Note 2 details the additional information that may be submitted with an application for a construction certificate for proposed residential building work.

Schedule 1 information to be
Collected for ABS Particulars of the proposal

DESCRIPTION

What is the area of the land (m ²)	Block area is 925 m ²
Gross floor area of existing building (m ²)	House footprint area approx 150 m ² . Residential use only
What are the current uses of all or parts of the building(s)/land?	
(If vacant state vacant)	
Location	Use
<hr/>	
<hr/>	
Does the site contain a dual occupancy?	No
What is the gross floor area of the proposed addition or new building (m ²)	Deck area approx 24 m ²
What are the proposed uses of all parts of the building(s)/land?	
Location	Use
	General deck activities
<hr/>	
Number of pre-existing dwellings	None
	None
Number of dwellings to be demolished	One deck
How many dwellings are proposed?	One storey deck
How many storeys will the building consist of?	

MATERIALS TO BE USED

Walls	Code	Roof	Code
Brick veneer	12	Aluminium	70
Full brick	11	Concrete	20
Single brick	11	Concrete tile	10
Concrete block	11	Fibrous cement	30
Concrete/masonry	20	fibreglass	80
Concrete	20	Masonry/terracotta shingle tiles	10
Steel	60	State	20
Fibrous cement	30	Steel	60
Hardiplank	30	Terracotta tile	10
Timber/weatherboard	40	Other	80
Cladding aluminium	70	Unknown	90
Curtain glass	50		
Other			
Unknown	90		
<hr/>			
Floor	Code	Frame	Code
Concrete	20	Timber	40
Timber	10	Steel	60
Other	80	Other	80

Unknown

90

Unknown

90

NOTES**For Completing Construction Certificate Application****Note 1**

The following information must accompany applications for a construction certificate for building and subdivision work.

Building Work

In the case of an application for a construction certificate for building work:

- a) Copies of compliance certificates relied upon
- b) Four (4) copies of detailed plans and specifications

The plan for the building must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, construction and provision for fire safety and fire resistance (if any).

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building the general plan is to be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the proposed alteration, addition or rebuilding.

Where the proposed building work involves a modification to previously approved plans and specification the general plans must be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the modification.

The specification is:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
 - state whether the materials proposed to be used are new or second hand and give particulars of any second-hand and give particulars of any second-hand materials to be used.
- c) Where the application involves an alternative solution to meet the performance requirements of the BCA, the application must also be accompanied by:
 - details of the performance requirements that the alternative solution is intended to meet, and
 - details of the assessment methods used to establish compliance with those performance requirements.
 - d) Evidence of any accredited component, process or design sought to be relied upon.
 - e) Except in the case of an application for, or in respect of, a class 1a or class 10 building:
 - a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated; and
 - if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated.

The list must describe the extent, capacity and basis of design of each of the measures concerned.

Note 2**Home Building Act Requirements**

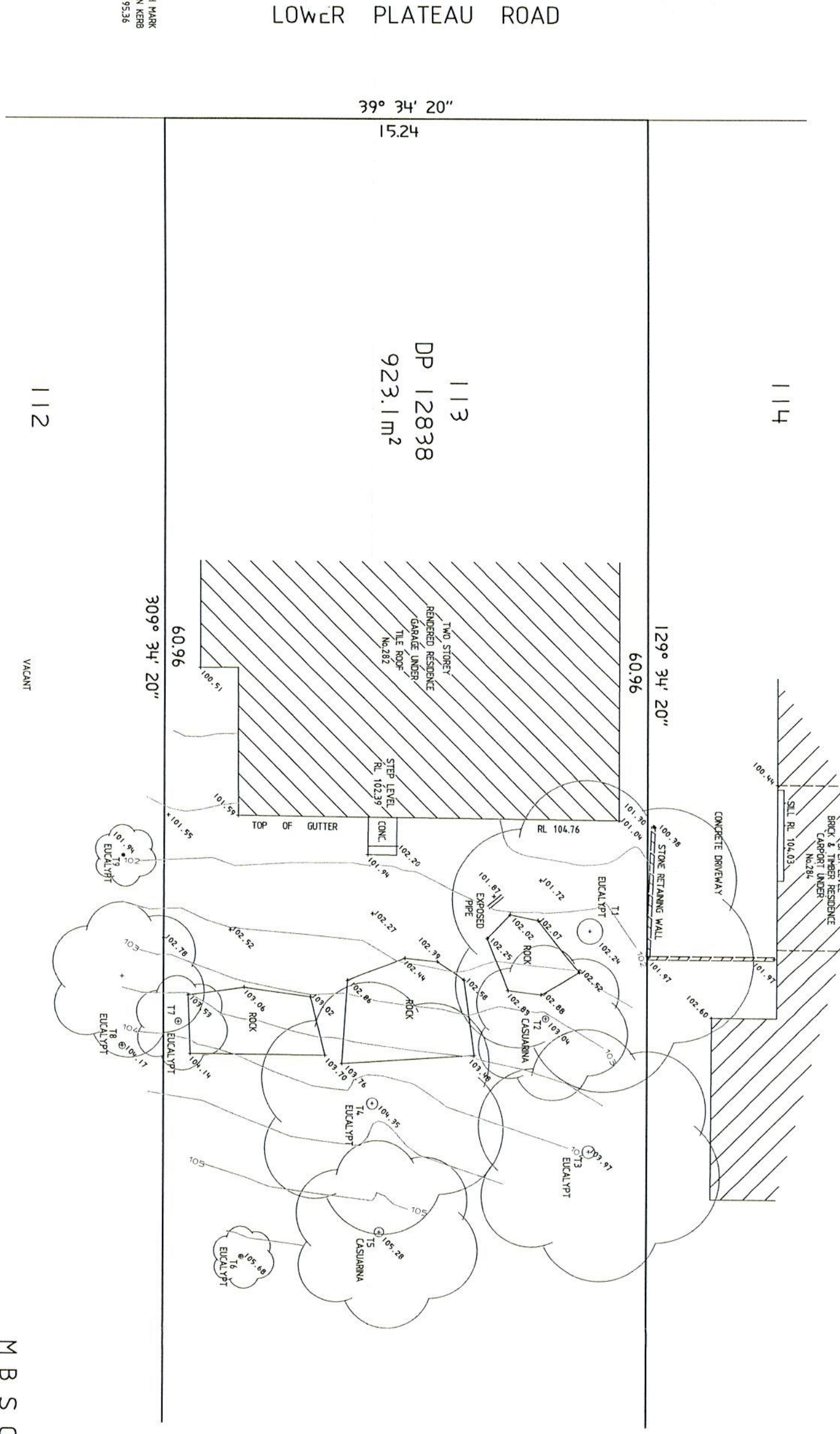
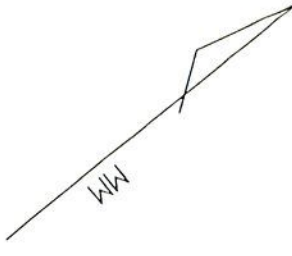
In the case of an application for a construction certificate for residential building work (within the meaning of the *Home Building Act 1989*) attach the following:

- a) In the case of work by a licensee under that Act:
 - (i) a statement detailing the licensee's name and contractor licence number, and
 - (ii) documentary evidence that the licensee has complied with the applicable requirements of that Act*, or
- b) In the case of work done by any other person:
 - (i) a statement detailing the person's name and owner-builder permit number, or
 - (ii) a declaration signed by the owner of the land, to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of *owner-builder work* in section 29 of that Act.
 - (iii)

*A certificate purporting to be issued by an approved insurer under Part 6 of the *Home Building Act 1989* to the effect that a person is the holder of an insurance contract issued for the purposes of that Part, is sufficient evidence that the person has complied with the requirements of that Part.

