

Pittwater Council

ABN: 61340837671

TAX INVOICE
OFFICIAL RECEIPT

09/06/2004 Receipt No 143629

To INSIGHT DEVELOPMENT
CONSULTANTS

470 BARRENJIDEY ROAD
AVALON

Qty/ Applic	Reference	Amount
1 GL Rec	RMIC-Rcnd 1 X N0861/03	\$27.27
GL Rec	BST	\$2.73
1 GL Rec	CCGST-CCF 1 X SURCHARGE	\$0.27
GL Rec	BST	\$0.03
To GL Receipts:		

Total Amount:	\$30.30
Includes GST of:	\$2.76

Amounts Tendered

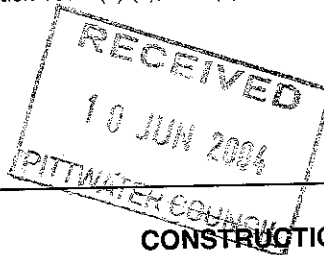
Card	\$30.30
Total	\$30.30
Rounding	\$0.00
Change	\$0.00
Nett	\$30.30

Printed 09/06/2004 5:09:54 PM

Cashier CLumas

CONSTRUCTION CERTIFICATE

Issued under the Environmental Planning and
Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)



COUNCIL: Pittwater

CONSTRUCTION CERTIFICATE: 2004/155

APPLICANT

Name **Mr Raymond Le Plongeon**
Address **470 Barrenjoey Road, Avalon NSW 2107**
Contact No: (telephone/fax) **9918 7982**

OWNER

Name **Raymond V Le Plongeon & Charmaine Venturi**
Address **470 Barrenjoey Road, Avalon NSW 2107**
Contact No: (telephone/fax) **9918 7982**

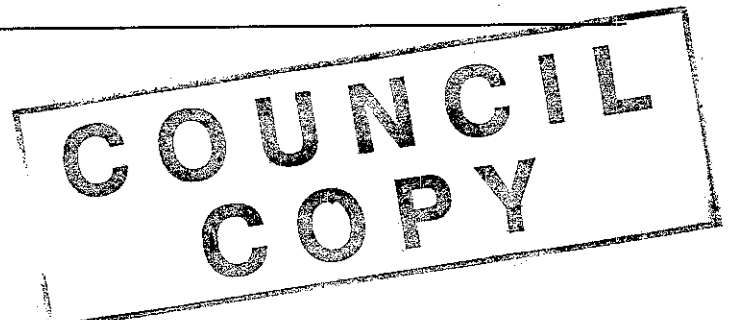
SUBJECT LAND

Address **470 Barrenjoey Road, Avalon**
Lot No: **66** DP: **15295**

DESCRIPTION OF DEVELOPMENT

Type of Work Building work Subdivision work
Description **Timber deck and sail awning**

Insight Development Consultants Pty Limited



DEVELOPMENT CONSENT

Development Consent No: **NO 861/03 (as modified)**
Date of Determination **15 March 2004, modified 27 May 2004**

BUILDING CODE OF AUSTRALIA

Building Classification **10b**

BUILDER or OWNER/BUILDER

Contractor License No./Permit **Christensen Timber Designs Pty Ltd**
No. in case of Owner Builder **No: 141367C**

\$ VALUE OF WORK

Building/Subdivision **\$11,500.00**

DATE C.C APPLICATION RECEIVED

Date Received **7 June 2004**

DETERMINATION

Decision **Approved**
Date of Decision **9 June 2004**

ATTACHMENTS

Nil

Insight Development Consultants Pty Limited

**PLANS AND SPECIFICATIONS
APPROVED/REFUSED**

List plan no(s) and specifications
Reference

1. Architectural Details, Reference No. 564-01(A) 02(A), 03(A), 04(A) & 05(A), prepared by J D Evans & Company Pty Ltd, dated 19 April 2004.
2. Sediment & Erosion Control Plan, Reference No. 564, prepared by J D Evans & Company Pty Ltd, dated 14 November 2003.
3. Structural Details, Reference No. 2251-S1(A), prepared by D O'Brien Engineering Services Pty Ltd, dated 8 April 2004.
4. Certificate of Structural Adequacy, Reference No. 12251 issued by D O'Brien Engineering Services, dated 20.4.04.

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

CERTIFICATE


Certificate Final

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A(5) of the Environmental Planning and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority Insight Development Consultants Pty. Limited
Name of Accredited Certifier Tom Bowden
Registration No 93
Contact No (02) 9999 0003
Address 7 Kingsford Avenue, Eastwood NSW 2122

SIGNED



DATE

1-9 JUN 2004

Insight Development Consultants Pty Limited

**NOTICE OF COMMENCEMENT OF BUILDING WORK AND
APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY**Under Environmental Planning and Assessment Act 1979
Section 81A (2) (b), (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)**SUBJECT LAND DETAILS:**No: 470 Lot No: 66 DP No: 15295
Street/Suburb: barrenjoey Road, Avalon**Description of
Approved Development:**

Timber deck & sail awning

OTHER CONSENT/S: Council D/A or Complying Development

Consent No: 861/03

Date of Determination: 15/3/04 (mod. 27/5/04)

CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE DETAILS:

Certificate No: 2004/155

Date of Issue: 9 JUN 2004

PRINCIPAL CERTIFYING AUTHORITY DETAILS:

Accredited Certifier: Tom Bowden

Accreditation No: 93

Have all conditions been satisfied prior to the commencement of work: **Yes** **No** (Conditions may include payment of Security deposits, Section 94 Contributions, Section 94 Contributions, endorsement of building work plans by Water Supply Authority, LSL Contributions).**COUNCIL
COPY**

HOME BUILDING ACT 1989 REQUIREMENTS

Principal certifying authority has been advised of the requirements of CI 78C of the Regulation

Yes

No

N.A.

DATE THE BUILDING WORK IS TO COMMENCE:

12.06.04.

SIGNED

Applicant's Name:

M. P. [Signature]

Date:

14/4/04.

SERVICE AGREEMENT

I, the undersigned, declare that I have the legal authority (express or implied) to engage a Principal Certifying Authority for the building works described in this document and verify that all information pertaining to such work is correctly stated on this form.

I understand that this Notice must be given to the relevant Local Council two (2) days prior to the intention to commence building work in accordance with S81A (2)(c) of the EP&A Act and verify that no building work will commence prior to the date given in the 'Date the Building Work is to Commence' section of this document.

As a condition of appointing the Principal Certifying Authority stipulated on this form, I agree to undertake the following responsibilities; to contact the PCA at the specified stages of development (as indicated below); to carry out building work in accordance with a current development approval; to notify the PCA of any intent to depart from the issued development approval as soon as the intention arises; and to verify all documents provided to the Private Certifying Authority are bona fide and correct in detail.

I agree to contact the PCA at the specified stages of development, but not limited to these stages, in order to obtain an inspection as follows:

* Siltation & Erosion Control Measures * Stormwater * Framework * Wet Areas * Completion * Any other stage as specified by the PCA.

I fully understand that failure to do so may result in the PCA issuing a Notice of Intention to Serve an Order.

