

## The Warringah DCP 2011 Compliance Table

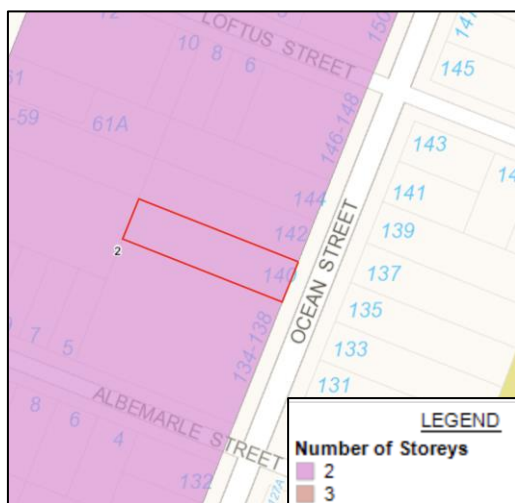
Requirements

Compliance

### Part B Built Form Controls

#### B2 Number of Storeys

1. Buildings on land shown coloured on the DCP Map Number of Storeys must comply with the maximum number of storeys identified on the DCP Map Number of Storeys.



Source: Northern Beaches Council

#### Complies

The development is proposed up to two storeys therefore adhering to the maximum shown on the DCP Map Number of Storeys. As such, the proposal adequately provides for an equitable sharing of views between the private and public domain and facilitates a reasonable level of amenity to adjoining and nearby properties.

#### B3 Side Boundary Envelope

1. Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 4 metres.

2. On land within the R3 Medium Density Residential zone, above and below ground structures and private open space, carparking, vehicle access ramps, balconies, terraces, and the like shall not encroach the side boundary envelope.

#### Complies

The development will be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 4 metres.

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Source: Northern Beaches Council

### B5 Side Boundary Setbacks

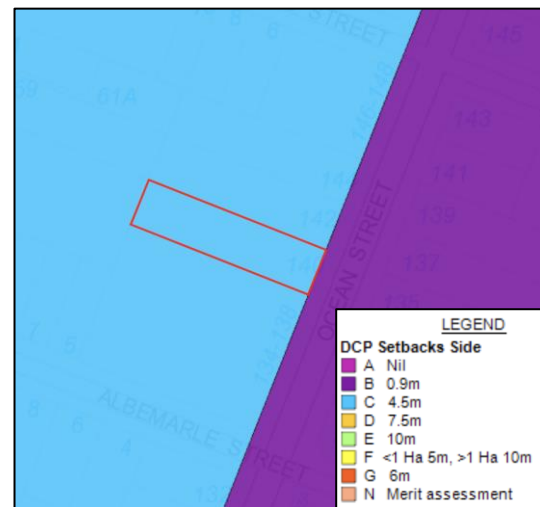
1. Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map

### Complies

A 4.5m side setback requirement applies to the site of which the development complies. The proposed development provides side boundary setbacks that are generally consistent with residential dwellings on the adjoining property boundaries and ensures private pedestrian access at this location. Planting within the side setbacks ensure the dwelling is softened and does not dominate the street.

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Source: Northern Beaches Council

### B7 Front Boundary Setbacks

1. Development is to maintain a minimum setback to road frontages.
2. The front boundary setback area is to be landscaped and generally free of any structures, basements, carparking or site facilities other than driveways, letter boxes, garbage storage areas and fences.

Compliance

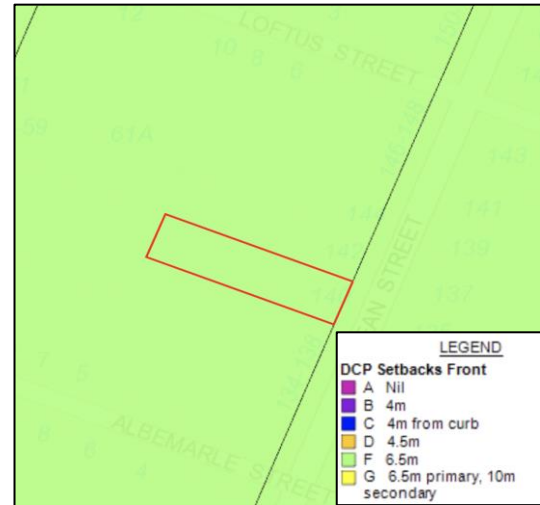
### Does not comply

A 6.5 metre setback applies from the front boundary. However, the development proposes a single carport 6.0m from the front setback.