CLIENT : MR D POLJAK
THIS PLAN AND THE INFORMATION IT CONTAINS ARE COPYRIGHT AND
REMAIN THE PROPERTY OF M B S GREEN & ASSOCIATES PTY LTD.
USE OF THIS PLAN AND INFORMATION CONTAINED THERE IN FOR ANY
PURPOSE BEYOND THAT INSTRUCTED BY THE CLIENT NAMED IS NOT PERMITTED
WITHOUT WRITTEN APPROVAL OF M B S GREEN & ASSOCIATES PTY LTD.
M B S GREEN & ASSOCIATES PTY LTD GRANTS TO THE CLIENT NAMED
A LICENSE TO USE THE INFORMATION HEREON FOR THE INSTRUCTED
PURPOSE.

PLAN
SHOWING PARTIAL DETAIL AND LEVELS
OVER LOT 113 DP 12838
BEING No.282 LOWER PLATEAU ROAD
BILGOLA PLATEAU
L.G.A. PITTWATER



BENCH MARK
CUT IN KERB
RL 95.36

- NOTES
1. THIS PLAN DOES NOT INVESTIGATE SURVEY OF BOUNDARIES.
 2. BOUNDARY DIMENSIONS, AREA AND NORTH POINT FROM DP
 3. DETAIL CRITICAL TO DESIGN SHOULD BE CONFIRMED PRIOR TO THE COMMENCEMENT OF WORKS.
 4. LEVELS ARE ON ASSUMED AUSTRALIAN HEIGHT DATUM (AHD) ORIGIN OF LEVELS. BENCH MARK ON PLAN PROVIDED BY CLIENT
 5. CONTOURS ARE INDICATIVE ONLY OF TERRAIN SHAPE.
 6. UNDERGROUND SERVICES HAVE NOT BEEN INVESTIGATED.
 7. CANOPIES OF TREES ARE DIAGNOSTIC ONLY. SPECIES TO BE CONFIRMED.
 8. LOCATED TREES ARE NUMBERED T1, T2, T3 etc.

M B S GREEN & ASSOCS. PTY. LTD.
REGISTERED SURVEYORS
34/12 WARATAH STREET
MONA VALE NSW 2103
PH. 9999 3811 FAX. 9979 5847
SCALE . 1:100 @ A2
DATE . 25 AUGUST 2006
REF. A2 M7201 (M5606)



Business Hours:

8.00am to 5.30pm, Monday to Thursday

8.00am to 5.00pm, Friday

DA No: N0545/06

11 October 2006

DUSAN POLJAK
282 LOWER PLATEAU RD
BILGOLA PLATEAU NSW 2107

Dear Sir/Madam

Development Application for additions to the dwelling at 282 LOWER PLATEAU ROAD BILGOLA PLATEAU NSW 2107.

I am pleased to advise that this application has been approved and I attach for your assistance a copy of the Development Consent, the conditions of approval and a copy of the approved plans.

If building works are involved, prior to proceeding with the proposal, it will be necessary for you to lodge a Construction Certificate Application with either Council or an accredited Certifier.

I take this opportunity to direct your attention to Section C of the Consent which details the matters to be satisfied prior to issue of the Construction Certificate.

Additionally, for your reference, please find enclosed Information Sheets that will assist in providing information you will need to consider for the processes following on from receiving this consent.

If there are any matters relating to this approval which require further explanation, please contact me prior to commencing work on the site.

Enquiries relating to the Construction Certificate application should be directed to Council's Customer Service or your private certifier.

Yours faithfully


Lashta Haider

DEVELOPMENT OFFICER



**CONSENT NO: N0545/06
ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)
NOTICE TO APPLICANT OF DETERMINATION
OF A DEVELOPMENT APPLICATION**

Applicants Name and Address:
DUSAN POLJAK
282 LOWER PLATEAU RD
BILGOLA PLATEAU 2107

Being the applicant in respect of Development Application No **N0545/06**

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by
Pittwater Council, as the consent authority, of Development Application No **N0545/06** for:

Deck and Pergola

At: 282 LOWER PLATEAU ROAD, BILGOLA PLATEAU (Lot 113 DP 12838)

Decision:

The Development Application has been determined by the granting of consent based on
information provided by the applicant in support of the application, including the
Statement of Environmental Effects, and in accordance with

- **Drwg: Ht/667/10 (sheet 1 of 7, 3 of 7, 5 of 7) prepared by Home Team
Constrictions P/L, Dated 12/04/2001.**

as amended in red (shown clouded) or as modified by any conditions of this consent.

The reason for the imposition of the attached conditions is to ensure that the
development consented to is carried out in such a manner as to achieve the objectives
of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to
section 5(a) of the Act, having regard to the relevant matters for consideration contained
in section 79C of the Act and the Environmental Planning Instruments applying to the
land, as well as section 80A of the Act which authorises the imposing of the consent
conditions.

Endorsement of date of consent **11/10/2006**


Mark Ferguson
GENERAL MANAGER

Per: **L. HAIDARTI**



Conditions of Approval

This consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

Note: Persons having the benefit of development consent may appoint either a council or an accredited certifier as the principal certifying authority for the development or for the purpose of issuing certificates under Part 4A of the Environmental Planning and Assessment Act. When considering engaging an accredited certifier a person should contact the relevant accreditation body to ensure that the person is appropriately certified and authorised to act in respect of the development.

A. Prescribed Conditions:

1. All works are to be carried out in accordance with the requirements of the Building Code of Australia. CC
2. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force. CC
3. Critical stage inspections are to be carried out in accordance with clause 162A of the Environmental Planning & Assessment Regulation 2000. To allow a Principal Certifying Authority or another certifying authority time to carry out critical stage inspections required by the Principal Certifying Authority, the principal contractor for the building site, or the owner-builder must notify the Principal Certifying Authority at least 48 hours before building work is commenced and prior to further work being undertaken.
4. A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - a. showing the name, address and telephone number of the Principal Certifying Authority for the work, and
 - b. showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working house, and
 - c. stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.



5. Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the following information:
 - a. in the case of work for which a principal contractor is required to be appointed:
 - i. the name and licence number of the principal contractor, and
 - ii. the name of the insurer by which the work is insured under Part 6 of that Act.
 - b. in the case of work to be done by an owner-builder:
 - i. the name of the owner-builder, and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
6. If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the updated information.
7. Conditions A8 and A9 do not apply in relation to Crown building work that is certified, in accordance with Section 116G of the Act, to comply with the technical provisions of the States building laws.
8. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.

B. Matters to be incorporated into the development and maintained over the life of the development:

1. This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve.



2. The existing landscaping required to be retained together with any additional landscaping required by this Development Consent is to be maintained for the life of the development.
3. No water pollution shall result from the operation of any plant or equipment or activity carried out.
4. Noise from the operation of any plant or equipment at the premises shall not exceed 5dB(A) above the background noise level.
5. All plumbing and drainage fixtures are to be concealed and not exposed to public view on buildings over one storey in height.
6. All external glazing is to have a maximum reflectivity index of 25%.
7. New electrical connections are to be carried out using underground cabling.
8. The finished surface materials, including colours and texture of any building, shall match the detail and materials of the existing building.
9. Roofs to all structures are to be of dark grey, brown and/or green tones only. _____
10. Timber log retaining walls are not permitted and are not to be included in the proposed development. _____
11. For the life of the development Cats are to be kept in a cat run and / or inside the dwelling such that they are prevented from entering wildlife habitat areas at all times. Dogs are to be kept in an enclosed area such that they cannot enter areas of bushland, unrestrained, on the site or surrounding properties.



12. Any vegetation planted outside approved landscape zones is to be consistent with:
- d. Species listed in the Ecological Sustainability Plan
 - e. Species listed from the Endangered Ecological Community
 - f. Locally native species or locally native plants growing on site and / or selected from the list pertaining to vegetation community(s) on the site as per the Pittwater Book *Native Plants for Your Garden* - book available from Council and on the Pittwater Web Site.

13. Over the life of the development all declared noxious weeds under are to be managed / removed in accordance with the Noxious Weeds Act 1993.
Environmental weeds are to be removed and/or controlled.

