

Certificate number: 1002814S\_02

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 171.1 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: • all toilets in the development  • the cold water tap that supplies each clothes washer in the development		✓	✓
		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
Thermal Comfort Commitments			
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps.			
<ul style="list-style-type: none"><li>at least 4 of the bedrooms / study;</li></ul>		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"><li>• at least 5 of the living / dining rooms;</li><li>• the kitchen;</li><li>• all bathrooms/toilets;</li><li>• the laundry;</li><li>• all hallways;</li></ul>		<div>✓</div> <div>✓</div> <div>✓</div> <div>✓</div> <div>✓</div>	<div>✓</div> <div>✓</div> <div>✓</div> <div>✓</div> <div>✓</div>
Natural lighting			
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	<div>✓</div>	<div>✓</div>	<div>✓</div>
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		<div>✓</div>	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		<div>✓</div>	
The applicant must install a fixed outdoor clothes drying line as part of the development.		<div>✓</div>	

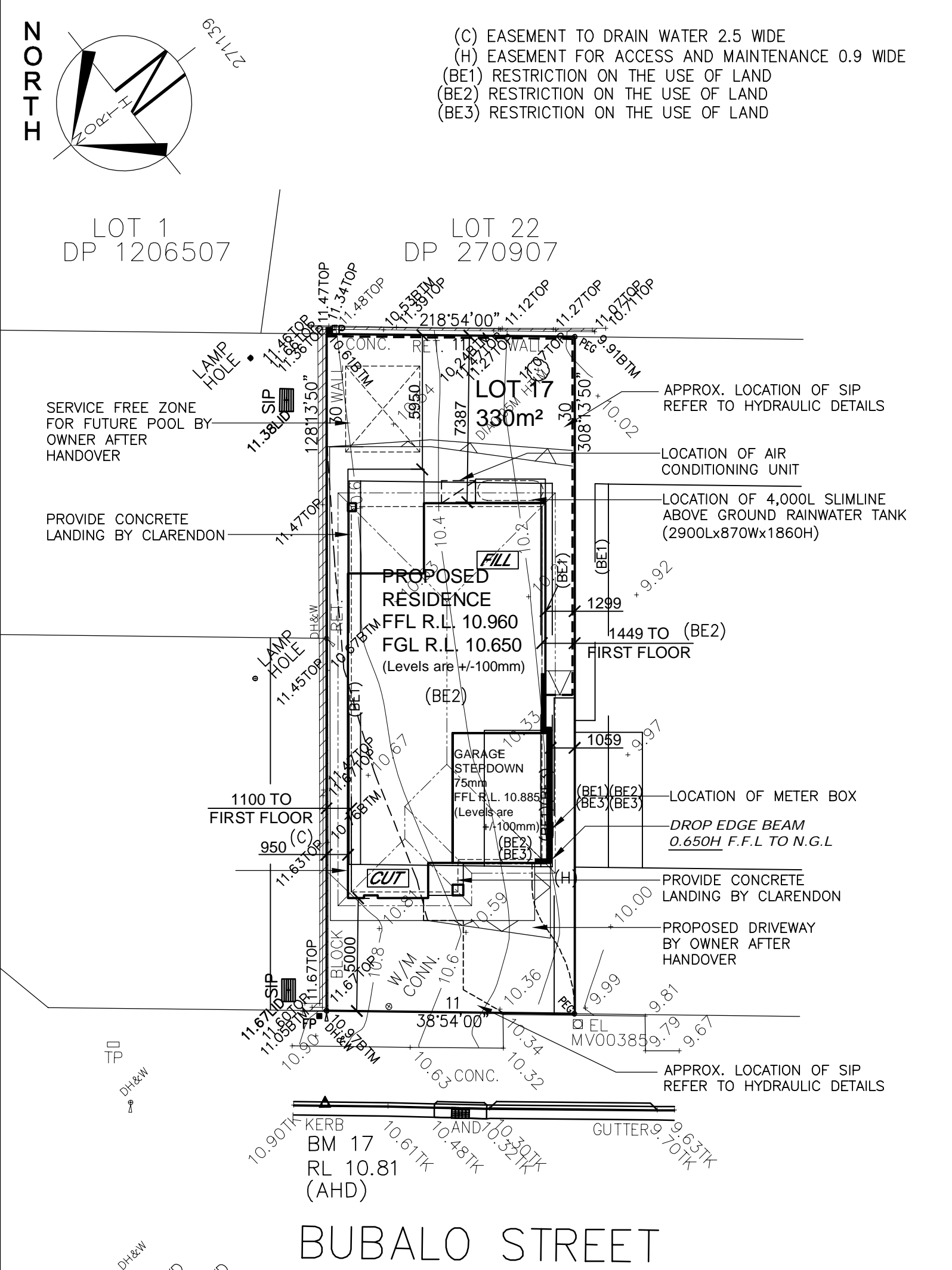
QUOTE	DATE	QUOTE NUMBER	REV
KITCHEN	18.04.19	11875	-
ZURCORP ELECTRICAL	16.05.19	ZAQ1903636	-
TILES	12.12.19	5896	-
CARPET	22.03.19	29913455	-
ZURCORP SECURITY	16.05.19	ZAQ1903635	-
EH1	04.04.19	101218-01	-
AIR CONDITIONING	27.03.19	29913455	-
STAIRS	15.03.19	YQ113298-S	-
LANDSCAPE	03.04.19	1903	B
HYDRAULICS	11.04.19	C8985-13455	1
ENGINEER	16.01.20	85927CL	A
PEG OUT	17.01.20	21/1047441/294438	I

N	19.02.20	SERVICE FREE ZONE ADDED TO SITE	FD
M	10.02.20	BATH SHOWER CHANGE TO WHITELY RAIL	FD
L	04.02.20	TAP NOTE REMOVED FROM ALFRESCO AREA	FD
K	24.01.20	FINAL CONSTRUCTION PLAN	FD
J	14.01.20	CC AMENDMENTS	M.H.
I	09.01.20	REGISTERED CONTOUR ADDED	JS
H	09.12.19	RELOCATED DOORS TO ALFRESCO	FD
G	28.10.19	INITIAL CONSTRUCTION PLAN	FD
F	12.04.19	COORDINATE HYDRAULICS, EXTERNAL COLOURS & BASIX	MD
E	02.04.19	COORDINATE RETAINING WALLS	MD
D	19.03.19	DA DRAWINGS	PG.
C	13.03.19	PCV1	PJ
B	28.02.19	CONTRACT DRAWINGS	PG.
A	07.02.19	PRELIMINARY TENDER	BG
REV	DATE	AMENDMENTS	BY

19/02/2020 12:34:36 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>	<div>© ALL RIGHTS RESERVED</div> <div>This plan is the property of CLARENDON HOMES (NSW) P/L</div> <div>Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</div> <div># ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>	<div>PRODUCT:</div> <div>PARKHILL 32</div> <div>Prominent R/H Garage</div> <div>Evolution Specification</div> <div>Master Issued: 07.08.15      Revision: C</div>	<div>CLIENT:</div> <div>Mr. SOMMER</div> <div>Mrs. SOMMER</div>	FINAL CONSTRUCTION PLAN		
			<div>SITE ADDRESS:</div> <div>Lot 17</div>	<div>DRAWN:</div> <div>PG.</div>	<div>DATE:</div> <div>28.02.19</div>	<div>Rev:</div> <div>N</div>
			<div>No.1 Bubalo Street</div> <div>WARRIEWOOD 2102</div>	<div>RATIO @ A3:</div> <div>N/A</div>	<div>CHECKED:</div> <div>J.S</div>	
				<div>SHEET:</div> <div>1</div>	<div>JOB No:</div> <div>29913455</div>	<div>NSW</div>



**LOT 17**  
**D.P: 271139**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
PITTWATER DCP 21 - D16**

SITE AREA	330 m²
SITE COVERAGE	
HOUSE FOOTPRINT:	153.8 m²
ESTIMATED DRIVEWAY, PATHS & PAVING:	49.4 m²
TOTAL SITE COVERAGE:	203.2 m²
	61.6 %
MAX. ALLOWABLE BY DEVELOPER:	65 %
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	126.7 m²
(MIN. DIMENSION OF 3.0m)	38.4 %
MIN. REQUIRED BY COUNCIL:	35 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	95.3 m²
(MIN. DIMENSION OF 4.0m)	
MIN. REQUIRED BY COUNCIL:	24 m²
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

**Maximum 1000mm CUT**  
**Maximum 1000mm FILL**

WIND CLASSIFICATION: "N2"  
SLAB CLASSIFICATION: "M"

**NOTE:**  
ALL GROUND LINES ARE APPROXIMATE.  
EXTENT OF FILL & BATTER WILL BE  
DETERMINED ON SITE. SEDIMENT BARRIERS  
ARE TO BE CUSTOMISED SITE SPECIFIC