As such, car parking is proposed in the front setback contrary to the requirements of the DCP. Mitigation measures have been undertaken to minimize the event of overlooking towards adjoining properties, with proposed privacy treatments including the installation of balcony balustrades and aluminium louvres (refer Architectural Plans in Appendix 2).

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Source: Northern Beaches Council

### B8 Rear Boundary Setbacks

1. Development is to maintain a minimum setback to rear boundaries.
2. The rear setback area is to be landscaped and free of any above or below ground structures.

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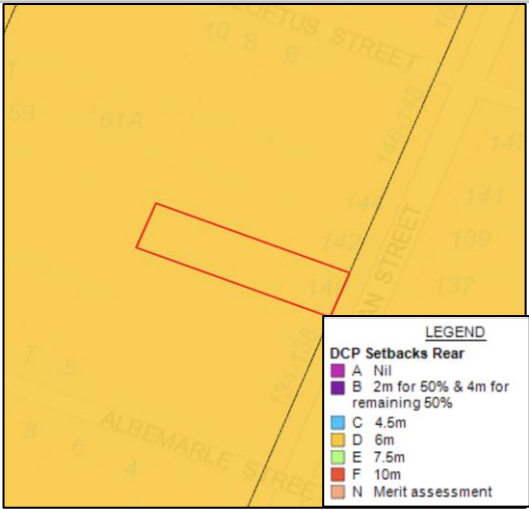
### Partially complies

The proposed development provides a rear setback that is generally consistent with residential dwellings on the adjoining property boundaries. A 6m setback applies to the rear setback on ground floor of which the proposal complies.

However, at first floor, the development proposes a 5.05m rear setback which does not comply with this control.

Despite a numerical non-compliance with the rear setback on the first floor, it is considered that building bulk is considered appropriate and relatable to development in the surrounds. This is further addressed in Section 4.1.5 of the SEE.

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 <p>Source: Northern Beaches Council</p>	

### Part C – Siting Factors

#### C2 Traffic, Access and Safety

1. Applicants shall demonstrate that the location of vehicular and pedestrian access meets the objectives.
2. Vehicle access is to be obtained from minor streets and lanes where available and practical.
4. Vehicle crossing approvals on public roads are to be in accordance with Council's Vehicle Crossing Policy (Special Crossings) LAP-PL413 and Vehicle Access to Roadside Development LAP-PL 315.
5. Vehicle crossing construction and design is to be in accordance with Council's Minor works specification

#### Complies

A traffic report has been undertaken by InRoads Group to ensure that the proposal suitably addresses key access arrangements and safety requirements in the DCP. The traffic report is attached in **Appendix 6** of the SEE and the findings are further discussed in Section 4.2.5 of the SEE.

#### C3 Parking Facilities

1. The following design principles shall be met:

#### Does not comply – alternative solution proposed

Given the narrow width of the site, an alternative DCP parking and car parking solution is proposed. The proposed carport has been