Signature:

M. P. [Signature]

Dated:

Print Name:

On behalf of:

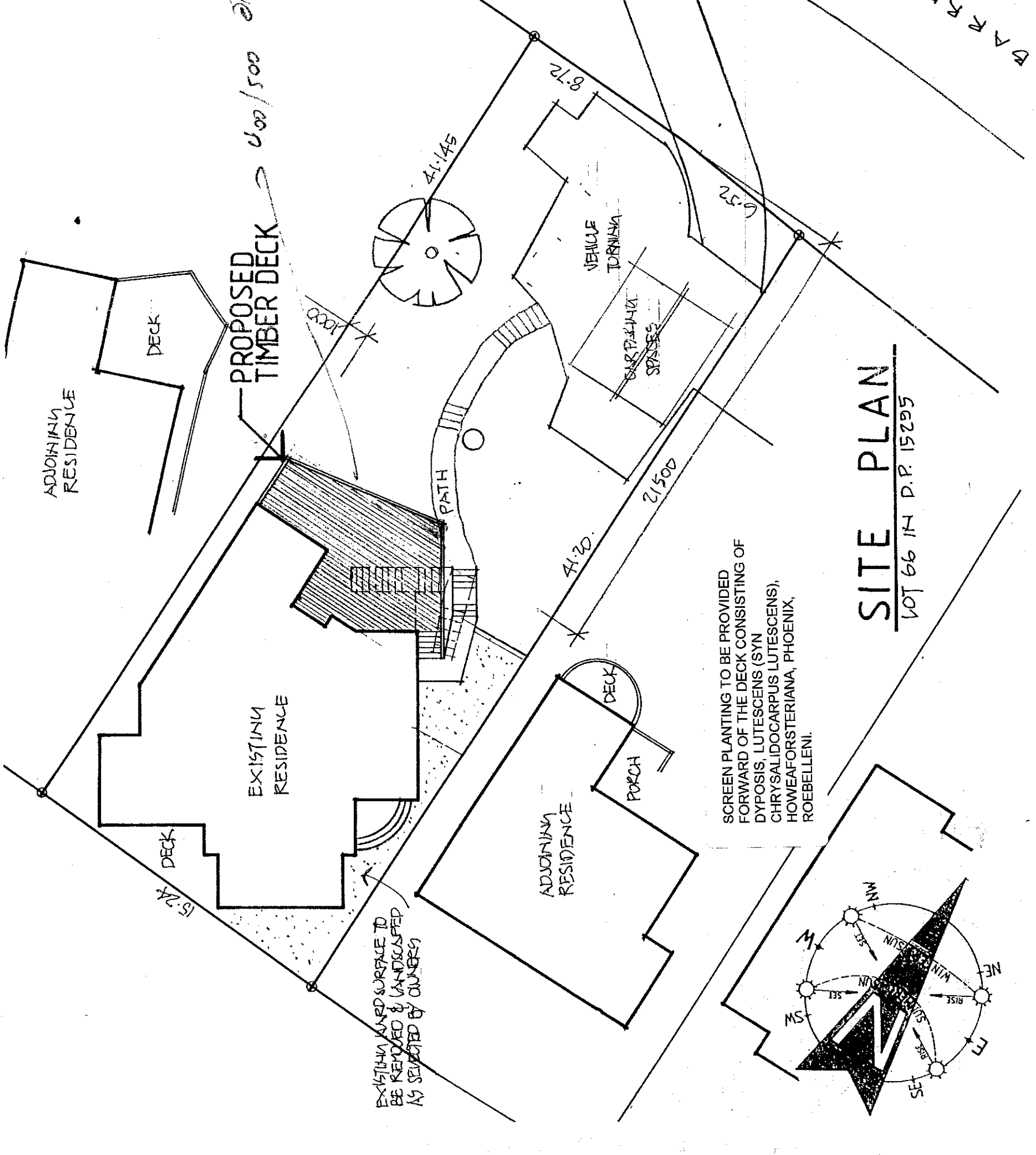
Address:

564-01



2251

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD
 CONSENT NO. 861/03 DATE 15/3/04 (MOD. 27/5/04)
 CONSTRUCTION CERT. NO. 2004/155
CONSTRUCTION CERTIFICATE PLANS
 Bowden - 9 JUN 2004
 T. Bowden Accreditation No. 93

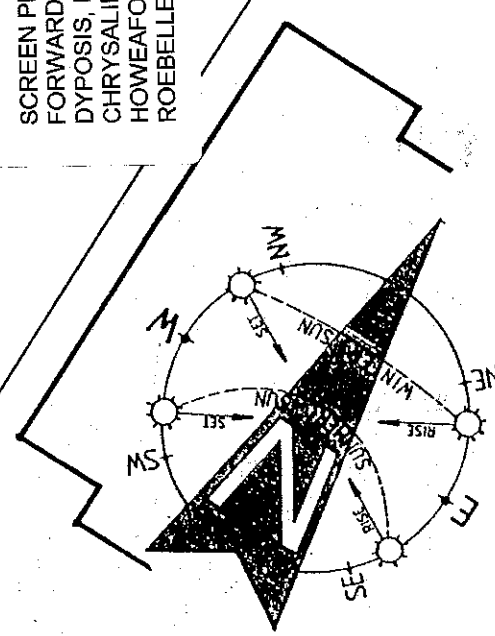


FITTINGLY COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS
 NOTE: THESE PLANS MUST BE CONJUNCTION WITH THE DEVELOPMENT CONSENT

DEVELOPMENT CALCULATIONS	
DESCRIPTION	EXISTING sqm / PROPOSED sqm
FLOOR AREA	223 / 223
ROOF AREA	223 / 223
SITE COVERAGE SURFACE AREA	312 = 51% / 312 = 49%
LANDSCAPING AREA	307
SITE AREA	629
	NOT APPLICABLE

SITE PLAN
 LOT 66 IN D.P. 15295

SCREEN PLANTING TO BE PROVIDED FORWARD OF THE DECK CONSISTING OF DYOPSIS, LUTESCENS (SYN CHRYSALIDOCARPUS LUTESCENS), HOWEA FORSTERIANA, PHOENIX, ROEBELLENII.



THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

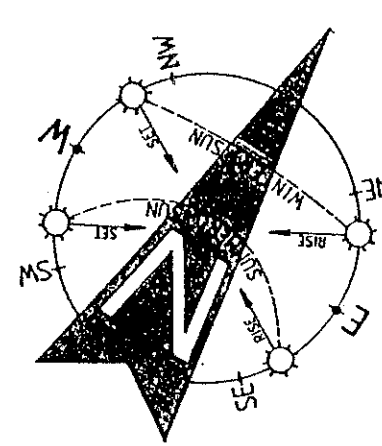
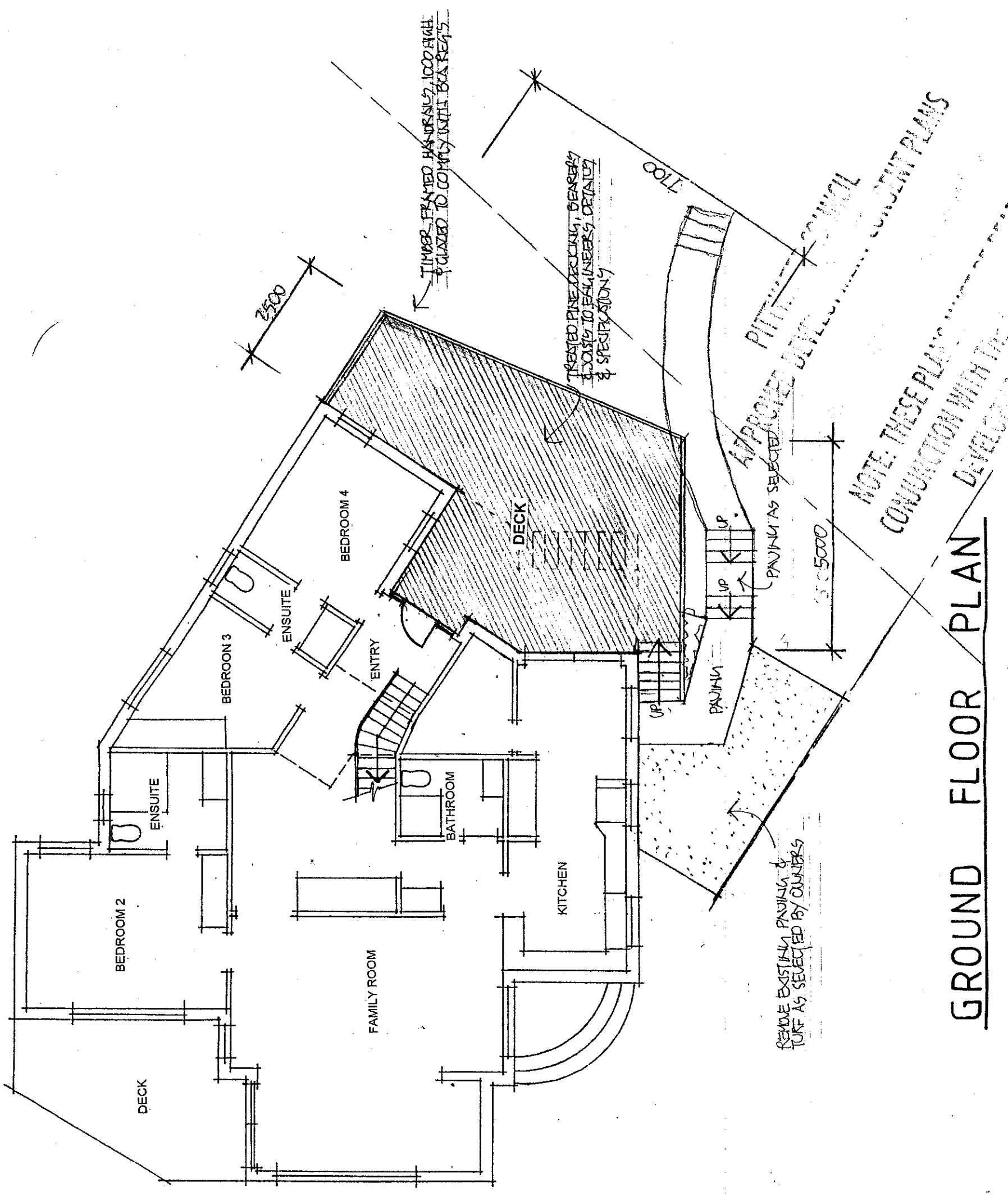
1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
 4. All timber construction to be in accordance with the "Timber Frame" code.
 5. Any electrical work to be installed in accordance with the relevant standards and the manufacturer's instructions, except for any electrical work to be installed in accordance with the relevant standards and the manufacturer's instructions.
 6. Final color & material selections to be approved by the architect or as directed by local council inspectors.
 7. All electrical power & light outlets to be determined by a qualified electrician.

8. Home loan and other all building related matters remain the responsibility of the borrower.

PROJECT
 PROPOSED TIMBER DECK AT
 No. 47 PARRENGOY ROAD
 AVALON BEACH N. S. W. 2107
CLIENT
 R LEPLONGEON & C VENTURI

J.D EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 RIVIERA AVE, AVALON BEACH, 2107
 Phone: (02) 9918 9206 Fax: (02) 9973 2454
 Mobile: 0488 976 596

DATE 14/11/03 SCALE 1:100, 1:200
 DRAWN JDE CHECKED
 DRAWING NO. 564-01 ISSUE
 DATE 19-4-04



THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

GROUND FLOOR PLAN

COPYRIGHT
 ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR TRANSMITTING IN ANY MANNER OR IN PART WITHOUT PRIOR WRITTEN PERMISSION WILL RESULT IN LEGAL PROCEEDINGS.
 J.D. EVANS and COMPANY PTY. LTD.
 74 RIVIERA AVE, AVALON BEACH, QLD
 AUSTRALIA

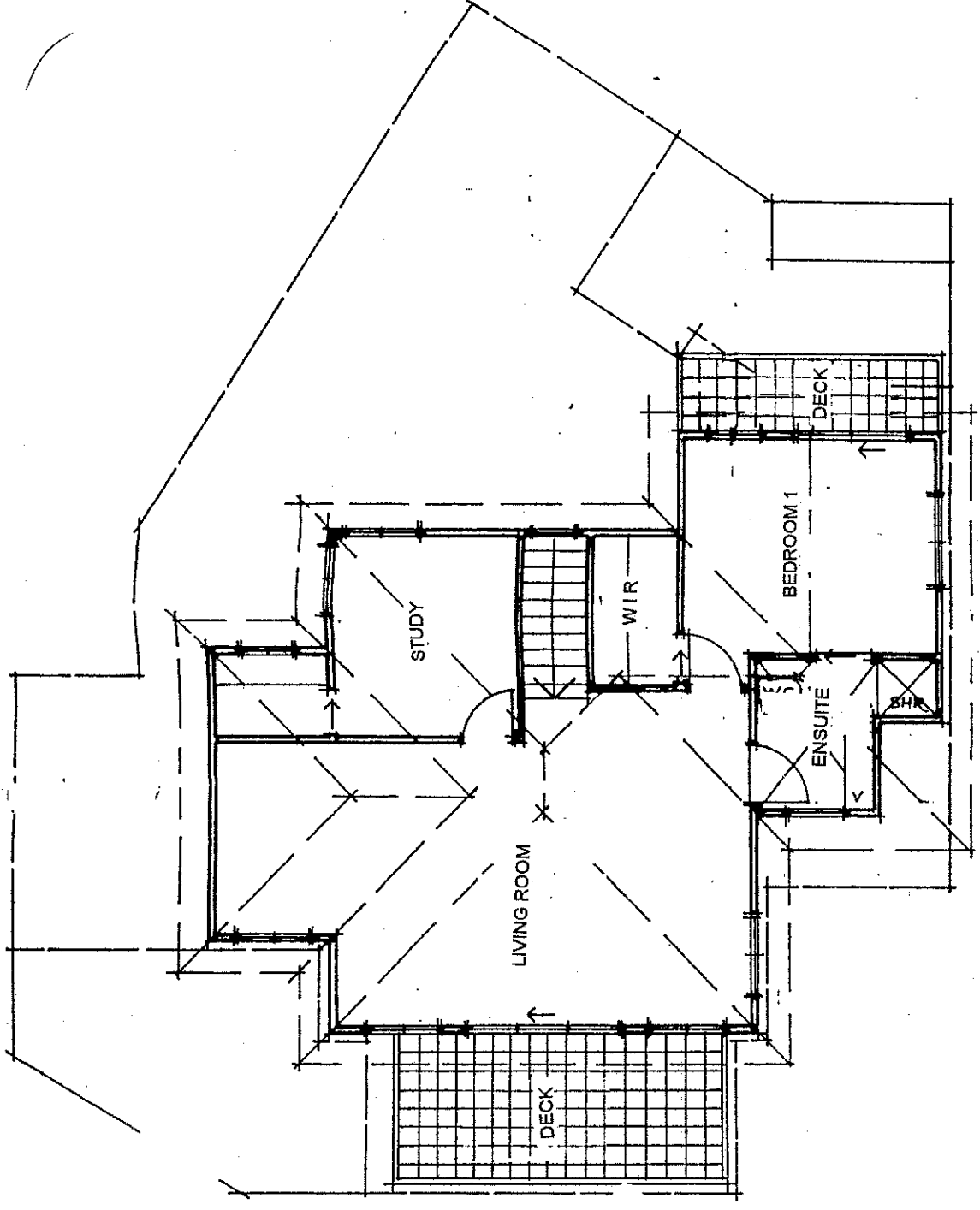
1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All structural construction to be in accordance with the "AS/NZS 3600" code.
5. Any structural alterations to what is shown shall be approved by the owner and the builder to the owner's approval, except for any structural alterations to what is shown which is to be subject to a Structural Engineer.
6. All electrical & plumbing drawings to be approved by the appropriate authority or as directed by local council's inspectors.
7. All electrical & plumbing work to be undertaken by a qualified electrician or plumber.
8. All work and materials to be approved by local council. Please submit necessary applications where possible.