**STORMWATER TO  
STREET VIA  
RAINWATER TANK**  
REFER TO HYDRAULIC DETAILS

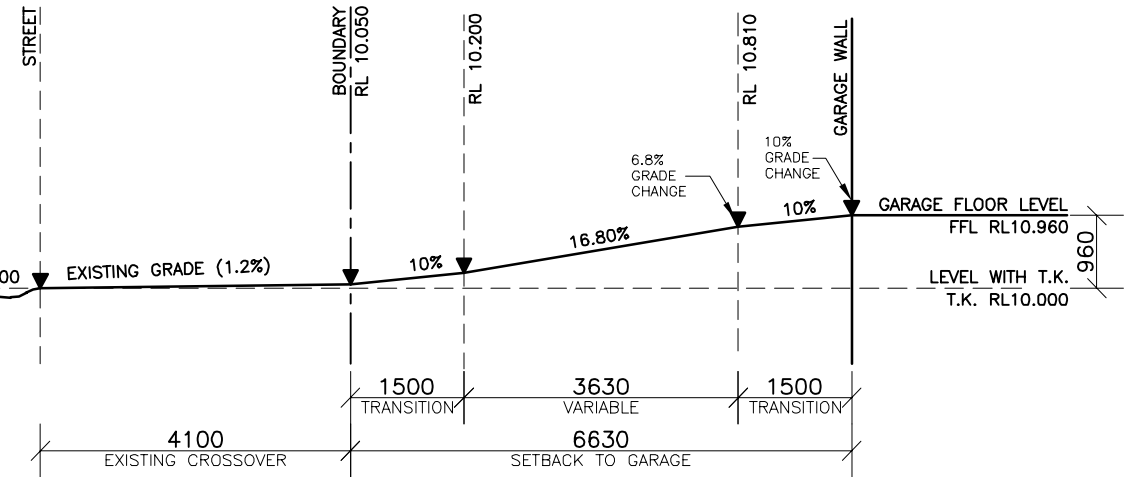
**WATER APPROVAL**  
APPLICATION No.: TIR 795510  
PIER INSPECTION REQUIRED: NO

**COUNCIL D.A. CONSENT**  
D.A. NUMBER: 2019/0385

**SITE PLAN**  
**SCALE 1:200**  
GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
- B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
- C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_



**DRIVEWAY GRADIENT PROFILE**  
19/02/2020 12:34:38 PM SCALE 1:100  
**FINAL CONSTRUCTION DRAWINGS**

<b>ClarendonHomes</b> <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: <b>PARKHILL 32</b> Prominent R/H Garage  Evolution Specification	CLIENT: <b>Mr. SOMMER</b> <b>Mrs. SOMMER</b>  SITE ADDRESS: <b>Lot 17</b> <b>No.1 Bubalo Street</b> <b>WARRIEWOOD 2102</b>	FINAL CONSTRUCTION PLAN		
				DRAWN: PG.	DATE: 28.02.19	Rev: <b>N</b>
				RATIO @ A3: 1:200	CHECKED: J.S	
				SHEET: <b>2</b>	JOB No: <b>29913455</b>	NSW



(S) SMOKE ALARM

● AIR CONDITIONING DUCT

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ.  
SETS. 150 DROPPED CEILINGS

1 FLOOR  
JOIST  
DIRECTION

DP ○ DOWN PIPE  
LOCATION

TAP X GARDEN TAP  
LOCATION

COB LIFT OFF  
HINGES

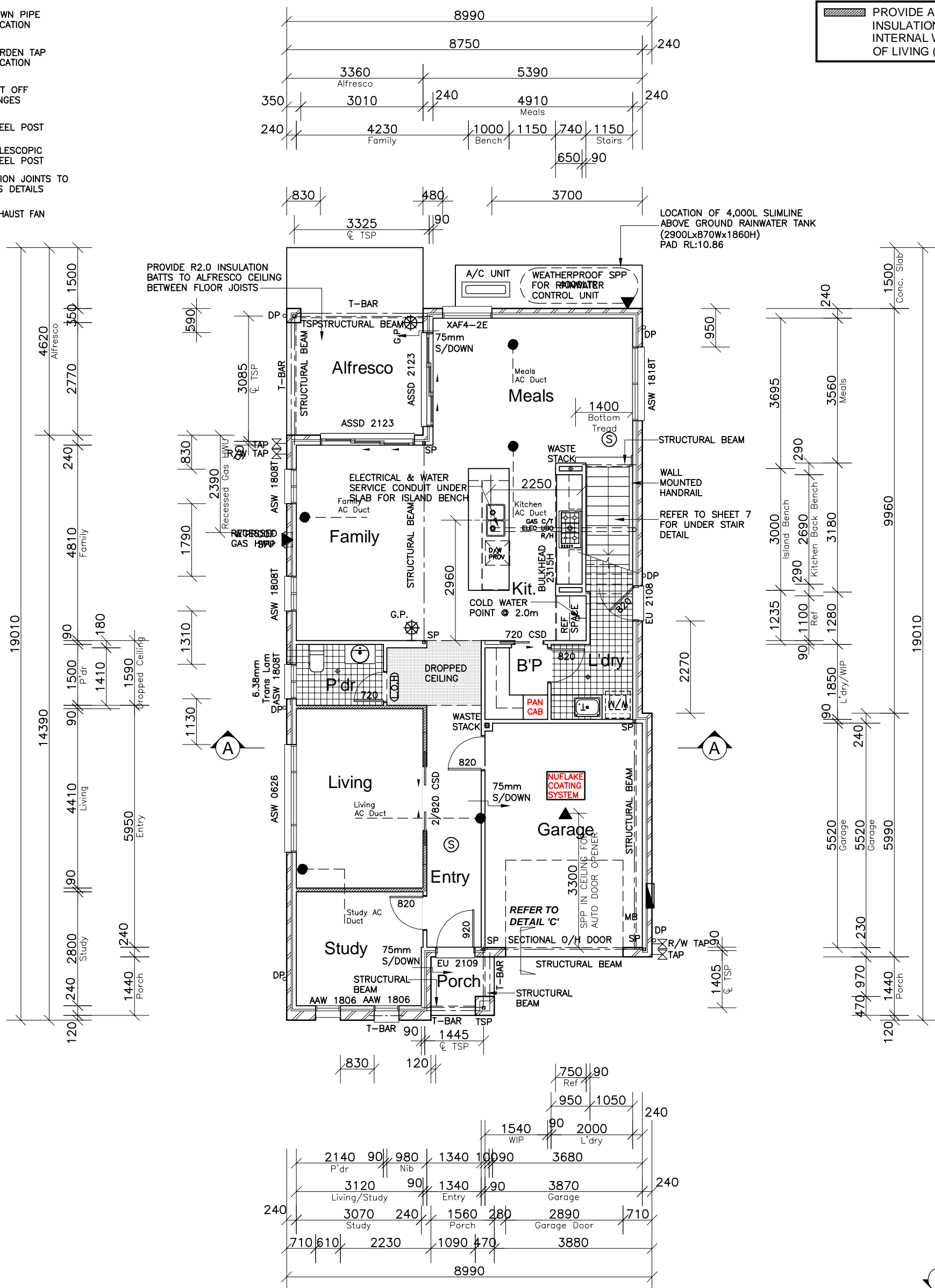
SP STEEL POST

TSP TELESCOPIC  
STEEL POST

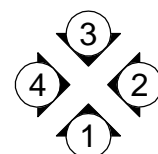
ARTICULATION JOINTS TO  
ENGINEERS DETAILS

⊗ EXHAUST FAN

PROVIDE ACOUSTIC  
INSULATION WALL BATTS TO  
INTERNAL WALLS  
OF LIVING (ONLY)



## GROUND FLOOR PLAN



19/02/2020 12:34:39 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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IN PREFERENCE TO SCALING.

PRODUCT:  
**PARKHILL 32**  
Prominent  
R/H Garage  
  
Evolution Specification

CLIENT:  
**Mr. SOMMER**  
**Mrs. SOMMER**  
  
SITE ADDRESS:  
**Lot 17**  
**No.1 Bubalo Street**  
**WARRIEWOOD 2102**

FINAL CONSTRUCTION PLAN

DRAWN: PG.	DATE: 28.02.19	Rev: <b>N</b>
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: <b>3</b>	JOB No: <b>29913455</b>	NSW

SMOKE ALARM

DOWN PIPE LOCATION

LIFT OFF HINGES

STEEL POST

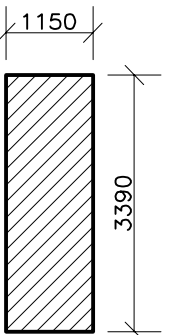
ARTICULATION JOINTS TO ENGINEERS DETAILS

EXHAUST FAN

400x200mm EAVE VENT

NOTE:  
(UNLESS NOTED OTHERWISE)  
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