14. No environmental weeds are to be planted on the site.

15. For the life of the development no bush rock is to be removed or destroyed without prior approval from NSW Department of Environment and Conservation and Pittwater Council. The removal or destruction of bush rock has been listed as a Key Threatening Process under the NSW Threatened Species Conservation Act, 1995.

C. Matters to be satisfied prior to the issue of the Construction Certificate:

Note: All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications / details cannot be accepted.

1. Submission of construction plans and specifications and documentation which are consistent with the approved Development Consent plans, the requirements of Building Code of Australia and satisfy all conditions shown in Part B above are to be submitted to the Principal Certifying Authority. CC
2. The Accredited Certifier or Council must be provided with a copy of plans that a Quick Check agent/Sydney Water has stamped before the issue of any Construction Certificate. CC



3. Structural Engineering details relating to the deck and pergola are to be submitted to the Accredited Certifier or Council prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practicing Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field. CC

D. Matters to be satisfied prior to the commencement of works and maintained during the works:

Note: It is an offence to commence works prior to issue of a Construction Certificate.

1. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
2. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction.
3. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
4. Waste materials generated through demolition, excavation and construction works are to be minimised by re-use on-site, recycling or where reuse or recycling is not practical, disposal at an appropriate authorised waste facility.
5. No works are to be carried out in Council's Road Reserve without the written approval of the Council.
6. No skip bins or materials are to be stored on Council's Road Reserve.
7. A clearly legible *Site Management Sign* is to be erected and maintained throughout the course of the works. The sign is to be centrally located on the main street frontage of the site and is to clearly state in legible lettering the following: -



The builders name, builders telephone contact number both during work hours and after hours.

That no works are to be carried out in Councils Road Reserve without the written approval of the Council.

That a Road Opening Permit issued by Council must be obtained for any road openings or excavation within Councils Road Reserve associated with development of the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site.

That no skip bins or materials are to be stored on Councils Road Reserve.

That the contact number for Pittwater Council for permits is 9970 1111.

8. A stamped copy of the approved plans is to be kept on the site at all times, during construction.
9. Toilet facilities are to be provided in a location which will not detrimentally affect the amenity of any adjoining residents at or in the vicinity of the work site during the duration of the development.
10. No works are to commence until suitable tree protection measures are in place. All existing trees to be retained are to be protected in accordance current best practice standards to mitigate any adverse impacts associated with the works for the development. The establishment of tree protection, including sediment control barriers, is to be undertaken under direction and supervision of an AQF5 or university qualified consulting arborist. Prior to the commencement of any site works, the arborist is to certify that such tree protection measures are in place and a copy of the certification is to be forwarded to the Certifying Authority. In the case of the large Angophora costata located to the east of the proposed deck, additional protection measures to ensure its root system is not damaged or compacted in the area that will not be fenced off are to be established. 2.
11. All works within 5 metres of the existing trees to be retained, in particular the large Angophora costata located to the east of the proposed deck, including pruning, demolition, excavation, civil works, fencing and the like must be carried out be hand under the supervision of an AQF5 or university qualified arborist with experience at the management of trees on construction sites. Should roots larger than 30mm be encountered, all excavation works are to cease immediately and the arborist is to advise on the impacts of the roots removal on the trees survival and on how the tree is to be managed. In particular, the arborist is to advise on the final location of the piers and footings for the deck.



12. Contractors and visitors to the site are to be advised of the purpose for the tree/ native vegetation/ habitat protection/exclusion fencing installed in accordance with this consent by the placement of a suitable warning sign on the fence. The sign is to include advice that no works or storage of materials is to take place within the dripline of existing trees.
13. The project manager is to erect signs advising all contractors and visitors to the site that no works or storage are to take place within the dripline of existing trees.
14. When working within the drip line of the trees, hand digging is to occur in sensitive areas. Liaison on a daily basis is to be maintained during the excavation works between the Builder and Arborist. No filling or compaction shall occur over tree roots within the area defined by the outer drip line of the crown. Root protection/ compaction mitigation in the form of planks or metal decking supported clear of the ground fixed to scaffolding is to be installed as required.
15. No storage of building materials or building waste, excavated fill or topsoil storage is to occur within the dripline of trees shown on the approved landscape working drawing(s) as being retained or within protective fenced areas.

Drainage is to be arranged such that fill, building materials or contaminants are not washed into protective fenced areas.

16. The developer or contractor will take all measures to prevent damage to trees and root systems during site works and construction activities including provision of water, sewerage and stormwater drainage services. In particular, works, erection of structures, excavation or changes to soil levels within 5 metres of the trunks of trees to be retained are not permitted unless part of the development as approved, and the storage of spoil, building materials, soils or the driving or parking of any vehicle or machinery within 5 metres of the trunk of a tree to be retained, is not permitted.

NOTE: Trees that are part of an Endangered Ecological Community or are habitat for threatened species and endangered populations must comply with the requirements of the Threatened Species Conservation Act, 1995. Failure to do so may result in a penalty up to a maximum of \$250,000.00 and jail sentences.

Failure to comply with the requirements of the Pittwater Council Tree Preservation and Management Order may result in a penalty up to a maximum of \$20,000.00.



E. Matters to be satisfied prior to the issue of Occupation Certificate:

Note: Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

Note: It is an offence to occupy the building or part thereof to which this consent relates prior to the issue of an Occupation Certificate.

1. An Occupation Certificate application stating that the development complies with the Development Consent, the requirements of the Building Code of Australia and that a Construction Certificate has been issued must be obtained before the building is occupied or on completion of the construction work approved by this Development Consent.
2. All existing and /or proposed dwellings/sole occupancy units are to have approved hard-wired smoke alarms installed and maintained over the life of the development. All hard-wired smoke alarms are to be Australian Standard compliant and must be installed and certified by any appropriately qualified electrician prior to the issue of any Occupation Certificate.
3. An Accredited Certifier is to provide a certification to the Private Certifying Authority that the requirements of the NSW Rural Fire Service have been complied with in relation to any potential risk to dwellings or occupants within the development from bushfire in landscaped areas in or adjoining the creekline corridor or other natural bushland areas in or adjoining the site.
4. All external face brick walls are to be properly cleaned down following completion of the wall and prior to occupation.
5. An Accredited Certifier is to provide a certification to the Private Certifying Authority that the requirements of the NSW Rural Fire Service have been complied with in relation to any potential risk to dwellings or occupants within the development from bushfire in landscaped areas in or adjoining the creekline corridor or other natural bushland areas in or adjoining the site.



F. Matters to be satisfied prior to the issue of Subdivision Certificate:

Nil

G. Advice:

1. Failure to comply with the relevant provisions of the Environmental Planning and Assessment Act, 1979 (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation.

2. It is the Project Manager's responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with the Principal Certifying Authority. Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent the Principal Certifying Authority issuing an Occupation Certificate.

3. In accordance with Section 80A(1)(d) and (e) of the Act, any consent given shall be void if the development to which it refers is not commenced within two (2) years after the date of approval, provided that Council may, if good cause be shown, grant an extension of renewal of such consent beyond such period.

NOTE: Council may be prepared to consider an extension of this Consent period for a further 12 months, however, the request for extension would have to be received during the initial 2 year period.

4. To ascertain the date upon which the determination becomes effective, refer to Section 83 of the Environmental Planning and Assessment Act, 1979 (as amended).
5. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the Environmental Planning and Assessment Act, 1979. Such request to Council must be made in writing, together with appropriate fees as advised at the time of lodgement of such request, within 1 year from the date of determination.



6. If you are dissatisfied with this decision, Section 97 of the Environmental Planning and Assessment Act, 1979, gives you a right of appeal to the Land and Environment Court within 12 months of the date of endorsement of this Consent.
7. The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately stamped. For Quick Check agent details please refer to the web site at www.sydneywater.com.au then see Building Developing and Plumbing then Quick Check, or telephone 13 20 92.
8. This approval does not prejudice any action in respect of upgrading the building pursuant to the provisions of the Section 121B of the Environmental Planning and Assessment (Amendment) Act, 1997.
9. Electrical insect killing light devices should not be outside and not installed anywhere that they can attract and kill micro-bats and killing insects reduces bat food and insects.
10. Gravel used onsite must be inert material such as quartz or sandstone. No blue metal or granite or other igneous material should be used as these release nutrient that can pollute waterways and contribute to weed plumes.