NO.	DATE	DESCRIPTION
1	10/11/03	AS PER APPROVED DEVELOPMENT CONSENT PLANS

J.D. EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 RIVIERA AVE, AVALON BEACH, 2107
 Phone (02) 9918 9206 Fax (02) 9973 2454
 Mobile 048 976 596

PROJECT: PROPOSED TIMBER DECK AT
 No. 470 BARRENJOEY ROAD
 AVALON BEACH N. S. W. 2107
 CLIENT: R LEPLONGEON & C VENTURI

DATE 14/11/03 SCALE 1:100, 1:200
 DRAWN BY JOE CHECKED
 DRAWING NO. 564-02 ISSUE A
 19-4-04

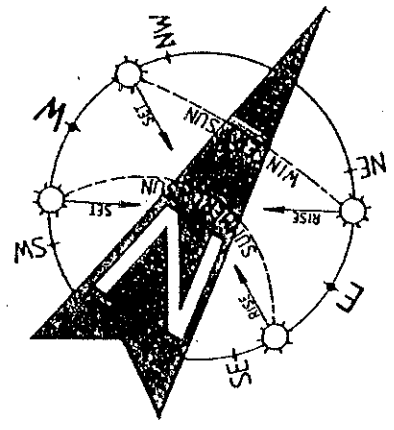


PITWATER COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
 CONJUNCTION WITH THE CONDITIONS OF
 DEVELOPMENT CONSENT

FIRST FLOOR PLAN

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All construction to be in accordance with the "Timber Frame" code.
5. Any structural details or work in conjunction with the "Timber Frame" code, which is not specified in the drawing, shall be approved by a Structural Engineer.
6. Roof water & drainage to be in accordance with the drawings & to the satisfaction of the owner and the builder to the owner's approval, except for any structural details or work in conjunction with the "Timber Frame" code.
7. All electrical power & light outlets to be determined by owner.
8. Make good and finish all existing structures damaged by this work, unless existing structures are to be demolished.

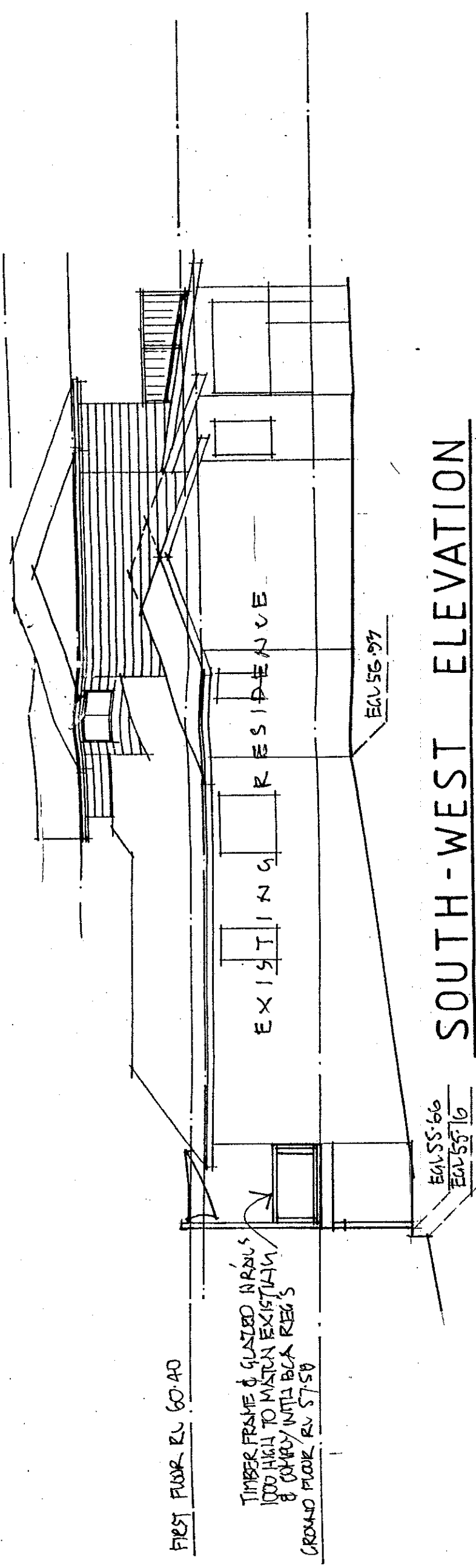
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 J.D. EVANS and COMPANY PTY. LTD.
 74 RIVIERA AVE, AVALON BEACH, QLD

NO.	DESCRIPTION	DATE
1	AS DECISIONS APPROVED	12/11/03

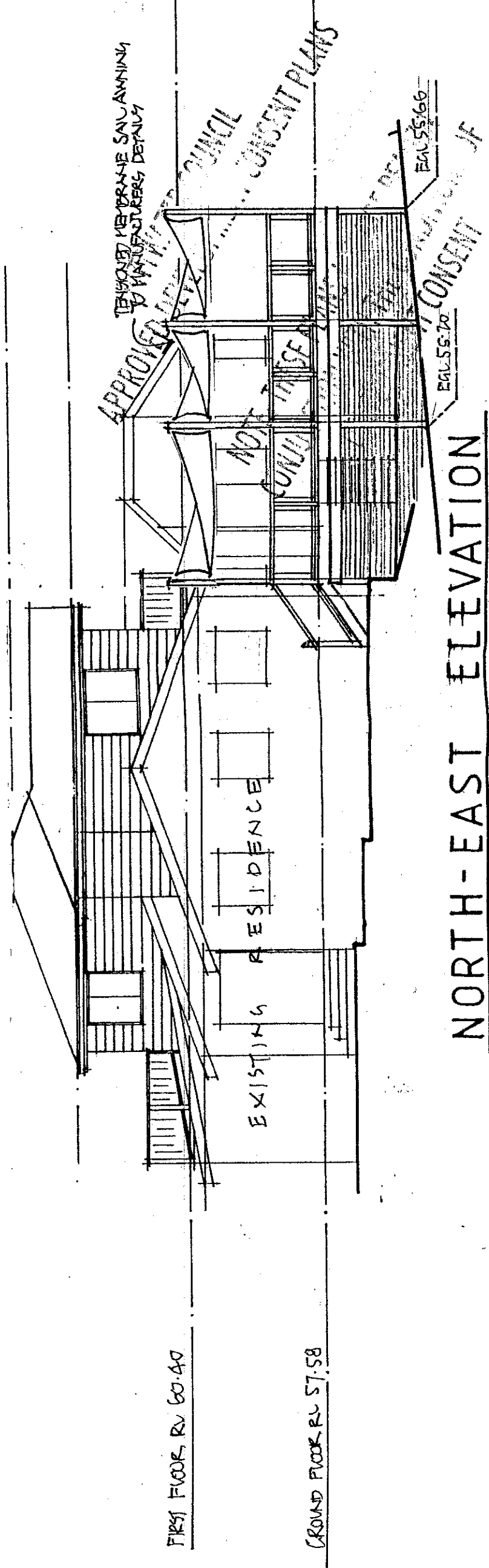
J.D. EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 RIVIERA AVE, AVALON BEACH, QLD 2107
 Phone (02) 9818 9208 Fax (02) 9973 2454
 Mobile 0487 976 596