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<p>• Garage doors and carports are to be integrated into the house design and to not dominate the façade. Parking is to be located within buildings or on site.;</p> <p>• Parking is to be located so that views of the street from front windows are not obscured; and</p> <p>• Where garages and carports face the street, ensure that the garage or carport opening does not exceed 6 metres or 50% of the building width, whichever is the lesser.</p> <p>4. Carparking is to be provided in accordance with Appendix 1 which details the rate of car parking for various land uses. Where the carparking rate is not specified in Appendix 1 or the WLEP, carparking must be adequate for the development having regard to the objectives and requirements of this clause.</p> <p>For multi-dwelling housing and residential flat buildings:</p> <ul style="list-style-type: none"> <li>• 1 space per 1 bedroom dwelling</li> <li>• 1.2 spaces per 2 bedroom dwelling</li> <li>• 1.5 spaces per 3 bedroom dwelling</li> </ul> <p>1 visitor space per 5 units or part of dwelling</p>	<p>carefully designed and integrated with the proposed development, reflecting similar materials and finishes with the dwelling.</p> <p>The alternative solution would include an open style form of carport with complimentary landscaping within the front setback. The open style nature of the carport and landscaping proposed would be designed to ensure that the carport does not dominate the streetscape and the objectives of the WDCP 2011 are able to be met.</p> <p><b>Complies</b></p> <p>The proposal meets car parking requirements for multi-dwelling housing outlined within Appendix 1, which require a total of 5 parking spaces be provided (2 parking spaces for the dwelling house to the rear, 2 parking spaces for both two-bedroom apartments to the front and an additional visitor parking space for the mentioned apartments).</p> <p>As shown in the ground floor plan provided in <b>Appendix 2</b>, the development proposes 5x vehicle parking spaces (4x in the undercover parking area and 1x parking space for the carport) therefore sufficiently adhering to the requirements of the DCP car parking rates.</p>
<p><b>C3(A) Bicycle Parking</b></p> <p>Residential accommodation of 3 or more dwellings:</p> <ul style="list-style-type: none"> <li>• 1 per dwelling</li> <li>• 1 visitor per 12 dwellings</li> </ul>	<p><b>Complies</b></p> <p>The application requires that a total of four (4) bicycle parking spaces be provided for the three (3) dwellings, including three (3) for residents and one (1) for visitors.</p> <p>As illustrated in the ground floor plan included in <b>Appendix 2</b>:</p> <ul style="list-style-type: none"> <li>• four (4) bicycle parking spaces are proposed to the north of car park 1 via two (2) double-sided bicycle parking rails</li> <li>• Provision has been made for a 1800mm x 500mm envelope for each bicycle parking space, as required under the</li> </ul>

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	<p>provisions of AS2890.3</p> <p>The proposal therefore meets Council's DCP requirements in this regard, with bicycle parking proposed to integrate into the proposed development's design.</p>
<p><b>C4 Stormwater</b></p> <ol style="list-style-type: none"> <li>Stormwater runoff must not cause downstream flooding and must have minimal environmental impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake and waterway or the like.</li> <li>The stormwater drainage systems for all developments are to be designed, installed and maintained in accordance with Council's Water Management Policy.</li> </ol>	<p><b>Complies</b></p> <p>Appropriate stormwater management measures have been adopted in this proposal and has been designed in consideration of Council's Water Management Policy. The On-site Detention (OSD) Tank Model Plan are provided in <b>Appendix 5</b> and further addressed in Section 4.2.7 of the SEE.</p>
<p><b>C8 Demolition and Construction</b></p> <p>All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.</p>	<p><b>Complies</b></p> <p>A Waste Management Plan is located in <b>Appendix 4</b> of the SEE. The proposal will comply with waste management guidelines outlined in the relevant policy.</p>
<p><b>C9 Waste Management</b></p> <p>All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.</p>	<p><b>Complies</b></p> <p>A Waste Management Plan is located in <b>Appendix 4</b> of the SEE. The proposal will comply with waste management guidelines outlined in the relevant policy.</p>
<p><b>Part D Design</b></p>	
<p><b>D1 Landscaped open space and bushland setting</b></p> <p>1. The required minimum area of landscaped open space is shown on DCP Map Landscaped Open Space and Bushland Setting. To measure the area of landscaped open space:</p>	<p><b>Complies</b></p> <p>A landscape plan has been provided with the subject application demonstrating that landscaping responds to the development proposed through adopting landscaping consistent with the</p>