I have Development Approval What do I do now?

You now have your "consent" from Pittwater Council. What do you do next? The following steps must be followed before building works commence.

1. Understanding the consent

It is important that you follow the Conditions of Consent as approved. You will find that the consent document is in parts and that you have at least one copy of the "approved" plans. Your consent is to be read in conjunction with the stamped plans. The first page of the consent outlines the general details about the application, what the consent is for, the address and associated plan numbers.

Having consent is approval to use the site for a specific use or built item. The next step is obtaining a Construction Certificate.

2. Construction Certificate

All new building works including new dwellings, alterations and ancillary structures such as swimming pools, garages, carports and fences, require a Construction Certificate.

Once you have received your Development Consent you need to obtain a Construction Certificate.

Council or a Private Certifier can issue the Construction Certificate. If you choose a Private Certifier, a copy of the certificate, associated plans and specifications must be forwarded to Council within 2 days of issue.

3. Notification of Commencement

A Notification of Commencement form must be submitted to Council a minimum of 2 days prior to commencement of any works on the site. This information advises Council who you have nominated as the Principal Certifying Authority (PCA) for your development, the date you are intending to start works and the details of the builder for your development (either the licensed builder or owner builder).

Other useful Information

What is the Principal Certifying Authority?

A Principal Certifying Authority (PCA) is appointed to monitor the progress of work and carry out critical stage inspections, to ensure completion in accordance with the terms of any Development Consent or Complying Development Certificate and the Building Code of Australia. You will need to appoint a Principal Certifying Authority when you carry out work that is the subject of a Construction Certificate or a Complying Development Certificate.

You can appoint either the Council or a Private Certifier to act as your Principal Certifying Authority. Please ring Pittwater Council's Compliance Administration team on 9970 1300 for information and check our competitive fee structure.



Private Certifiers

Certifiers are required to renew their accreditation (be re-accredited) every year. It is therefore important that you check with the certifier to ensure that their information is current and accurate. You can find a list of private certifiers at www.planning.nsw.gov.au. If you have enquiries about private accredited certifiers please contact the Building Professionals Board on 9895 5950.

Critical Stage Building Inspections

Your Principal Certifying Authority (Council or Private Certifier) will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of the specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia and relevant standards of construction.

Occupation Certificate/Final Inspection

Once all works have been completed you must have an inspection carried out by Council or your private certifier. Once all matters have been satisfied you are issued with an Occupation Certificate.

Owner Builder Permits & Courses

If you would like to be the owner builder "project manager" for residential work exceeding \$5000 you will need to contact the Department of Fair Trading to obtain information relating to obtaining an owner builder's permit. Visit www.fairtrading.nsw.gov.au or contact them on (02) 9895 0111. TAFE colleges run regular owner builder courses. Visit them at www.tafensw.edu.au or contact them on 131 601.

Home Warranty Insurance

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with your Notification of Commencement form.

Long Service Levy

For building works costing \$25,000 and over, a Long Service Levy of 0.35% of the cost of building is payable under the Building and Construction Industry Long Service Payments Act 1996. This levy must be paid prior to issue of the Construction Certificate.

Modifying your Consent

If you need to make a change to your consent or approved plans you will need to lodge a "Section 96" Modification of Consent. For advice as to what is required when lodging this application please contact Council's duty officer on 9970 1674.

Bushfire Consultants Fire Base Consulting



Building Construction in Bush Fire Prone Areas

Bushfire Risk Assessment No 282 Lower Plateau Road Bilgola

<p>Ron Coffey 20 Lake Park Road North Narrabeen Sydney NSW 2101 ABN - 14 640 865 430 (02) 99137907 – 0408220443 roncoffey@optusnet.com.au www.bushfireconsultants.com.au</p>	<p>Date – 24th June 2006 Reference No – 312</p> <p>Client – Dusan Poljak</p>
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Introduction

This report has been commissioned by Mr Dusan Poljak to provide a bushfire risk assessment for the construction of alterations and additions at 282 Lower Plateau Road Bilgola.

The proposed development site has been identified as being on bush fire prone land, and the legislative requirements for building in bushfire prone lands are applicable. This assessment includes an analysis of the hazard, threat and subsequent risk to the development proposal.

The site was inspected on 24th June 2006.

1) Location

No 282 Lower Plateau Road Bilgola

UBD Page 118, Reference K4

Lot 113, DP 12838

LGA - Pittwater

2) Zoning of Proposed Development Site and Adjoining Properties

The site is zoned 2A residential.

Properties adjoining the north-east and south-west boundaries and across Lower Plateau Road to the north-west are similarly zoned 2A residential. Adjoining the rear south-east boundary is Lower Plateau Council Reserve.

3) Development Proposal and Building Classifications

The proposal is for additions to an existing class 1A dwelling. Plans supplied by Mr Poljak show the additions to include the construction of a new timber deck and pergola on the south-east elevation.

4) Description of the Subject Property

The development site is a 929.03m² residential site facing northwest onto Lower Plateau Road.

The following sections 5-9 describe in detail the vegetation, slope, access and egress, availability of water supplies and environmental considerations for the site.

The following photograph is of the north-west elevation of the existing dwelling on the site.



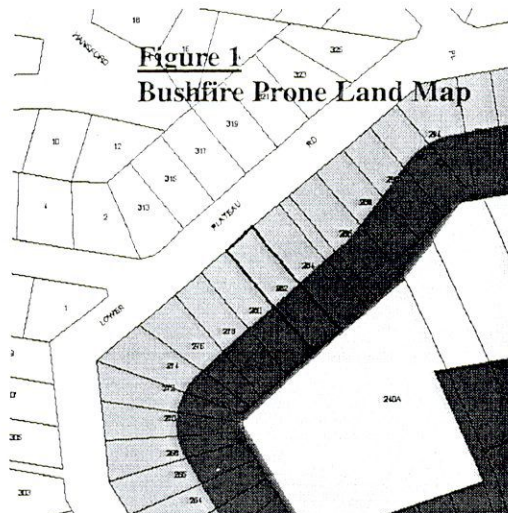
5) Classification of the Vegetation on and surrounding the Site

The site is developed and maintained and there is no threat from bushfire attack on the site.

Properties adjoining the north-east and south-west boundaries of the development site and across Lower Plateau Road to the north-west are similarly maintained and there is no threat of bushfire attack from these directions for more than 100m.

Adjoining the rear south-east boundary is an area of bushland that is considered a threat from bushfire attack to the site. With reference to Planning for Bushfire Protection 2001 [PBP] and the bushfire prone land map for the area the classification of vegetation for the site is 'Vegetation Category 2, Group 3'.

The following photograph is of the south-eastern section of the site and the bushland reserve can be seen at the rear of the block. The reserve is less than one hectare and there is no continuous canopy or understorey from the hazard to the proposed development.



6) Assessment of Slope on and surrounding the Site

The site slopes upslope from the front NW to rear SE boundary at 10-15 degrees and is generally level across from NE to SW [cross slope]

Slope away from the development site:

- North-east: Cross slope;
- North-west: 10-15 degrees downslope;
- South-east: >15 degrees upslope;
- South-west: Cross slope.

The slope of most significance in terms of bushfire attack is of the bushland reserve adjoining the rear SE boundary and this is >15 degrees upslope away from the subject site.

7) Access and Egress

The site has direct access to Lower Plateau Road, which is a public road, and access and egress for emergency vehicles and evacuation is in opposite directions and appears adequate.

8) Adequacy of water supply

The area has reticulated water supply and the nearest hydrant is in Lower Plateau Road, 30m from the front NW boundary of the development site.