PROJECT
 PROPOSED TIMBER DECK AT
 No. 470 BARRENJOEY ROAD
 AVALON BEACH N.S.W. 2107
 CLIENT
 R LEPLONGEON & C VENTURI

DATE	14/11/03	SCALE	1:100, 1:200
DRAWN	JDE	CHECKED	
DRAWING NO.	564-03	ISSUE	A
			19/04/04



SOUTH-WEST ELEVATION



NORTH-EAST ELEVATION

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

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 J.D. EVANS and COMPANY PTY. LTD
 74 RIVIERA AVE, AVALON BEACH, QLD

Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing. All dimensions that apply to the construction and materials are subject to verification by a site survey. All work to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities. All further construction to be in accordance with the approved plans and the builder to the owner's approval, except for any structural details or design which is to be approved by a Structural Engineer. Their order & non-scale drawings to be approved in the approved manner or as directed by local council inspectors. All electrical power & light outlets to be determined by owner. Have good and proper of making finished materials where possible.

No.	REVISION	DATE
1	ADDED PER ALIERS	19/11

J.D. EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 RIVIERA AVE, AVALON BEACH, 2107
 Phone (02) 9918 9206 Fax (02) 9913 4454
 Mobile 045 976 596

PROJECT
 PROPOSED TIMBER DECK AT
 No. 470 BARRENJOEY ROAD
 AVALON BEACH N. S. W. 2107
CLIENT
 R LEPLONGEON & C VENTURI

DATE 14/11/03 SCALE 1:100, 1:200
 DRAWN JOE CHECKED
 DRAWING No. 564-04 17/4/04
 ISSUE A



RIDGE RU 64.30

FIRST FLOOR RU 60.40

GROUND FLOOR RU 57.58

SOUTH-EAST ELEVATION

NO ALTERATIONS

TENSIONED MEMBRANE SKIN
AWNING TO MATCH FACT'S DETAILS

FIRST FLOOR RU 60.40

GROUND FLOOR RU 57.58

150 X 150 TIMBER POSTS
ON H.S. GALV. SHOES

NORTH-WEST ELEVATION

APPROVED BY WATER-CORPORATION
FOR DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE APPROVED IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing. All dimensions that relate to site boundaries and easements are subject to verification by a suitably qualified person. This drawing is to be constructed in accordance with the BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities. In addition to what is stipulated, all work shall be in accordance with the "TASER FRAME" code. All structural work, or design which is to be supplied by the owner and the builder to the owner's approval, except for electrical, plumbing, or other services, shall be determined by a Structural Engineer. All electrical, plumbing, or other services shall be determined by a suitably qualified person. All work shall be done in accordance with the Building Code of Australia (BCA) and other applicable legislation. All work shall be done in accordance with the Building Code of Australia (BCA) and other applicable legislation.

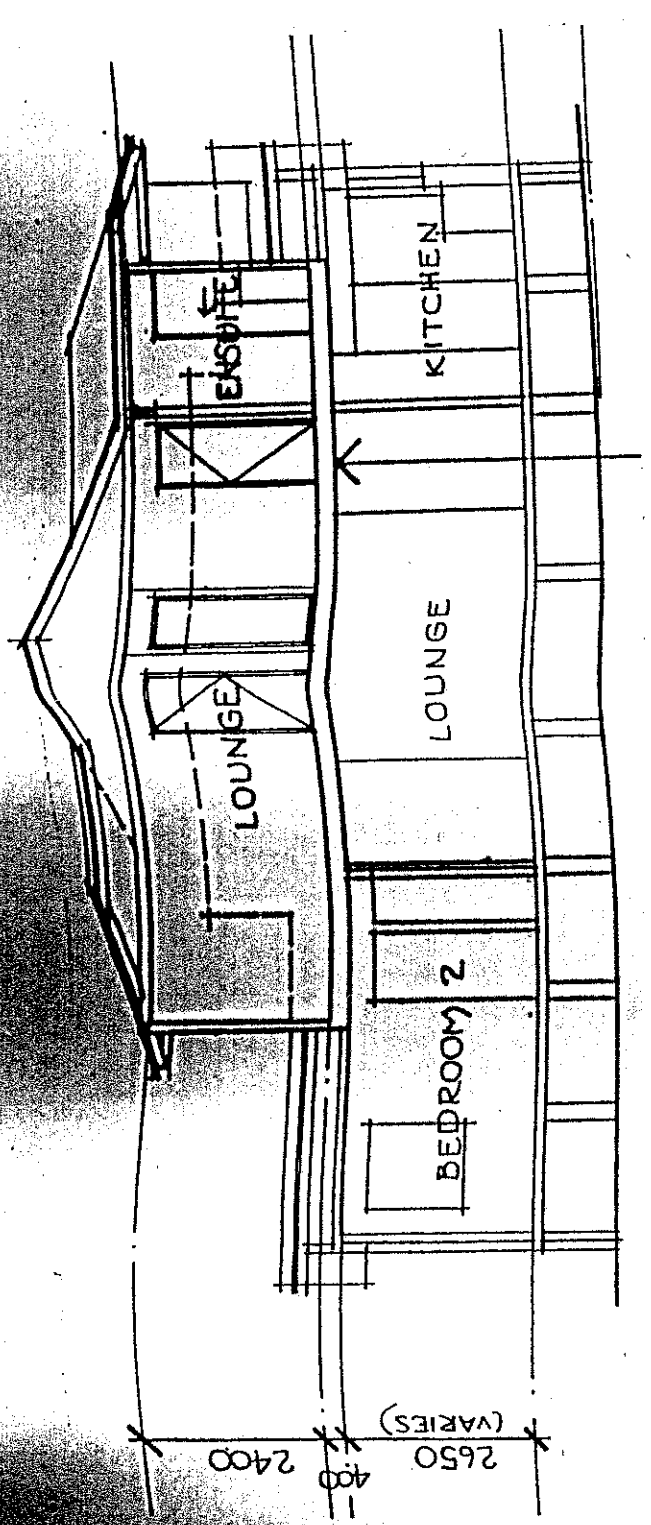
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No.	DESCRIPTION	DATE
1	ISSUE	19/4/04