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<p>a) Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation;</p> <p>b) The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation;</p> <p>c) Landscaped open space must be at ground level (finished); and</p> <p>d) The minimum soil depth of land that can be included as landscaped open space is 1 metre.</p> <p>2. Where land is shown on DCP Map Landscaped Open Space and Bushland Setting as "Bushland Setting", a minimum of 50% of the site area must remain undisturbed by development and is to be kept as natural bushland or landscaped with locally indigenous species.</p>	<p>broader area.</p>
<p><b>D2 Private Open Space</b></p> <p>1. Residential development is to include private open space for each dwelling.</p> <p>2. The minimum area and dimensions of private open space are as follows:</p> <ul style="list-style-type: none"> <li>Multi dwelling housing and residential flat buildings are to have a 10m<sup>2</sup> minimum area of private open space (minimum dimensions 2.5m</li> </ul>	<p><b>Complies</b></p> <p>Private open space for each dwelling complies with minimum requirements. As demonstrated in the Architectural Drawings located in <b>Appendix 2</b>, the proposal will result in minimal additional overshadowing to what currently occurs at the site and therefore will result not result in adverse environmental impact.</p>
<p><b>D6 Access to Sunlight</b></p> <p>1. Development should avoid unreasonable overshadowing any public open space.</p> <p>2. At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.</p>	<p><b>Complies</b></p> <p>Private open space for each dwelling complies with solar access requirements. The proposed building is orientated to maximise sunlight penetration into the residential dwellings while providing protection from the sun during the middle of summer.</p> <p>The proposal is not expected to have any significant overshadowing on neighbouring properties.</p>
<p><b>D7 Views</b></p> <p>1. Development shall provide for the reasonable sharing of views.</p>	<p><b>Complies</b></p> <p>The nature of the site and the design of the proposed dwelling will</p>



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	ensure that no views of surrounding properties are compromised, and view sharing principles are adhered to. Views from public land will also not be obscured by the development.
<p><b>D8 Privacy</b></p> <ol style="list-style-type: none"> <li>1. Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.</li> <li>2. Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.</li> <li>3. The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass.</li> <li>4. The windows of one dwelling are to be located so they do not provide direct or close views (i.e. from less than 9 metres away) into the windows of other dwellings.</li> <li>5. Planter boxes, louvre screens, pergolas, balcony design and the like are to be used to screen a minimum of 50% of the principal private open space of a lower apartment from overlooking from an upper apartment.</li> </ol>	<p><b>Complies</b></p> <p>Privacy has been considered development is designed to address D8 of the DCP. Adequate building separation and window orientation has been incorporated into the design to ensure that no adverse privacy impacts occur. the minimum of 9m between windows is met.</p>
<p><b>D9 Building Bulk</b></p> <ol style="list-style-type: none"> <li>1. Side and rear setbacks are to be progressively increased as wall height increases.</li> <li>2. Large areas of continuous wall planes are to be avoided by varying building setbacks and using appropriate techniques to provide visual relief.</li> <li>3. On sloping land, the height and bulk of development (particularly on the downhill side) is to be minimised, and the need for cut and fill reduced by designs which minimise the building footprint and allow the building mass to step down the slope. In particular: <ul style="list-style-type: none"> <li>• The amount of fill is not to exceed one metre in depth.</li> <li>• Fill is not to spread beyond the footprint of the building.</li> </ul> </li> </ol>	<p><b>Complies</b></p> <p>Building bulk is considered appropriate and relatable to development in the surrounds with adequate landscaping treatment provided to ease the proposed development's appearance when viewed from the public domain.</p> <p>The rhythm of the streetscape is maintained through careful proportioning and scaling devices as well as the use of consistent materials and finishes to complement the existing fabric of Ocean Street.</p> <p>Overall, the proposal is demonstrated to provide sufficient building setbacks and upper storey stepping to respond to the natural topography of the site. Building Bulk is further addressed in Section</p>