9) Environmental Considerations

The scope of this assessment has not been to provide an environmental assessment of the site; however, the site is a small residential site that has been developed for more than 20 years and it appears that the proposed development will have no adverse environmental effect. A Statement of Environmental Effects shall be submitted with the development application.

10) Bushfire Risk Assessment

Table 1; Reference 'Planning for Bushfire Protection 2001' Table A3.3

Determination of Category of Bushfire Attack for the site and subsequent required building standards

Direction	Distance of Asset Protection Zone	Vegetation Classification	Assessment of Slope away from the development	Category of Bushfire Attack for the Site	Construction Standard Required
North-east	>140m	Developed sites	10-15 degrees downslope	Low	None
North-west	>140m	Developed sites	Cross slope	Low	None
South-east	36m	Developed sites	15 degrees upslope	Low	None
West	>140m	Developed sites	Cross slope	Low	None
Summary: Based upon the relevant provisions of Planning for Bushfire Protection 2001 the category of bushfire attack is for the site is 'Low' and the subsequent minimum construction standard is 'Standard BCA Requirements' The entire of the existing dwelling and proposed addition is outside the 30m buffer zone.					

11) Assessment of the extent to which the construction conforms or deviates from Chapter 4 of 'Planning for Bushfire protection 2001'

The development proposal shall be designed and built to BCA requirements. Considering the findings of the site inspection, with regards category of bushfire attack and required

construction standards, the dwelling and the proposed alterations and additions, conform to the requirements of 'Planning for Bushfire Protection 2001' for:

1. Construction Standards: This development proposal is an 'Infill Development' and these areas normally require greater emphasis on construction standards, landscaping, siting and vegetation management. The category of bushfire attack for the site is 'Low' and the recommendations shall be that the proposed additions are designed and constructed to 'Standard BCA Requirements'
2. Access and egress: The development site has direct access to public roads;
3. Water supplies: Reticulated water supply is available and the nearest street hydrant is within an acceptable distance to the most distant point of the proposed development;
4. Asset Protection: The hazard is to the south-east of the site and in this direction on-site Asset Protection Zones are provided in excess of the requirements of PBP. Recommendations shall include landscaping and maintenance to a standard that complies with the requirements of PBP for Inner and Outer Protection Area Requirements.

The site is part of the required asset protection zone and the requirements for an Inner Protection Area [IPA] are that no trees are to overhang the building. There are several large trees that could be considered of significant environmental and scenic value overhanging part of the proposed residence. Rather than remove or severely prune these trees to comply with IPA requirements the recommendations will include gutter guards to prevent the build up of debris in the gutters and downpipes.

12) Recommendations

The following recommendations are made for the bushfire protection measures for the proposed residential development of the construction of a new deck and pergola at 282 Lower Plateau Road Bilgola and are based upon the relevant provisions of the NSW Rural Fire Service guideline entitled *Planning for Bushfire Protection 2001*.

- 1) Construction Standard: Standard BCA requirements
- 2) Gutter guards that comply with the requirements of AS3959 shall be installed on the existing south-east gutters to prevent the build up of debris in the gutters and downpipes.
- 3) Asset Protection;

The entire site where not built on shall be established and maintained as an Asset Protection Zone [APZ] in accordance with the requirements of Planning for Bushfire Protection.

Recommended distances for the APZ from the proposed addition to the rear SE boundary:

- Inner Protection Area; 20m [Refer Appendix 1]
- Outer Protection Area: 16m [Refer Appendix 2]

13) Summary

This report consists of a bushfire risk assessment for the proposed residential development of additions at No 282 Lower Plateau Road Bilgola.

The report concludes that the proposed development is on designated bushfire prone land and the legislative requirements for development in bushfire prone areas are applicable.

The proposed additions will be constructed to the minimum standards required in accordance with the guidelines of *Planning for Bushfire Protection 2001*.

This report has considered all of the elements of bushfire attack and provided the proposed development is constructed in accordance with the recommendations included in section 12 of this report, it is my considered opinion that the development satisfies the Objectives and Performance requirements of the *Building Code of Australia, Planning for Bushfire Protection and Australian Standard AS3959, 1999*.

Caveats

Quote from Planning for Bushfire Protection 2001, *'notwithstanding the precautions adopted, it should always be remembered that bushfire burn under a wide range of conditions and an element of risk, no matter how small always remains.'*

Quote from Standards Australia, *'Although the standard is designed to improve the performance of such buildings, there can be no guarantee, because of the variable nature of bushfires, that any one building will withstand bushfire attack on every occasion.'*

This Report is a Bush Fire Hazard Assessment that provides the required information to assist Local Council and the Rural Fire Service in determining compliance in accordance with Planning for Bushfire Protection and AS 3959, 1999. The Local Council is the Final Consenting Authority.



Ron Coffey Director, Fire Base Consulting
Grad I Fire E [Institute of Fire Engineers - 1973]
Grad Cert Fire Safety Eng [UWS - 2003]
Grad Dip Building in Bushfire Prone Areas [UWS - 2005]
Associate Professional Cert in Expert Evidence for LEC
Member - Institute of Fire Engineers
Corporate Member - Fire Protection Association Australia

14) References

Australian Building Codes Board [2005]

Building Code of Australia
Volumes 1&2
Canprint

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ABCB Canberra

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A Guide for Councils, Planners, Fire Authorities, Developers and Home Owners

Ramsay C & Rudolph L [2003]

Landscape and Building Design for Bushfire Prone Areas
CSIRO Publishing

Standards Australia [1999]

Australian Standards 3959
Australian Building Code Board
Second Edition 1999, amended 2001

Warrington Fire Research [2002]

Literature Review of Bushfire Construction Materials and Proposed Test Protocols for
Performance Assessment
WFRA Project No. 20551
Report Version 1.1
11th February 2002

Appendix 1 – Inner protection Area Requirements

Inner Protection Area [IPA]

Asset Protection Zone [APZ] requirements

4.2.2. Components of an Asset Protection Zone

The Asset Protection Zone [APZ] should incorporate:

An **Outer Protection Area [OPA]**; and

An **Inner Protection Area [IPA]**, which should include a perimeter road or reserve [which incorporates an access track]

Specifications are set out in Tables 4.1 and 4.2. 'Planning for Bushfire protection 2001'

b) Inner Protection Area:

[i] Location:

The Inner Protection Area extends from the edge of the Outer Protection Area to the development [see Figure 4.1 of Planning for Bushfire Protection 2001].

[ii] Purpose:

The Inner Protection Area ensures that the presence of fuels, which could become involved in a fire, are minimised close to a development. Therefore the impact of direct flame contact and radiant heat on the development is minimised.

[iii] Depth:

The depth of the IPA is dependent upon the slope of the land. The greater the slope, the greater the intensity of any approaching fire and hence the depth required for the IPA.

[iv] Fuel Loadings:

It is more practical to determine the specifications of the IPA in terms of performance than in terms of a minimum fuel loading.

The performance of the Inner Protection Area must be such that:

- there is minimal fine fuel at the ground level which could be set alight by a bushfire; and
- any vegetation in the Inner Protection Area does not provide a path for transfer of fire to the development – that is, the fuels are discontinuous.

The presence of a few shrubs or trees in the Inner Protection Area is acceptable provided that they:

- do not touch or overhang the building;
- are well spread out and do not form a continuous canopy;
- are not species that retain dead material or deposit excessive quantities of ground fuel in a short period or in a danger period; and
- are located far enough away from the house so that they will not ignite the house by direct flame contact or radiant heat emission.

Wood piles, wooden sheds, combustible material storage areas, large areas/quantities of garden mulch, stacked flammable building materials etc should not be permitted in the Inner Protection Area.