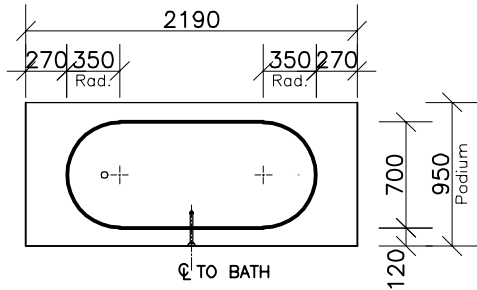
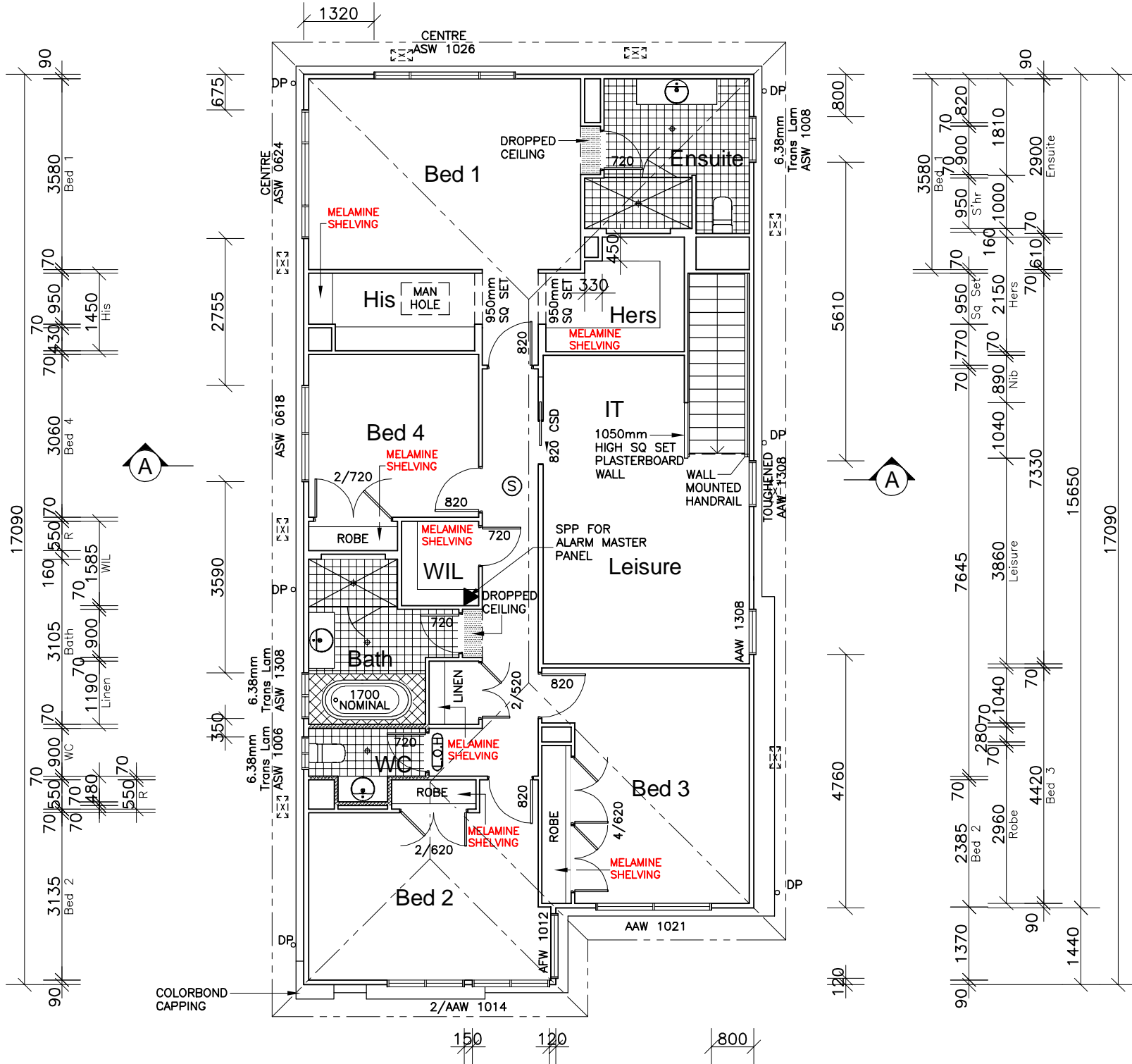
NOTE:  
ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS



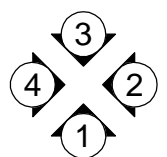
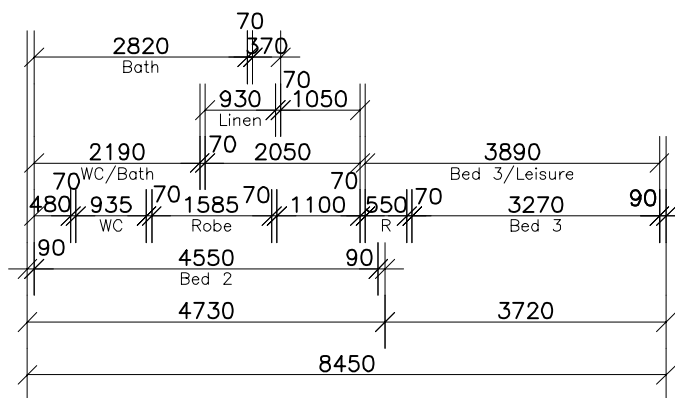
STAIR CUTOUT  
SCALE 1:100

PROVIDE ACOUSTIC INSULATION WALL BATTS TO INTERNAL WALLS OF WC (ONLY)

NOTE:  
SHOWER NOOK/RECESS REFER TO **CDN 54.240** & SHEET 10 FOR DETAILS



UNO 1700  
BATH CUTOUT  
SCALE 1:50



FIRST FLOOR PLAN

19/02/2020 12:34:40 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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21 Solent Circuit, Baulkham Hills NSW 2153  
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# ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:  
**PARKHILL 32**  
Prominent R/H Garage  
Evolution Specification

CLIENT:  
Mr. SOMMER  
Mrs. SOMMER  
SITE ADDRESS:  
Lot 17  
No.1 Bubalo Street  
WARRIEWOOD 2102

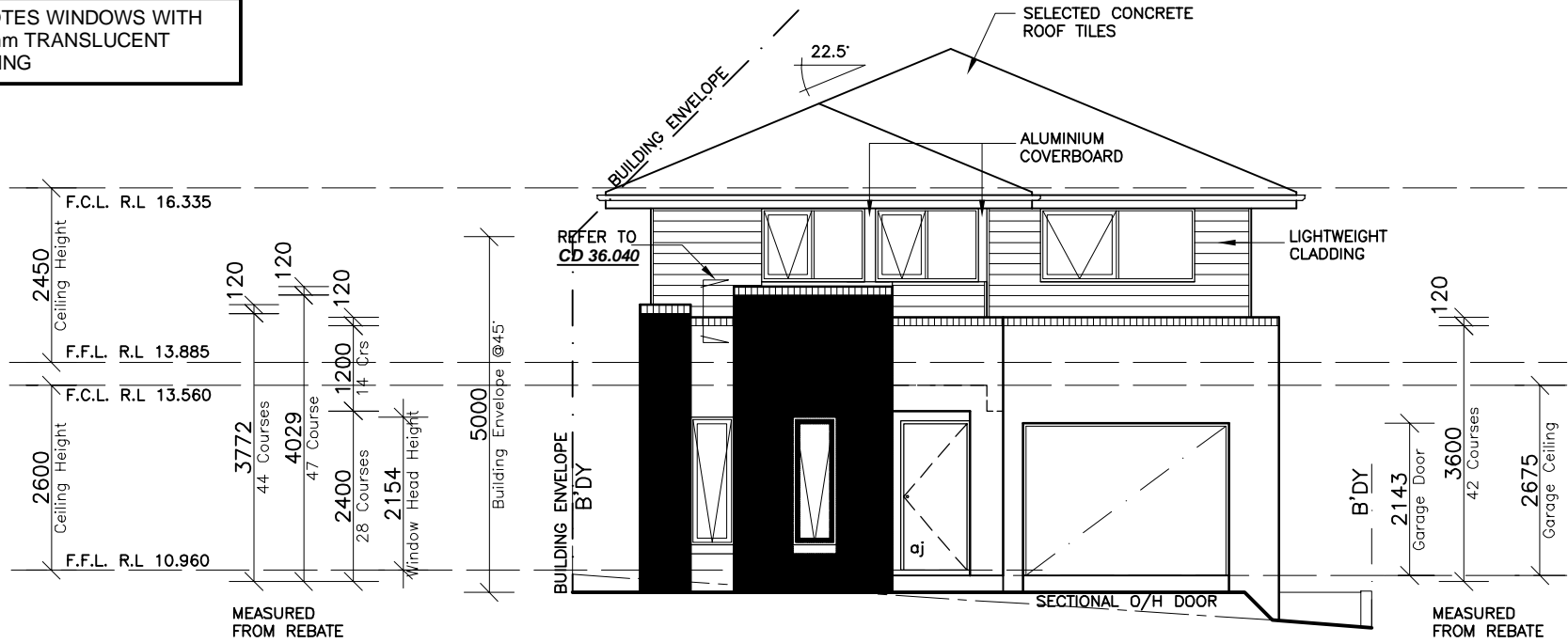
FINAL CONSTRUCTION PLAN			
DRAWN: PG.	DATE: 28.02.19	Rev: N	
RATIO @ A3: 1:100	CHECKED: J.S		
SHEET: 4	JOB No: 29913455	NSW	

NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

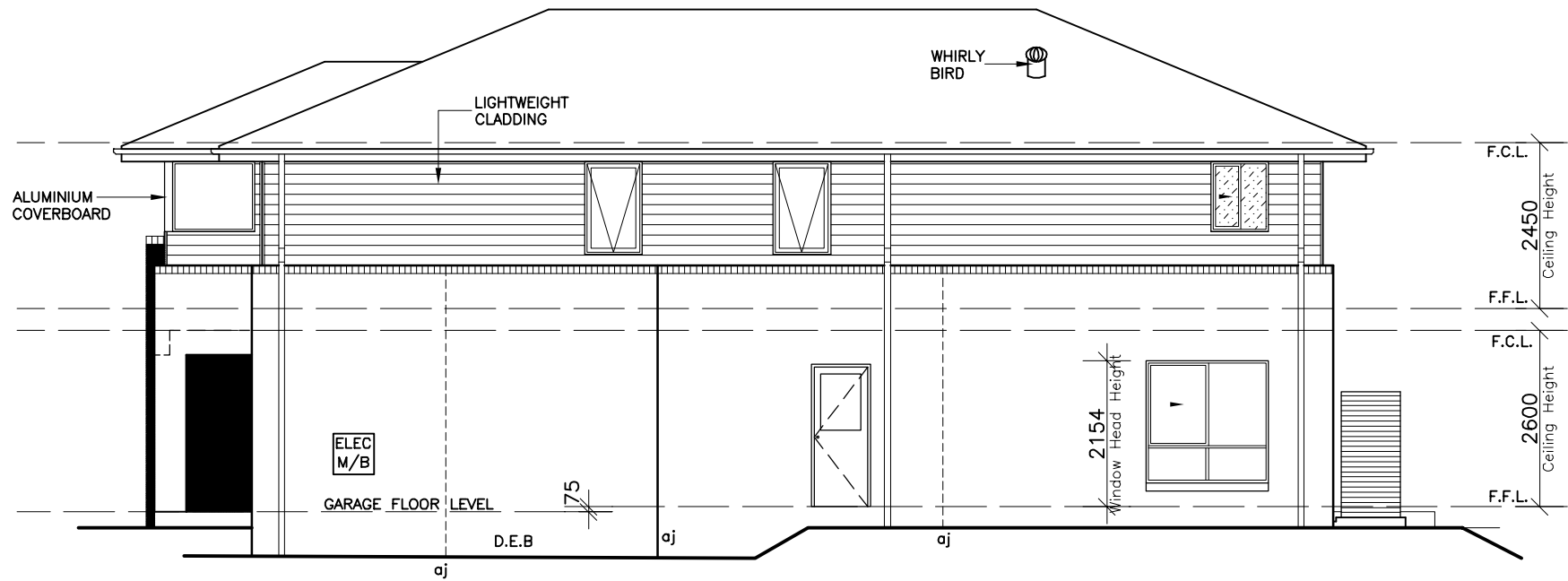
NOTES:  
FOR DROP-OFF's REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**

Selected Render Coating 1

DENOTES WINDOWS WITH  
6.38mm TRANSLUCENT  
GLAZING



ELEVATION 1  
-NORTH WEST-



ELEVATION 2  
-SOUTH WEST

19/02/2020 12:34:41 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
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Clarendon Homes (NSW) P/L  
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**PARKHILL 32**  
Prominent  
R/H Garage  
  
Evolution Specification

CLIENT:  
**Mr. SOMMER**  
**Mrs. SOMMER**  
SITE ADDRESS:  
**Lot 17**  
**No.1 Bubalo Street**  
**WARRIEWOOD 2102**

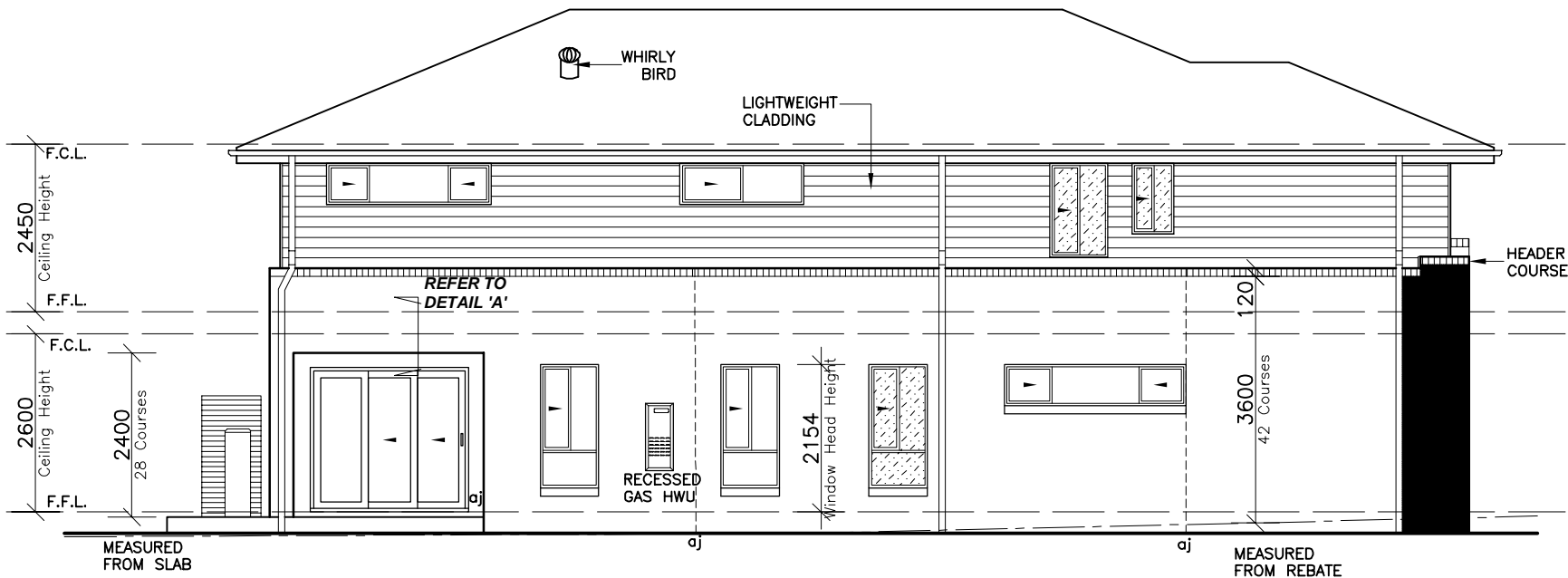
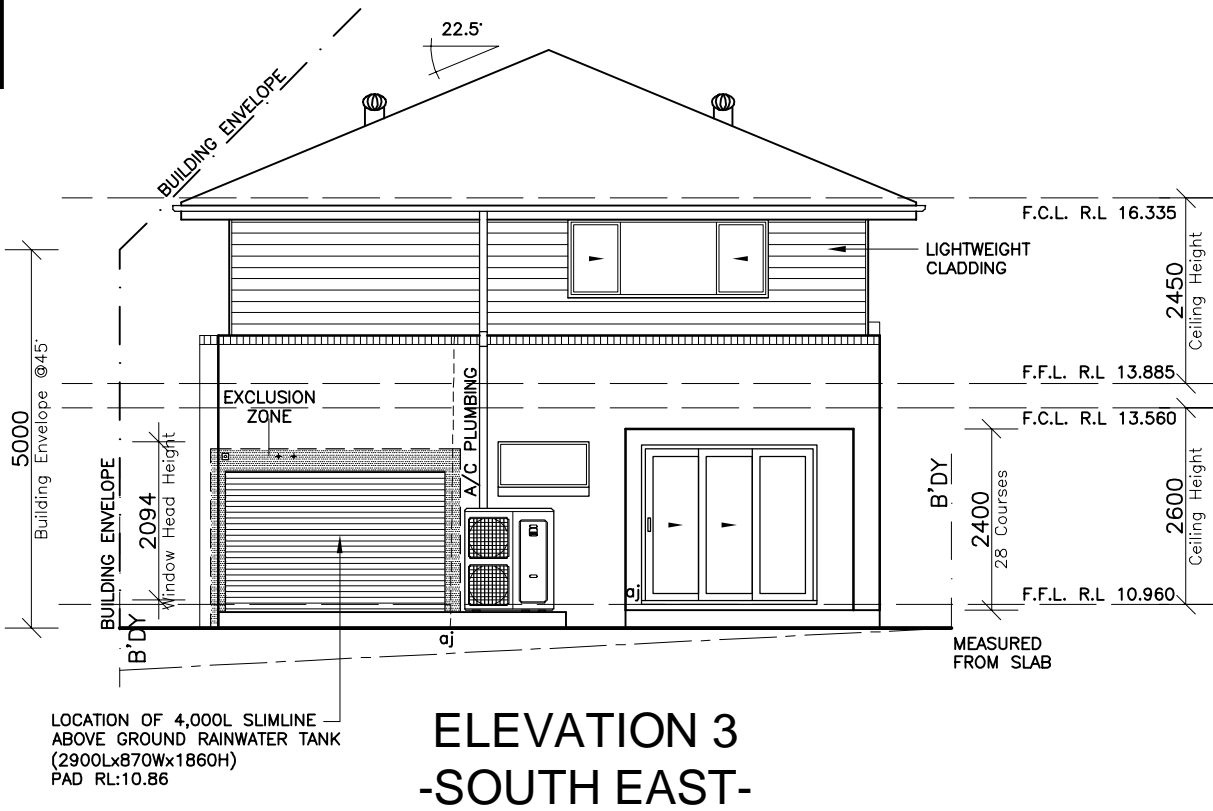
FINAL CONSTRUCTION PLAN			
DRAWN: PG.	DATE: 28.02.19	Rev: <b>N</b>	
RATIO @ A3: 1:100	CHECKED: J.S		
SHEET: <b>5</b>	JOB No: <b>29913455</b>	<b>NSW</b>	