J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 0488 976 596

PROJECT
PROPOSED TIMBER DECK AT
No. 470 BARRENJOEY ROAD
AVALON BEACH N.S.W. 2107
CLIENT
R LEPLONGEON & C VENTURI

DATE 14/11/03 SCALE 1:100, 1:200
DRAWN JOE CHECKED
DRAWING No. 564-05 ISSUE A
19/4/04



SECTION A - A

PITTMATTA COUNCIL
 APPROVED DEVELOPMENT CONSENT PLANS
 NOTE: THESE PLANS MUST BE READ IN
 CONJUNCTION WITH THE PROVISIONS OF
 DEVELOPMENT CONSENT

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

Builder to check and confirm all necessary dimensions on the site to construction. Do not scale the drawing. All dimensions that relate to site boundaries and setbacks are subject to verification by a site survey. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities. All timber construction to be in accordance with the "TIMBER FRAME" code. Any necessary permits or approvals to be obtained by the applicant and the builder to the owner's approval, except for the construction of a sub-slab which is to be determined by the appropriate authority or as directed by local council inspectors. All materials and workmanship to be determined by the appropriate authority or as directed by local council inspectors. Home stock and repair of existing structures determined by the owner. Home building materials where possible.

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 74 RIVIERA, AVALON BEACH, 2107
 Phone (02) 949 5206 Fax (02) 9973 2454
 Mobile 048 976 596

NO.	REVISION	DATE
1	AS PER DIRTY NEEDED	19/4
2		
3		
4		
5		
6		
7		
8		
9		
10		

J.D. EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 RIVIERA, AVALON BEACH, 2107
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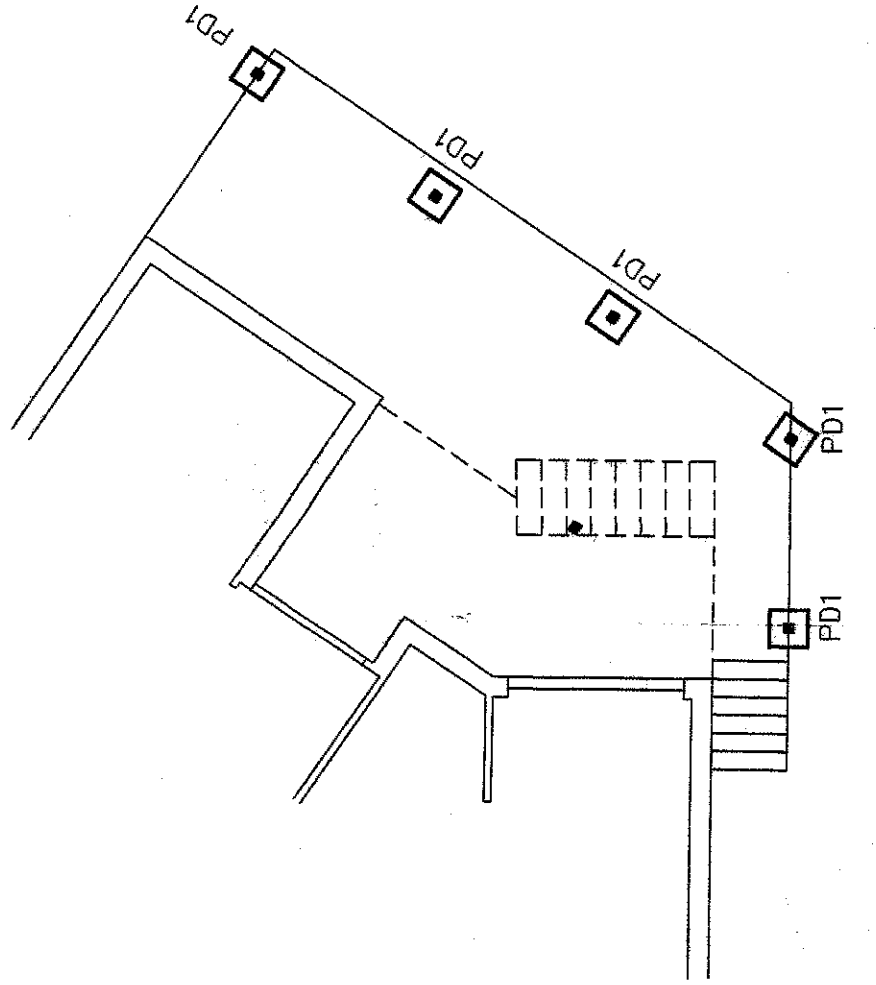
PROJECT
**PROPOSED TIMBER DECK AT
 No. 470 BARRENJOEY ROAD
 AVALON BEACH N. S. W. 2107**
 CLIENT
R LEPLONGEON & C VENTURI

DATE 14/11/03 SCALE 1:100, 1:200
 DRAWN JOE CHECKED
 DRAWING NO. **564-06**
 ISSUE 19/4/04

GENERAL NOTES

1. All drawings are based on and shall be read in conjunction with all approved specifications and codes of practice. All dimensions shall be in millimetres unless otherwise stated. All dimensions shall be taken from the Architectural drawings or the actual work. The Engineer shall be responsible for the accuracy of the dimensions shown on the drawings and shall be held responsible for any errors in the drawings. The Engineer shall be responsible for the accuracy of the dimensions shown on the drawings and shall be held responsible for any errors in the drawings.
2. Only certified design details and certified drawings for the proposed new work shall be used for construction on site.
3. The drawings shall be read in conjunction with the approved specifications and codes of practice. All dimensions shall be in millimetres unless otherwise stated. All dimensions shall be taken from the Architectural drawings or the actual work. The Engineer shall be responsible for the accuracy of the dimensions shown on the drawings and shall be held responsible for any errors in the drawings.
4. All work shall be in accordance with the Building Code of Australia, current relevant S.A.A. Codes and Base of all Structural Fabrication being undertaken over the work.
5. Structural drawings on drawings do not include. Labels and reference not detailed on structural drawings shall be approved by the Engineer prior to construction.
6. Construction drawings shall be approved by the Engineer, and checked for by the builder in the field. All work shall be in accordance with the approved specifications and codes of practice. All dimensions shall be in millimetres unless otherwise stated. All dimensions shall be taken from the Architectural drawings or the actual work. The Engineer shall be responsible for the accuracy of the dimensions shown on the drawings and shall be held responsible for any errors in the drawings.
7. Approval given on any drawings covers structural steel only and does not include dimensions and work.
8. During construction, the structures shall be maintained in a safe and stable condition and shall not be overworked. If the work shown on the drawings is to be built in stages, the Engineer shall be notified of any changes to the drawings and shall be held responsible for any errors in the drawings.

- STEELWORK**
1. All steelwork shall be in accordance with AS/NZS 3678, Steel and steel alloys with AS/NZS 3678 and shall be manufactured to AS/NZS 3678 Grade 300, U.L.C.
 2. U.L.C. shall be used for all steelwork unless otherwise stated. The minimum yield strength of all steel shall be 300 MPa and shall be certified to AS/NZS 3678, Part 2.
 3. U.L.C. use steel bolts, grade 4.6/A to AS 1111 in 3mm diameter holes (4.6/A) and nuts to AS 1111 in 3mm diameter holes (4.6/A).
 4. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).
 5. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).
 6. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).
 7. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).
 8. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).
 9. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).
 10. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).
 11. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).
 12. All bolts shall be high tensile bolts to AS 1111 in 3mm diameter holes (4.6/A).