Appendix 2 – Outer Protection Area Requirements

Outer Protection Area [OPA]

Asset Protection Zone [APZ] requirements

4.2.2 Components of an Asset Protection Zone

The Asset Protection Zone (APZ) should incorporate:

- an **Outer Protection Area [OPA]**; and
- an **Inner Protection Area [IPA]**, which should include a perimeter road or reserve [which incorporates an access track]

Specifications are set out in Tables 4.1 and 4.2.

a) Outer Protection Area:

[i] Location:

The Outer Protection Area is located adjacent to the hazard. Originally the Outer Protection Area would have been part of the bushfire hazard but has become an area where the fuel loadings are reduced.

[ii] Purpose:

The reduction of fuel in this area substantially decreases the intensity of an approaching fire and restricting the pathways to crown fuels; reducing the level of direct flame, radiant heat and ember attack on the Inner Protection Area.

[iii] Depth:

The depth of the OPA is largely dependent on the type of land use and vulnerability of the dwelling or persons affected. For residential development the OPA is usually 10m deep. For special protection development the OPA is usually 15m deep. Some variation may be possible in consultation with local fire authorities [RFS or NSWFB].

[iv] Fuel Loadings:

Within the Outer Protection Area any trees and shrubs should be maintained in such a manner that the vegetation is not continuous.

Fine fuel loadings within the OPA should be kept to a level where the fire intensity expected will not impact on adjacent developments. In the absence of any policy to the contrary, 8 tonnes per hectare of fuel is commonly used.

In grasslands, fuel height should be maintained below 10 centimetres.

Appendix 3 – Acceptable timber species

Level 1 & 2 Construction

Black-butt	Spotted Gum	Kwila [Merbau]
Turpentine	Red Iron Bark	Red River Gum
Silver Top Ash	Balau [Selangan]	Forest Red Gum
Jarrah	Tallowwood	Yellow Stringybark

Level 3 Construction

Blackbutt	Spotted Gum	Kwila [Merbau]
Turpentine	Red Ironbark	Red River Gum
Silver Top Ash		

The lists of timbers above meet the requirements of AS3959, 1999 for the levels of construction indicated and are therefore suitable for use for certain levels of construction as specified in AS3959, 1999

For additional information see 'Development Control Note 01 Use of Fire-Retardant-Treated Timber' available from and issued by The NSW Rural Fire Service.



Standfast Tree Services Pty Ltd

ABN: 73 099 603 817

PO Box 1266 Mona Vale 1660

Tel: (02) 9997 6574 or (02) 9997 7899

Email: info@standfast.com.au www.standfast.com.au fax: (02) 9997 8476

Arborist Report

Site: 282 Lower Plateau Rd, Bilgola Plateau

Client: Dusan Poljak 0409 116 485

Re: Angophora Costata

Findings:

- The Angophora is approximately 700mm DBH and stands approximately 17 metres high.
- It is situated at the rear north-eastern corner of the house 3.6 metres from the rear wall of the house.
- There is medium diameter deadwood throughout the canopy and epicormic growth is present. Foliage density is about 75% of full potential.
- There is kino weeping from two sites on the main stem of the tree:
 1. from an old branch – removal wound four metres above ground level on the northern side of the tree
 2. from what could be a longicorn attack 1.5 metres up on the western side
- The Angophora is of mature age and healthy
- The plans for a deck at the rear of the house call for the positioning of a concrete pier 300mm (approx) diameter and 300mm (approx) deep at three metres from the base of the tree.
- This would place the pier at the edge of the dripline

Conclusion:

The construction of the concrete pier will have little/no effect on the health of the Angophora as it is only a small disturbance at the edge of its dripline.

Yours faithfully,

Nigel Dean
Diploma in Horticulture (Arboriculture)
UPCA Tree Care Certificate
Ph: 0414 722 814

Encl: Plan of site
Photo of Angophora trunk in question.

APPROVED DEVELOPMENT CONSENT PLANS

SITE PLAN

Draw ID: HT/667/01

CLIENT

DATE 12-4-01

DRN Covered

SCALE 1:7m

HOME TEAM
CONSTRUCTIONS PTY LTD
187 - 189 WINDSOR RD, NORTHMEAD 2152
PHONE (02) 639 5555

187 - 189 WINDSOR RD, NORTHMEAD 2152

PHONE (02) 639 5555

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

FUTURE DECK
E PERGOLA

~~EXISTING RESIDENCE~~

EXISTING 700m
DBH Angophora.

1 1/2 STOREY BRICK &
TIMBER HOUSE - No 284

CITY PLAN SERVICES

Construction Cert. No: Approved Date:

26261

Verifying Authority: Brendan Bennett

Credexion No: PIA3004

GRADIENT 1:00.

RESERVE FOR PUBLIC RECREATION

AREAS:-

LOWER LEVEL-	9.32
MIDDLE LEVEL-	138.67
UPPER LEVEL-	43.96
GARAGE-	37.37
TERRACE-	21.13
DECK-	17.57
BALCONY-	6.24
TOTAL-	271.26 m

BUILT UPON AREA:-

FOOTPRINT-RESIDENCE - 159.80^{m²}
DRIVEWAY + TURNING BAY - 64.49^{m²}
PAVING - 21.38^{m²}
SITE AREA - 929.03^{m²}
BUILD UPON AREA - 26.4%
LANDSCAPE AREA - 73.6%.