NOTE:  
HEIGHT OF DROP EDGE BEAM MAY  
VARY DUE TO SITE CONDITIONS  
UPON COMPLETION OF SITE WORKS

NOTES:  
FOR DROP-OFF's REFER  
TO FRAMING DETAILS  
**CDN 21.010-21.080**

Selected Render Coating 1

DENOTES WINDOWS WITH  
6.38mm TRANSLUCENT  
GLAZING



19/02/2020 12:34:44 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

ClarendonHomes

BL No. 2298C  
ABN 18 003 892 706

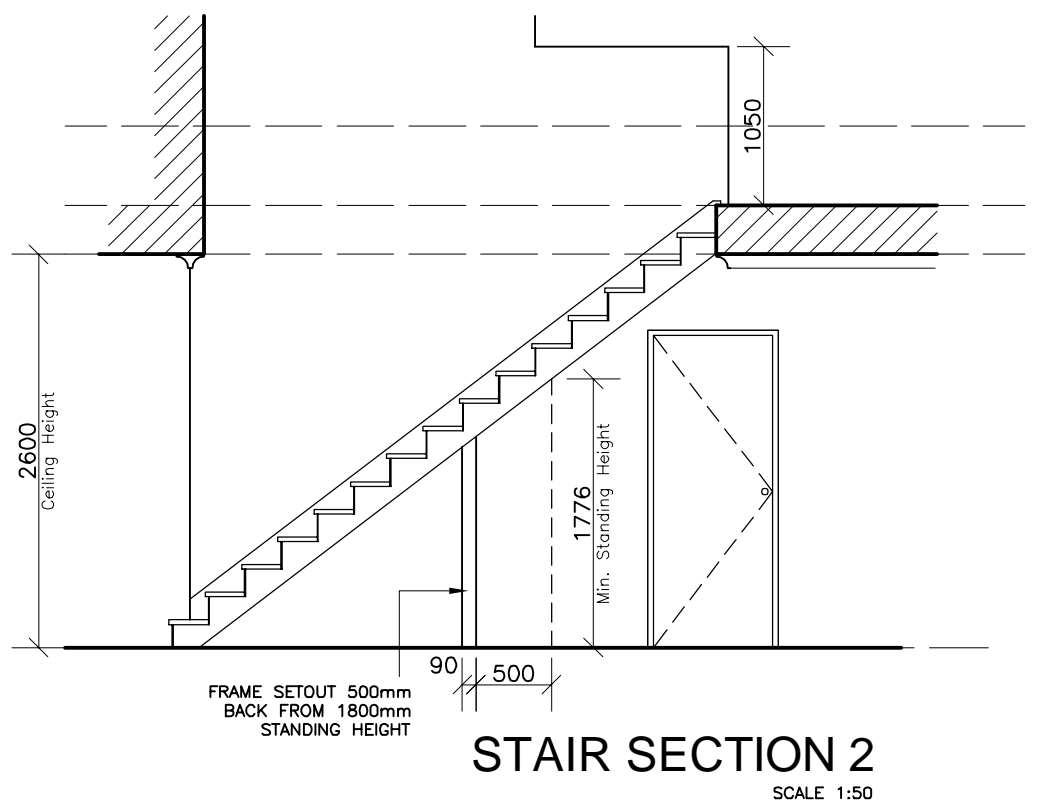
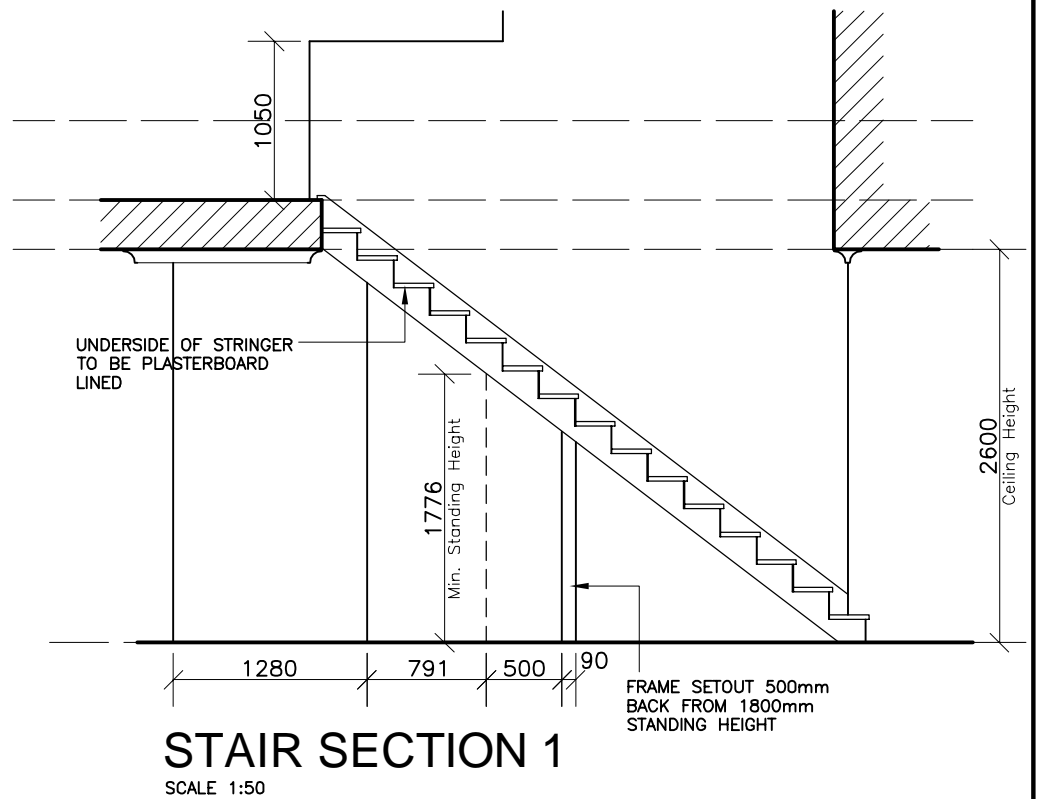
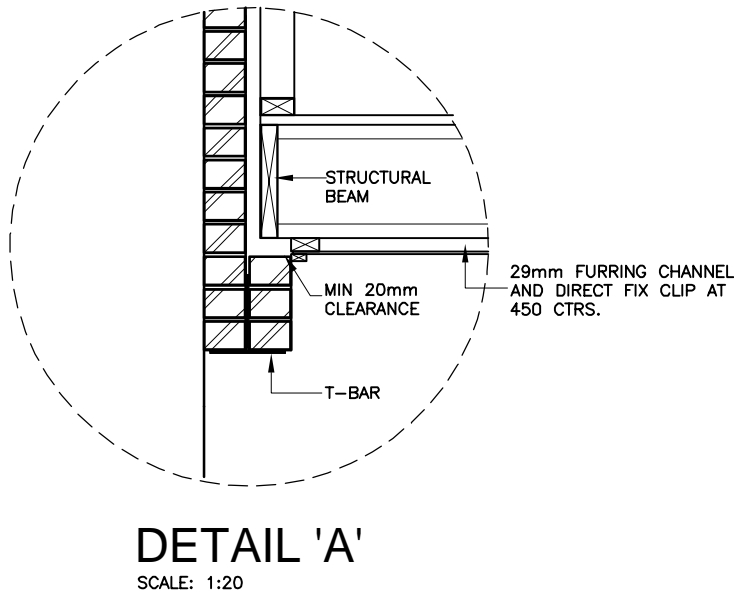
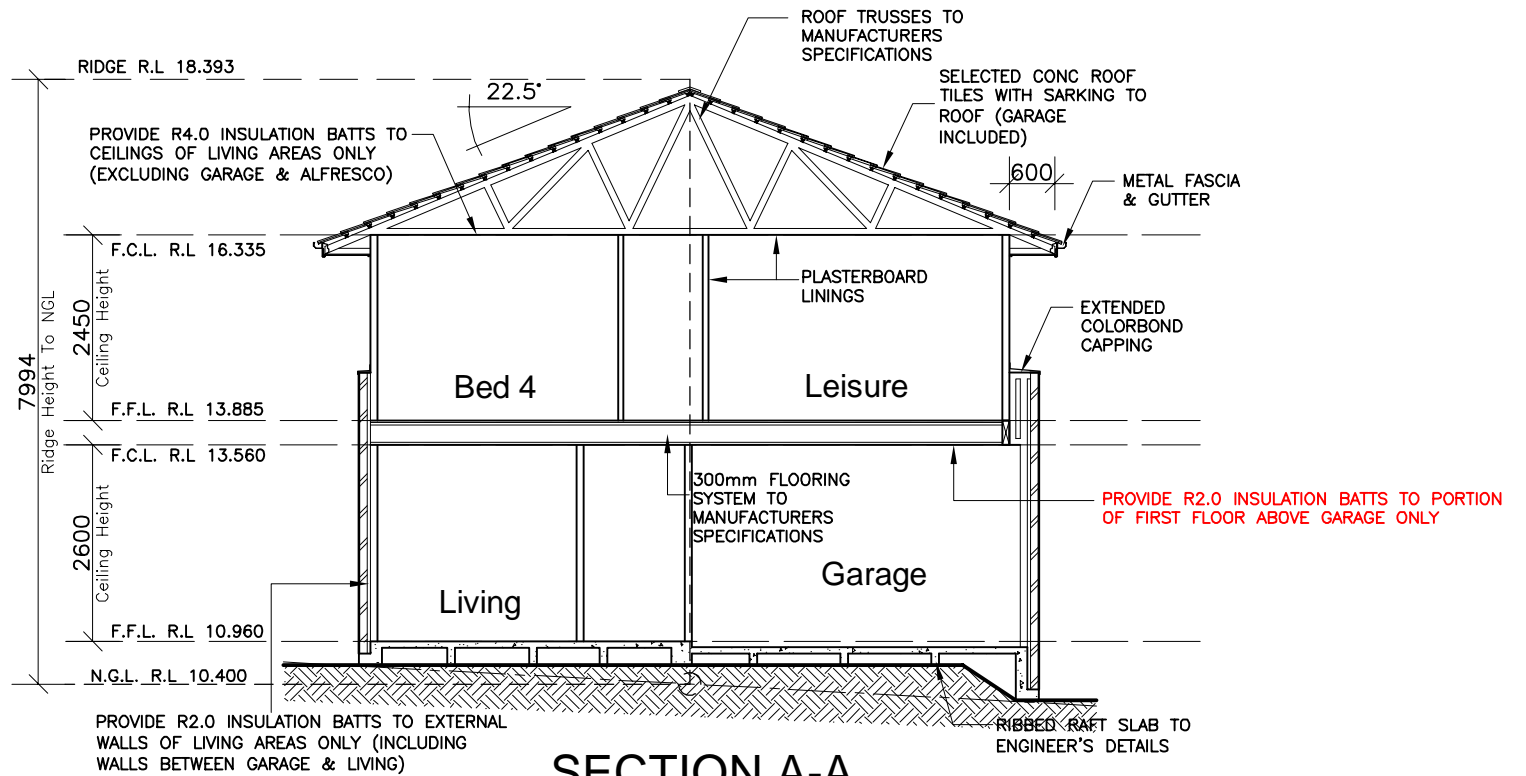
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PRODUCT:  
**PARKHILL 32**  
Prominent  
R/H Garage  
  