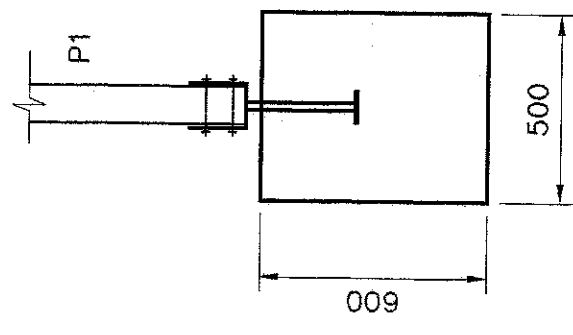


TIMBER DECK PLAN

- 1:100
- BEAMS**
- BR1 - 290 x 70 (F7) TREATED
 - BR2 - 200 x 70 (F7) TREATED
 - LB1 - 150 x 50 (F7) TREATED
- M16 BOLTS @ 600 CTS TO EXISTING WALL
- POSTS**
- P1 - 100 x 100 (F7) POST (MINIMUM) - TREATED
- JOISTS**
- J1 - 200 x 70 (F7) 450 CTS - TREATED
 - D - DOUBLE JOISTS

FOOTING PLAN

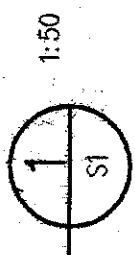
- 1:100
- FOOTING PADS**
- PD1 - 500 x 500 x 600 DEEP



PD1

500 x 500 x 600 DEEP MASS. CONCRETE

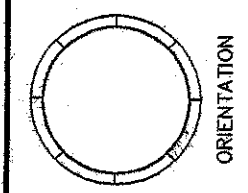
SECTION



REV	COMMENTS	DATE
A	MINOR ALTERATIONS	08/04/04

Builder must verify all dimensions at the job before commencing any work shown hereon.

DO NOT SCALE IF IN DOUBT ASK



DESIGNED	DOB	DATE
JT		08/04/04
DRAWN	JT	SCALE
		AS NOTED
REF N°	JT	ROLL N°

D O'BRIEN ENGINEERING SERVICES PTY. LTD.
CONSULTING STRUCTURAL ENGINEERS
A.C.N. 000 526 876
9/319 CONDOMINE ST. MANLY VALE NSW 2083
PH: (02) 9907 6947
FAX: (02) 9907 6948
P.O. BOX 326 MANLY 1665

NEW UNDER DECK
470 BARRONDEY RD
AWALON BEACH NSW 2107
PLANS AND DETAILS

DRAWING N° 2251-S1
REV A

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD
Structural Details C.C. No. 2004/SS

PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Structural Engineers of their responsibility to ensure the structural adequacy of this project.

PLAN OR DOCUMENT CERTIFICATION

I am a certified Structural Engineer

I hold the following qualifications: B.E. M.E. Ph.D.

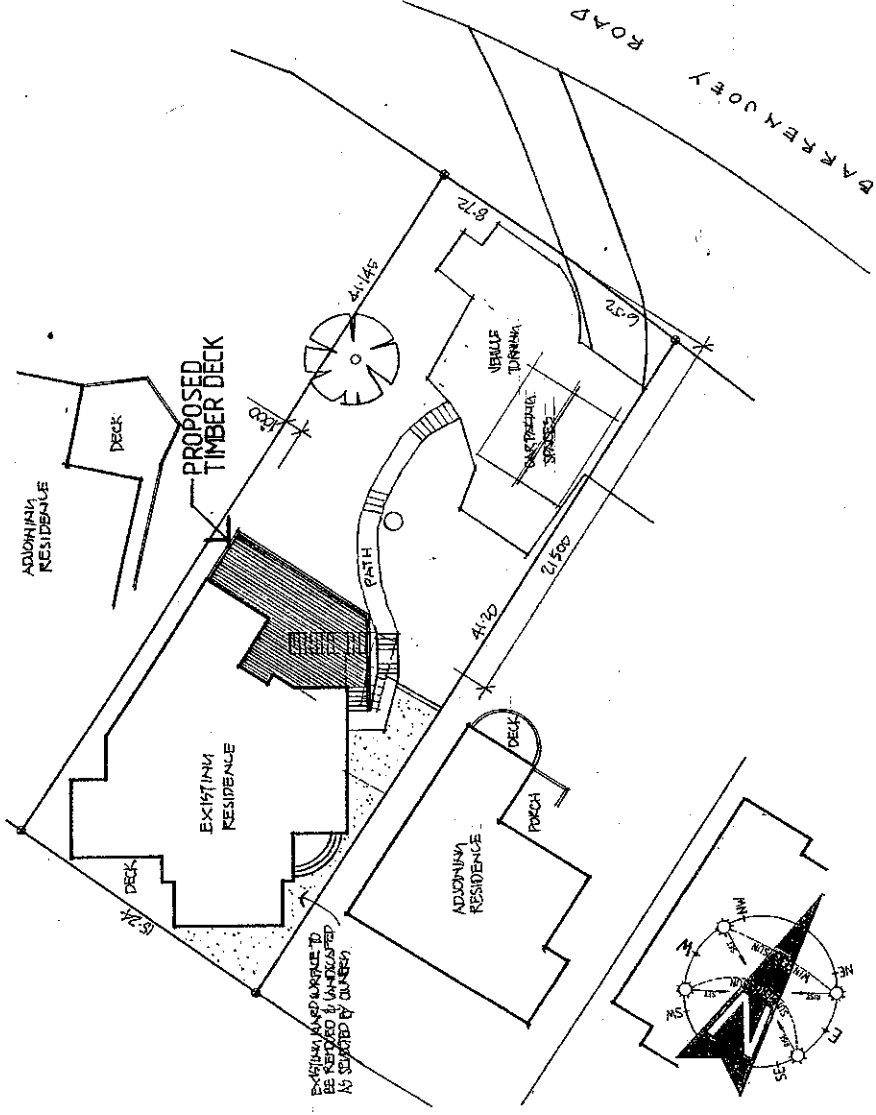
I have signed this document as a representative of the project.

I have made the necessary checks and approvals in accordance with the provisions of the Building Code of Australia and the Structural Engineers' Registration Board of Australia.