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<ul style="list-style-type: none"> <li>• Excavation of the landform is to be minimised.</li> </ul> <ol style="list-style-type: none"> <li>4. Building height and scale needs to relate to topography and site conditions.</li> <li>5. Orientate development to address the street.</li> <li>6. Use colour, materials and surface treatment to reduce building bulk.</li> <li>7. Landscape plantings are to be provided to reduce the visual bulk of new building and works.</li> <li>8. Articulate walls to reduce building mass.</li> </ol>	<p>4.1.5 and 4.2.1 of the SEE.</p>
<p><b>D10 Building Colours and Materials</b></p> <ol style="list-style-type: none"> <li>1. In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.</li> <li>2. The colours and materials of development on sites adjoining, or in close proximity to, bushland areas, waterways or the beach must blend in to the natural landscape.</li> </ol>	<p><b>Complies</b></p> <p>The colours and external finishes selected are sympathetic to the surrounding area in which the proposal is located, and the use of highly reflective materials has been avoided.</p>
<p><b>D11 Roofs</b></p> <ol style="list-style-type: none"> <li>2. Roofs should complement the roof pitch and forms of the existing buildings in the streetscape.</li> <li>3. Articulate the roof with elements such as dormers, gables, balconies, verandahs and pergolas.</li> <li>4. Roofs shall incorporate eaves for shading.</li> <li>5. Roofing materials should not cause excessive glare and reflection.</li> </ol>	<p><b>Complies</b></p> <p>The proposed development has been designed to respond appropriately to the ground level of the site and will not dominate from the streetscape. A pitched roof would not relate to the proposed dwelling and would be more incongruous than the flat roof proposed. Additionally, the roof design refrains from utilising materials that would create excessive glare and reflections. Accordingly, a roof plan is attached in <b>Appendix 2</b> for review.</p>
<p><b>D13 Fences</b></p> <ol style="list-style-type: none"> <li>1. Fences, including side fences, located within the street setback area are to be compatible with the existing streetscape character.</li> <li>2. Where a solid fence is required it is to be articulated to provide visual interest</li> </ol>	<p><b>Complies</b></p> <p>The fence height is consistent with the future built form and architecture of the building. The fencing height and design is considered suitable for the context of the development and is</p>

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<p>and set back to allow for landscaping to soften and screen the appearance of the fence.</p> <p>3. Fences located within the front building setback area are to complement the existing streetscape character.</p> <p>4. Fences are to be constructed to allow casual surveillance, except where there is excessive noise.</p> <p>5. Gates are not to encroach over the property boundary when opening or closing.</p> <p>6. Fences should complement the architectural period of the building.</p>	<p>generally reflective of contemporary buildings in the locality.</p>
<p><b>D14 Site Facilities</b></p> <p>1. Site facilities including garbage and recycling enclosures, mail boxes and clothes drying facilities are to be adequate and convenient for users and services and are to have minimal visual impact from public places.</p>	<p><b>Complies</b></p> <p>Compliance with this section of the DCP is able to be demonstrated. This proposal promotes waste minimization with ample space for the separation and storage of waste and recycling bins facilitated in the front yard.</p> <p>Appropriate landscaping treatment is facilitated to ease the visual impact of waste and recycling enclosures. As noted by Council, the location of the proposed bin storage area, located 1.9m from the front boundary, will be considered acceptable with Council support, provided the appropriate measures undertaken to ensure it is not visually intrusive when viewed from the public street.</p>
<p><b>D15 Side and Rear Fences</b></p> <p>1. Generally, side and rear boundary fences are to be no higher than 1.8 metres on level sites, or 1.8 metres measured from the low side where there is a difference in either side of the boundary.</p> <p>2. For sloping sites, the height of fences may be averaged and fences and walls may be regularly stepped.</p>	<p><b>Complies.</b></p> <p>The setbacks comply with the relevant DCP requirements.</p> <p>A 3100mm fence is proposed on the rear and side boundaries, to increase privacy to adjoining dwellings and includes complementary materials that will be sympathetic to the local area.</p>

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3. All fencing materials are to complement the existing neighbourhood. The use of corrugated metal, barbed wire or broken glass is not permitted.	Views from habitable rooms facing north and south will be screened by the side fences.