Evolution Specification

CLIENT:  
**Mr. SOMMER**  
**Mrs. SOMMER**  
  
SITE ADDRESS:  
**Lot 17**  
**No.1 Bubalo Street**  
**WARRIEWOOD 2102**

FINAL CONSTRUCTION PLAN			
DRAWN: PG.	DATE: 28.02.19	Rev: <b>N</b>	
RATIO @ A3: 1:100	CHECKED: J.S		
SHEET: <b>6</b>	JOB No: <b>29913455</b>	<b>NSW</b>	



19/02/2020 12:34:45 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

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PRODUCT:  
**PARKHILL 32**  
Prominent  
R/H Garage  
  
Evolution Specification

CLIENT:  
**Mr. SOMMER**  
**Mrs. SOMMER**  
  
SITE ADDRESS:  
**Lot 17**  
**No.1 Bubalo Street**  
**WARRIEWOOD 2102**

FINAL CONSTRUCTION PLAN		
DRAWN: PG.	DATE: 28.02.19	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	<b>N</b>
SHEET: <b>7</b>	JOB No: <b>29913455</b>	<b>NSW</b>



Ⓢ SMOKE ALARM

● AIR CONDITIONING DUCT

NOTE:  
FOR SAFETY REASONS  
CLARENDON RESIDENTIAL DOES  
NOT RECOMMEND PROVISION FOR  
LIGHT FITTINGS IN CEILINGS  
ABOVE DOUBLE STOREY VOIDS

NOTE:  
PROVIDE S9071 PREMIER LED DOWN  
LIGHTS. INSULATION TO BE LAID  
OVER THE APPROVED DOWN LIGHTS  
AS PER MANUFACTURERS  
GUIDELINES

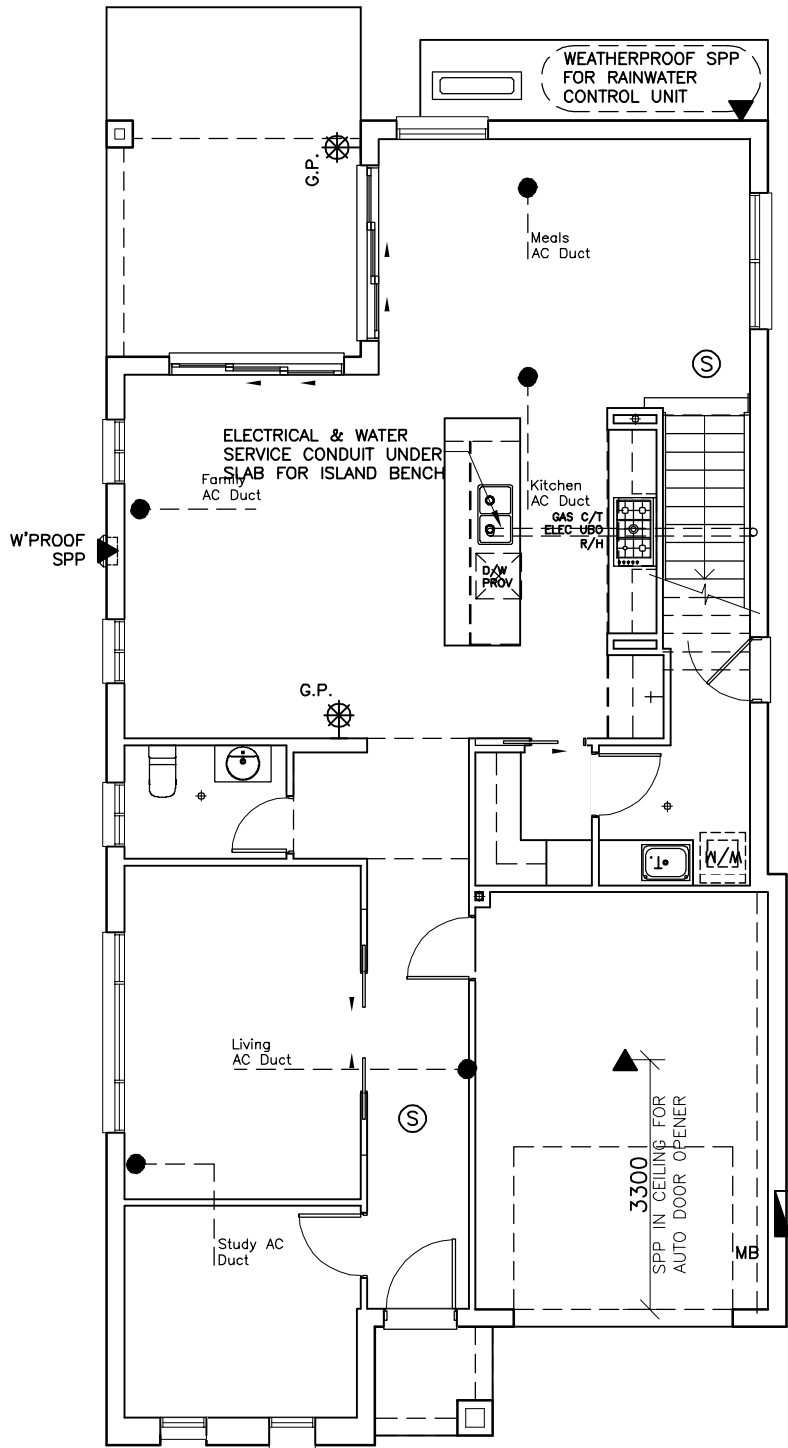
Electrical Legend-  
Standard items:

SINGLE POWER POINT (SPP)	0
DOUBLE POWER POINT (DPP)	24
CEILING LIGHT OUTLET	25
EXT.WALL MOUNTED LIGHT POINT	1
EXT. WEATHERPROOF DPP	1
SMOKE DETECTOR	3
EXHAUST FAN	0
2-WAY SWITCH	1
D/W SINGLE POWER POINT	1
REF. SINGLE POWER POINT	1
M/W DOUBLE POWER POINT	1
R/H SINGLE POWER POINT	1
GAS C/T or UPRIGHT SPP	1
UBO SINGLE POWER POINT	1
OVEN ISOLATOR SWITCH	1
W/M DOUBLE POWER POINT	1
T.V. POINT	2
PHONE POINT	2

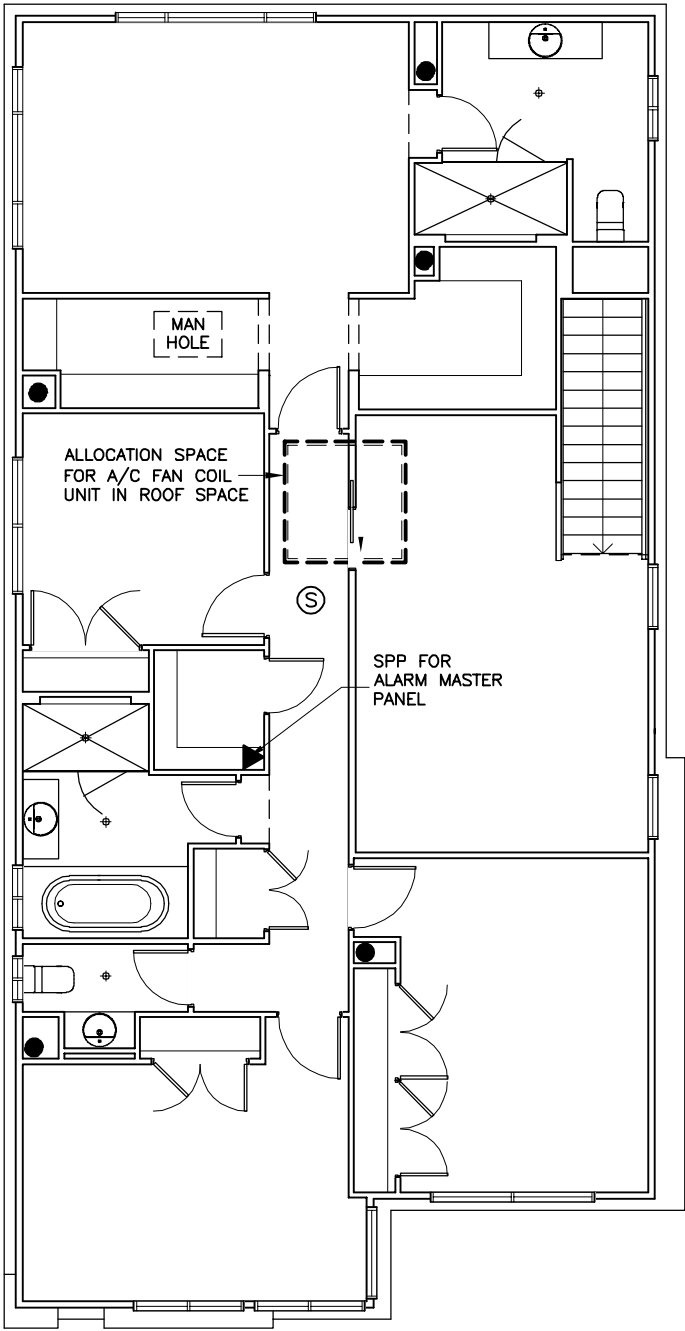
Electrical Legend-  
Extra over items:

AIR CONDITIONING	1
GAS POINT	1
AUTO DR SINGLE POWER POINT	1
ALARM SINGLE POWER POINT	1
INTERCOM SINGLE POWER POINT	0
VACUUM SINGLE POWER POINT	0
SPA SINGLE POWER POINT	0
DOWN LIGHT	10
INT.WALL MOUNTED LIGHT	1
EXT. WEATHERPROOF SPP	2
CEILING FAN	1

⊗ EXHAUST FAN



GROUND FLOOR  
ELECTRICAL LAYOUT



FIRST FLOOR  
ELECTRICAL LAYOUT

19/02/2020 12:34:46 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

ClarendonHomes

BL No. 2298C

ABN 18 003 892 706

Clarendon Homes (NSW) P/L

21 Solent Circuit, Baulkham Hills NSW 2153

T: (02) 8851 5300

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# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ  
IN PREFERENCE TO SCALING.

PRODUCT:  
**PARKHILL 32**  
Prominent  
R/H Garage  
  
Evolution Specification

CLIENT:  
**Mr. SOMMER**  
**Mrs. SOMMER**  
SITE ADDRESS:  
**Lot 17**  
**No.1 Bubalo Street**  
**WARRIEWOOD 2102**

FINAL CONSTRUCTION PLAN

DRAWN:  
PG.