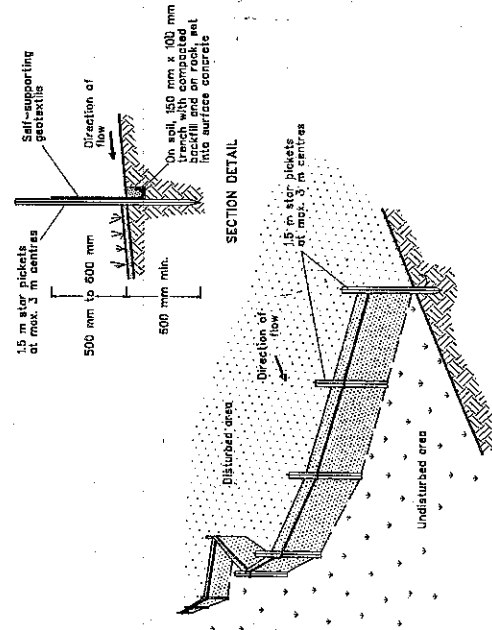
Signature: *[Signature]* Date: 08-04-04



EROSION AND SEDIMENT MANAGEMENT PLAN



SEDIMENT FENCE

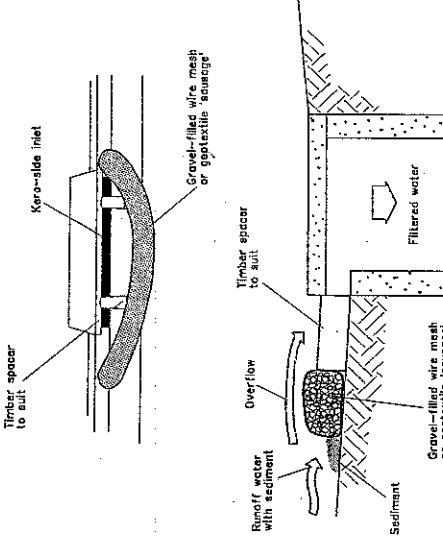


CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3.0 METRES APART.
3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
 2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
 3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
 4. All timber construction to be in accordance with the "Timber Profiller" code.
 5. Any detailing in addition to what is specified shall be approved between the owner and the builder to the owner's approval, except for:
 6. Roof water & air-well discharge to be disposed of in the approved manner or as detailed by local council regulations.
 7. All electrical power & light outlets to be installed in accordance with the approved manner or as detailed by local council regulations.
 8. Make good and finish of existing features damaged by new work. Remove building materials where possible.

MESH AND GRAVEL INLET FILTER



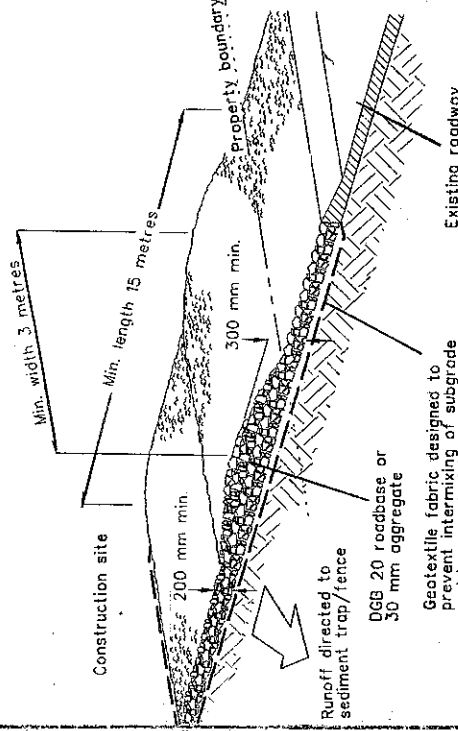
NOTE: This practice only to be used where specified in an approved SWMP/ESCP.

CONSTRUCTION NOTES

1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
2. FILL THE SLEEVE WITH 25MM TO 50MM GRAVEL.
3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150MM HIGH X 400MM WIDE.
4. PLACE THE FILTER AT THE OPENING OF THE KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
5. MAINTAIN THE OPENING WITH SPACER BLOCKS.
6. FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER.
7. FIT TO ALL KERB INLETS AT SAG POINTS

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 ALL PLANS AND DRAWINGS ARE SUBJECT OF COPYRIGHT AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY ANY PERSON OR COMPANY BEFORE WRITTEN PERMISSION WILL RESULT IN LEGAL PROCEEDINGS.
 J.D. EVANS and COMPANY PTY. LTD.
 74 RIVIERA AVE. AVALON BEACH, QLD.
 AUSTRALIA. A/C: 0916 2454

STABILISED SITE ACCESS



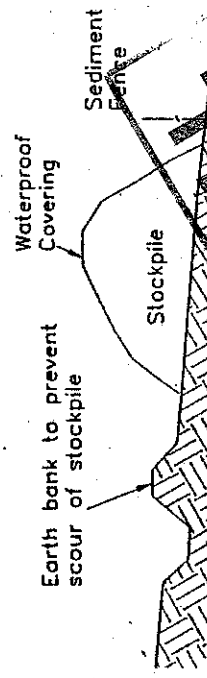
Geotextile fabric designed to prevent intergrading of subgrade and base materials and to maintain good properties of the sub-base layers.
 Geotextile may be a woven or needle punched product with a minimum CBR burst strength (A53705.4-90) of 2500 N

CONSTRUCTION NOTES

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE
4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMP IMMEDIATELY WITHIN THE BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OF OTHER SEDIMENT TRAP.

J.D. EVANS and COMPANY PTY. LTD.
 BUILDING DESIGN CONSULTANTS
 74 RIVIERA AVE. AVALON BEACH, QLD. 2107
 Phone: (02) 9916 2454 Fax: (02) 9973 2454
 Mobile: 041 976 596

BUILDING MATERIAL STOCKPILES DETAIL



CERTIFICATION
 I JOHN EVANS MEMBER NO. 665-96 OF THE BUILDING DESIGNERS ASSOCIATION OF N.S.W. INC. HEREBY CERTIFY THAT THIS DRAWING HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE N.S.W. DEPARTMENT OF LAND AND WATER CONSERVATION'S "URBAN EROSION AND SEDIMENT CONTROL" MANUAL

Signed

Date 1/4/2004

PROJECT
PROPOSED TIMBER DECK AT
 No. 470 BARRENJOEY ROAD
 AVALON BEACH N.S.W. 2107
 CLIENT
R LEPLONGEON & C VENTURI

DATE 14/11/03
 DRAWN JOE
 CHECKED
 DRAWING NO. 564
 ISSUE

D. O'BRIEN ENGINEERING SERVICES PTY. LTD.

Structural Engineers

A.C.N. 000 526 876 A.B.N. 46 000 526 876

Suite 6/319 Condamine St

MANLY VALE 2093

Post to: P.O. Box 326

MANLY 1655

Phone: (02) 9907 6947

Fax: (02) 9907 6948

Mobile: 0412 971 107

Mr R Le Plongeon
470 Barrenjoey Road
Avalon Beach NSW 2107

20/4/04

ref: cl2251

Dear Mr Le Plongeon

RE: Proposed New Deck at 470 Barrenjoey Rd Avalon Bch.
Structural Certificate for New Loads

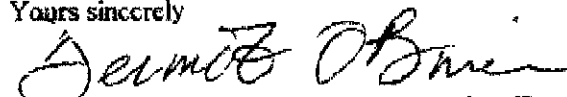
The structural design and details for the deck additions are shown on drawing number 2251/S1. The structural drawings are based on the architectural layout as shown on the drawings by J D Evans and Co.

A site inspection was made of the existing structure with a view to carrying the design loads in accordance with Australian Standard AS1170.1 (Loading Code).

The sizes of support walls and footings are adequate to carry the design loads subject to the requirements on the drawing no. 2251/S1. Some adjustment may be required to the structure depending on the conditions encountered on site when work commences.

The design for the proposed additions is in accordance with Australian Standards AS3700 (Masonry Code), AS3600 (Concrete Code), AS 1684 (Timber Framing Code) and AS1720 (Timber Code).

Yours sincerely



Dermot J. O'Brien, B.E., M.I.E. Aust., C.P. Eng.

COUNCIL
COPY