BUILT UPON AREA -
LANDSCAPE AREA -

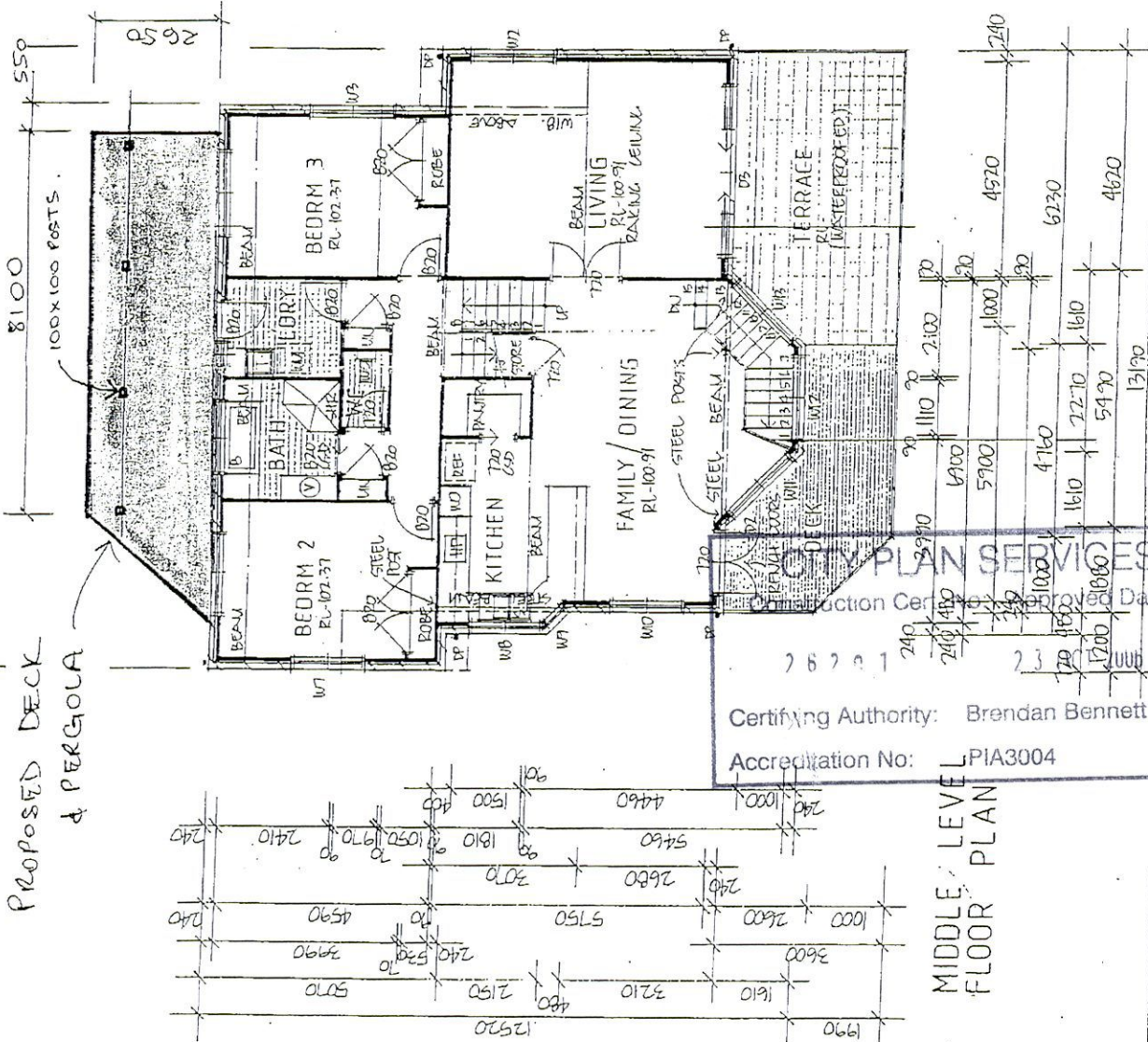
PITTWATER COUNCIL APPROVED DEVELOPMENT CONSENT PLANS

Drawn N. FT/667/101

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

DATE 12.4.01	CLIENT
DRN 6824/1	MR. D & MRS. E POLJAK
CHECKED	AT: LOT 113, NP 282 LOWER PLATEAU RD, BILGOLA PLATEAU.
SCALE 1:100.	

**HOME TEAM
CONSTRUCTIONS**
PTY LTD
187 - 189 WINDSOR RD, NORTHMEAD 2152
PHONE (02) 639 5555



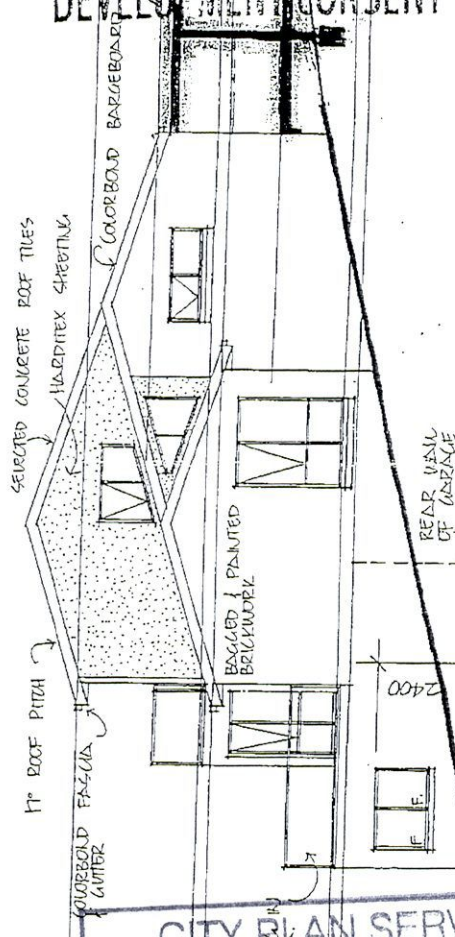
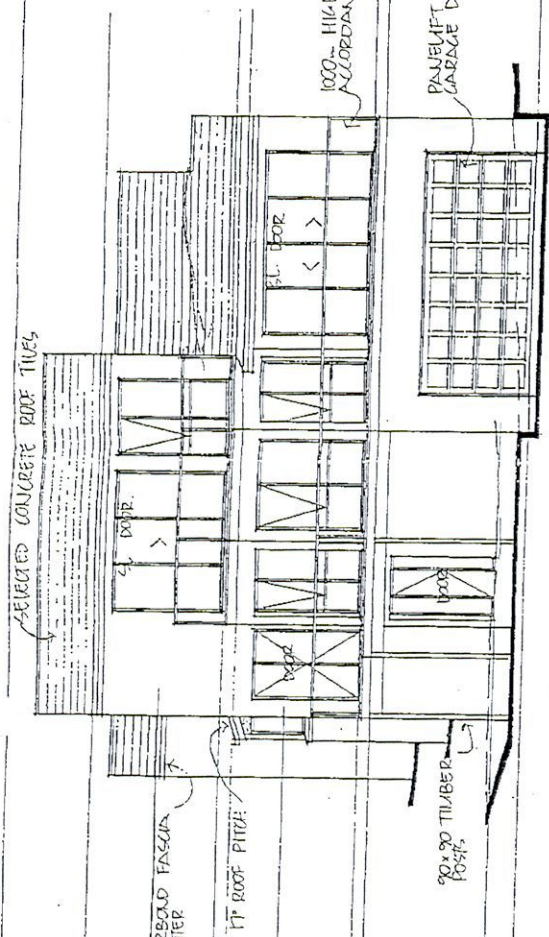
NO	DATE	REVISION

PITTWATER COUNCIL APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

NORTH WEST ELEVATION

SOUTH WEST ELEVATION



CITY PLAN SERVICES
Construction Cert. No: Approved Date:
2528
Certifying Authority: Brennan Bennett
Accreditation No: PIAG 004
100% HIGH BAUSTRADUK IN ACCORDANCE WITH B.C.A.
REFER TO DRAWING SHEET 1 OF 2

Drawn by: HT/667/01

DATE	12-4-01
DRN	HT/667/01
CHECKED	
SCALE	1:100

HOME TEAM CONSTRUCTIONS
PTY LTD
187 - 189 WINDSOR RD, NORTHMEAD 2152

NO	DATE	REVISION

CLIENT
TO: MR. D & MRS E. PAULAK
OF: LOT 113, NP282 LOWER PLATEAU RD,
BIGGARA PLATEAU

CONSTRUCTION NOTES

GENERAL

- G1 These drawings is to be read in conjunction with the architect drawing.
- G2 During construction the structure shall be maintained in a stable condition and no part shall be over stressed.
- G3 U.N.O. stands for unless noted otherwise.
- G4 The structural elements shown on these drawings have been designed for superimposed loads as follows:
- 4.0 kPa – Balconies & stairs
 - 3.0 kPa – Offices & Garage
 - 0.25 kPa – Roofs
 - 1.5/2.0 kPa – Elsewhere
- G5 All materials and workmanship are to be of the highest standard and in accordance with any relevant S.A.A. code relating to their application. Certificates to this effect from a N.A.I.A. approved testing laboratory shall be furnished on request.

CONCRETE:

- C1 All workmanship and materials shall be in accordance with current editions of A.S. 3600 except as varied by contract documents.
- C2 Cement to Type 'A' U.N.O. Concrete components and quality shall be as follows: –

Element	f _c MPa	Slump mm	Max Size Agg.	Density (kg/cu.m)
Piers	32	80	20	2400
Footings	25	80	20	2400
Slabs on ground	25	80	20	2400
Suspended concrete	32	80	20	2400
Columns	32	80	20	2400

Slab on ground	A1	30	40	45
Susp Slabs (ext)	A1	20	40	45
Susp Slabs (int)	A1	20	40	45
Beams	A1	25	40	45
Columns	A1	30	40	45
Piers	A1	30	40	45
Footings	A1	40	60	45

- C3 Clear cover to reinforcement unless otherwise shown shall be:

- C4 Mechanically vibrate all concrete in the forms to give maximum compaction without segregation.
- C5 Conduits shall not be placed between reinforcement and concrete surfaces.
- C6 Construction joints shall be properly formed and used only where shown or specifically approved by the Engineer.
- C7 No holes, chases or embedment of pipes, other than those shown on the structural drawings, shall be made in concrete members without prior approval by the Engineer.
- C8 Splices in reinforcement shall be made only in the positions shown or as otherwise approved by the Engineer.
- C9 Lapped fabric splices shall be so made that the overlap, measured between outermost transverse wires of each sheet of fabric, is not less than the spacing of the wires plus 25mm.
- C10 Reinforcement is shown diagrammatically, it is not necessarily shown in true projection.
- C11 All reinforcement fabric shall be to A.S. 1304
- All reinforcement bars shall be to A.S. 1302
- Symbols: F: wire reinforcing fabric, R: structural grade round bar, S: structural deformed bar, Y: hot rolled high strength deformed bar, BTM: bottom, TM: trench mesh.
- Example of designation code for reinforcing bars: –
- No of bars in group 17N20 – 350 bar grade and type
- nominal bar size in mm 17N20 – 350 spacing in mm
- C12 Where transverse tie bars are not shown, provide Y12–400. Splice where necessary and lap with main bars for 400mm.
- C13 All concrete shall be placed and 'cured' in accordance with A.S. 3600. Where curing compound is used it must be applied (a) onto slabs within 2 hours of finishing operation (b) onto walls and columns immediately after removal of formwork.
- C14 Horizontal formwork shall stripped when approved by the Engineer.
- C15 Slabs and beams shall bear only on the beams, walls, etc., shown on the drawings; all other building elements shall be kept 15mm clear from soffits of structure.
- C16 All slabs on ground shall be placed on waterproof membrane over 50mm layer of sand

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EXCAVATOR

- E1 All excavation and backfill shall be carried out neatly to the lines. Levels and grades specified.
- E2 Any backfill material required or specified shall be compacted generally to a density equivalent to at least 95% of its maximum dry density (Test method in accordance with AS1289–E1.1 – Standard Compactive Effort)
- E3 Fill material beneath edge beams to be compacted in accordance with clause 6.4.2 of AS2870–1996 and as specified in note E2.
- E4 All top soil, vegetation and deleterious material shall be stripped from the building platform prior to the commencement of earthworks.

FOUNDATIONS

- F1 Footings have been designed for a uniform bearing pressure of **100 kPa** Foundation material shall be approved for this pressure before placing concrete in footings.
- F2 If the conditions encountered appear to differ substantially from the conditions depicted on these plans or reported in the Geotechnical Engineer's report, the Structural Engineer and/or the Geotechnical Engineer must be notified immediately.
- F3 If the conditions encountered appear to differ substantially from the conditions depicted on these plans or reported in the Geotechnical Engineer's report, the Structural Engineer and/or the Geotechnical Engineer must be notified immediately.

STRUCTURAL STEEL WORK

- S1 All workmanship and materials to be in accordance with A.S. 4100
- A.S. 1554 and for tubular members, A.S. 1163
- S2 Unless otherwise noted all structural steel be be Fy = 300 MPa in accordance with A.S. 3679, tubular members A.S. 1163, black bolts A.S. 1111 and high strength bolts A.S. 1252
- S3 All welds to be 6mm continuous fillet unless noted otherwise, and welding is to be in accordance with A.S. 1554.
- S4 U.N.O. all structural steelwork bearing on masonry to be bedded on 20mm thick and full width cement mortar grout pad.
- S5 Except where steelwork is concrete encased or where noted otherwise, all structural steelwork to be surface cleaned to remove loose mill scale, rust, dirt, grease, etc., and given one shop coat of red-oxide zinc-chromate primer.
- S6 Two copies of checked workshop drawing to be submitted to the Engineer and approval obtained in writing from him before fabrication is commenced. Approval covers structural sufficiency of joints and members and not dimensioning accuracy.
- S7 Trench mesh shall be spliced where necessary by a lap of 500mm. All cross wires to trench mesh shall be cut flush with outer main wires.
- S8 All reinforcement shall be supported at 1000mm maximum centres to maintain the nominated position and covers.
- S9 Splices in reinforcement shall be made in accordance with the provisions of Table 13.1.2.2.A of AS3600–2000 or in accordance with the following table:

Bar Size	N12	N16	N20	N24	N28	N32
Splice Length (in mm)	400	600	800	1200	1200	1200

STRUCTURAL TIMBER

- T1 All workmanship and materials to be in accordance with current editions of AS 1720 and AS 1684.
- T2 All timber to be minimum stress grade F5 U.N.O.
- T3 No timber beams or joists to be notched unless specified by Engineer
- T4 Provide double joists around openings and under walls above U.N.O.
- T5 External timber to be durability class 1 or 2

MASONRY

- M1 Provide sliding surface consisting of 2 layers of galvanised iron sheets with graphite grease in between top and bottom of all load bearing masonry walls in contact with suspended slabs. Prior to application of sliding surface, the concrete or masonry shall be level and smooth.
- M2 No masonry walls to be erected on suspended slabs and beams until all propping has been removed.
- M3 Bricks used in load bearing construction shall have a minimum compressive strength (as per A.S. 3700) of 20 MPa unless otherwise noted.
- M4 Provide 12mm polystyrene bond breaker between vertical face of masonry walls and concrete.

BLOCKWORK

- B1 Block walls shall be constructed with Double "U" blocks throughout.
- B2 "Clean-Out" openings shall be provided at the base of the wall to permit removal of mortar droppings.
- B3 Where horizontal reinforcement is used, special block units with recessed webs are to be provided.
- B4 Grout shall have a 28 day compressive strength of 25 MPa (min) and a slump of 120 mm.
- B5 Mortar shall be composed of one part cement, one tenth part lime and three parts sands.
- B6 Mortar droppings at joints to be rodded and removed at bottom of blocks through clean out openings prior to filling all cores.
- B7 Where vertical reinforcement is to be provided in both faces, bars are to be located in alternate cores.
- B8 Where horizontal reinforcement is to be provided in both faces it shall be provided in staggered courses.
- B9 a) total cover to outside of blockwork shall 65mm
b) vertical & horizontal bars shall be giv. & if inspection reveals the vertical steel cannot be placed accurately, the wall must be demolished & similar starter bars must be accurately positioned by templates of similar means. Starter bars must be approved by Council's Building Surveyor on Cert. No. 1
c) vertical bars shall be tied to starter bars through inspection openings at the base of the wall & also accurately fixed in position, at the top by an appropriate method
d) steel shall be accurately placed and firmly held into position to a tolerance of 10mm
e) grout shall be compacted by vibrating or rodding
f) grout shall be compacted by vibrating or rodding

PIERING WORKS NOTES

- P1 Final piercing and extent of piercing works to be determine on-site subject to the results of the test hole/initial excavation and verification by the Structural Engineer.
- P2 Where required, all piercing is to conform to the following table:

Bearing Strata	Design Bearing Capacity	Single Storey	Double Storey
Sand	100KPa	800mm x 300mm bucket	Continuous edge beam deepening
Controlled Clay	100KPa	Continuous edge beam deepening Piers @200mm max crs. or 700mm x 300mm bucket Piers @800mm crs	Continuous edge beam deepening Piers @200mm max crs. or 800mm x 300mm bucket Piers @1200mm max crs.
Stiff Natural Clay	250KPa	400mmØ Bored Piers @ 1800crs.	400mmØ Bored Piers @ 1500crs.
Shale/Rock	600KPa	700mm x 300mm bucket	450mmØ Bored Piers

- P3 Pier reinforcement to be directed by Engineer on site.
- P4 Where shale/rock strata encountered less than 600mm below finished ground level provide piers to shale/rock strata in accordance with table above
- P5 Where piers are req'd adjacent to service trenches the strata encountered adjacent to these services trenches must be encountered throughout the remainder of the dwelling.
- NOTE: These details conform with the recommended design procedure contained in AS2870–1996 for the specific site identified on this drawing.

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DATE	DESCRIPTION	ISSUE
AMENDMENTS		
DATE	FILE NAME	APPROVED
20/10/06	construction notes	M.F.B.
SCALE	NTS	
DATE	DATE	
20/10/06	20/10/06	
PROJECT		
ADDITIONS & ALTERATIONS		
FOR: Mr Dunsen Poljak		
282 Lower Plateau Road		
Bilgicli Plateau NSW 2107		
CONSTRUCTION NOTES		
DRAWING NO. 1/3		
JOB NO. SD0610-4		

PLAN SERVICES

Approved Date:

23 OCT 2006

Accreditation No: PIA3004

Brandon Bennett