RATIO @ A3:  
1:100

SHEET:  
8

DATE:  
28.02.19

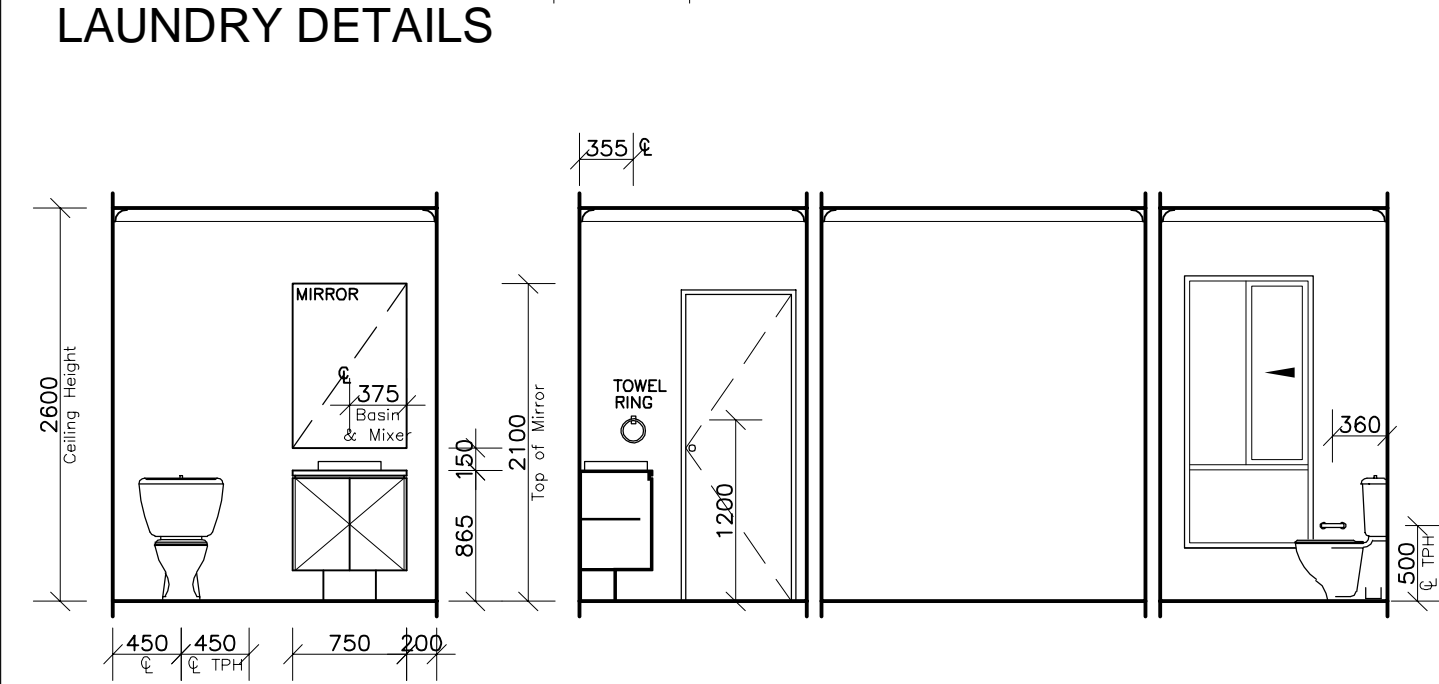
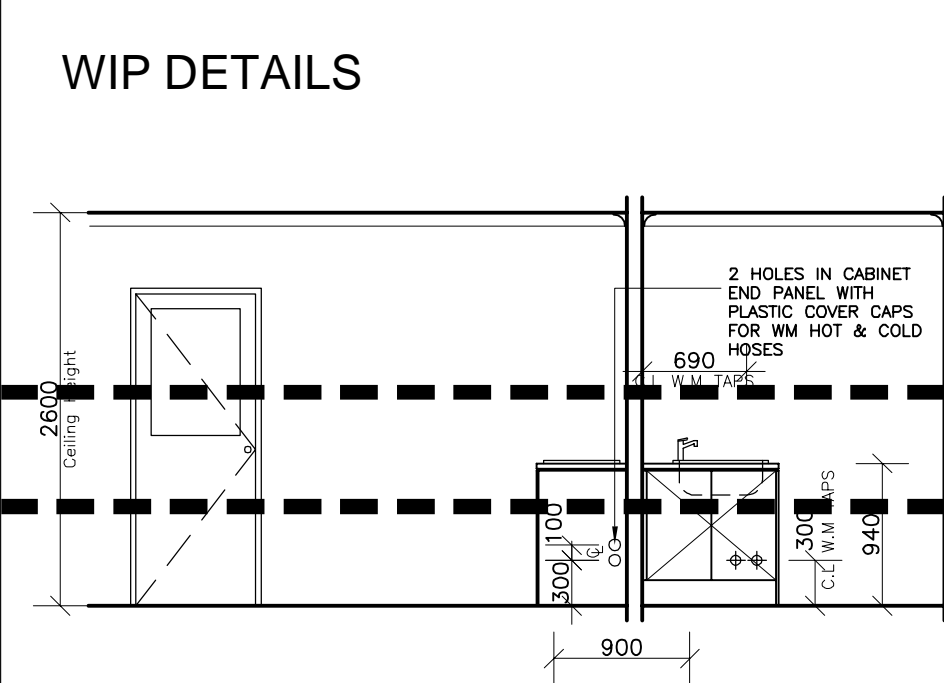
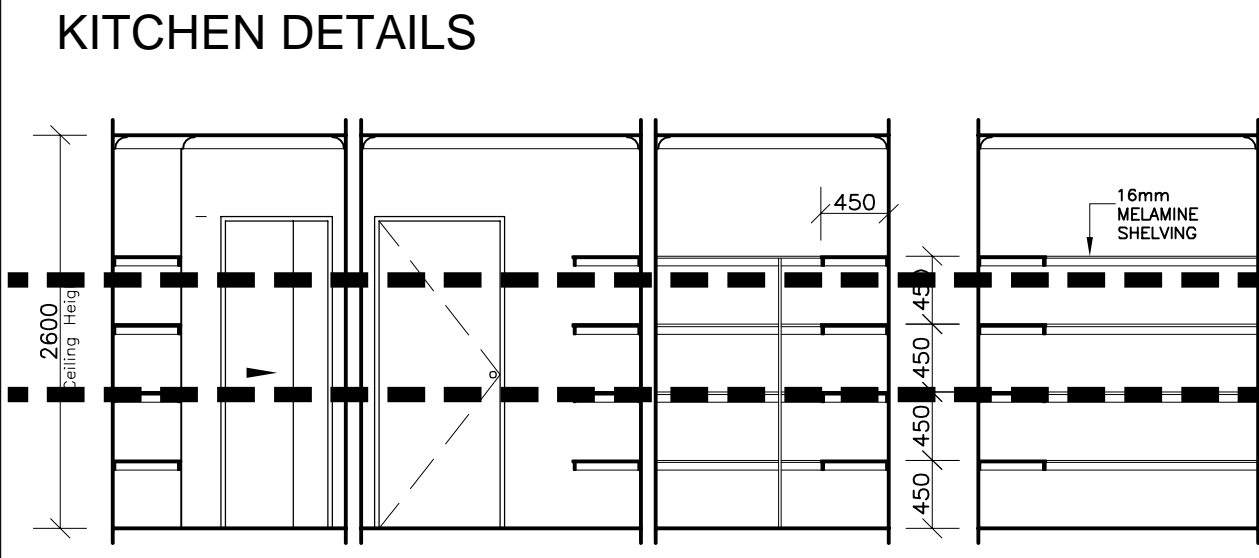
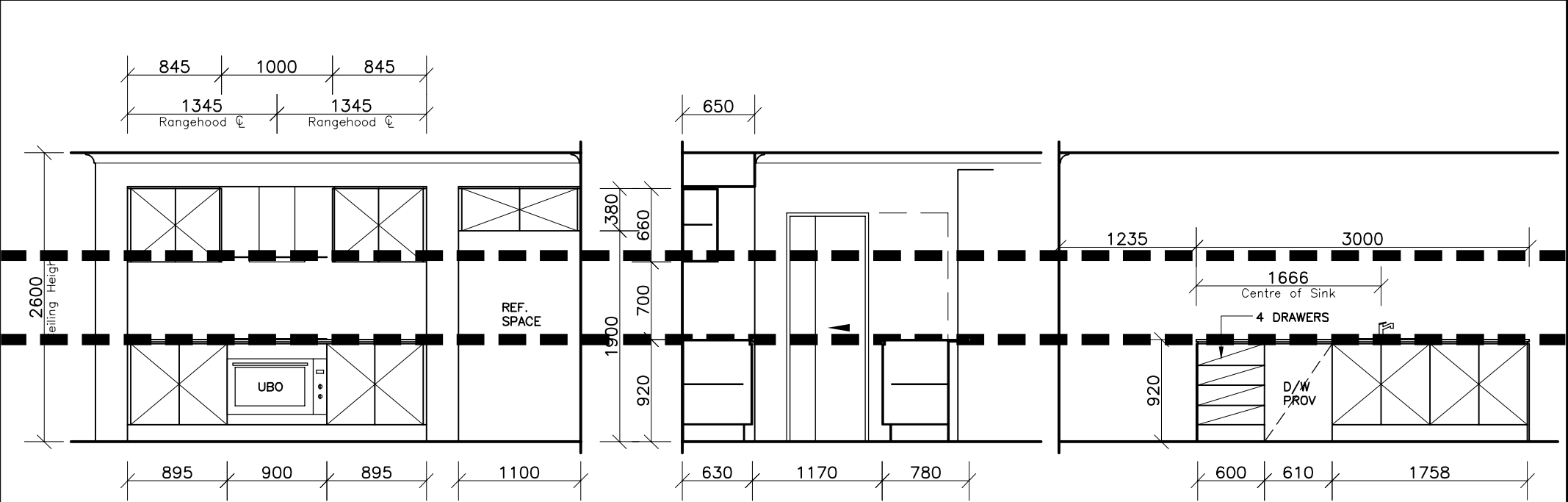
CHECKED:  
J.S

JOB No:  
29913455

Rev:  
N

NSW





**NOTE:**  
REFER TO **TILE** QUOTE FOR TILING LAYOUT

**NOTE:**  
REFER TO **YOUR HOME KITCHEN** DRAWINGS AND QUOTE

NOTES:

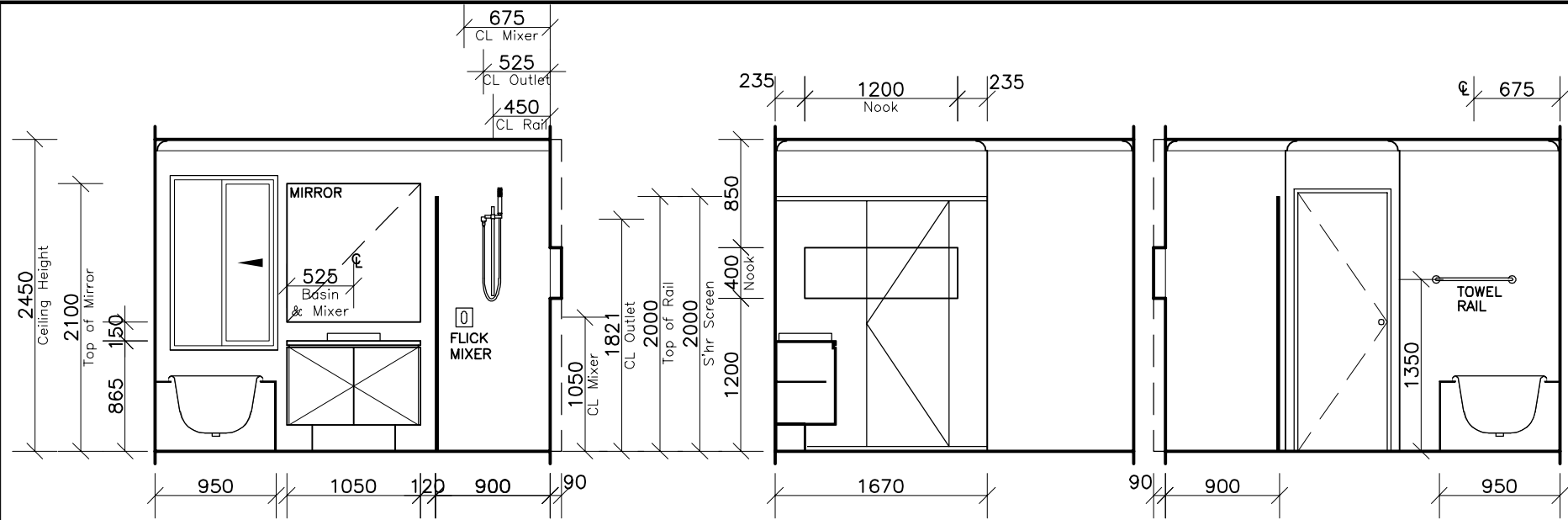
1. ALL PLUMBING SETOUT DIMENSIONS ARE FROM THE TIMBER FRAME

2. INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED

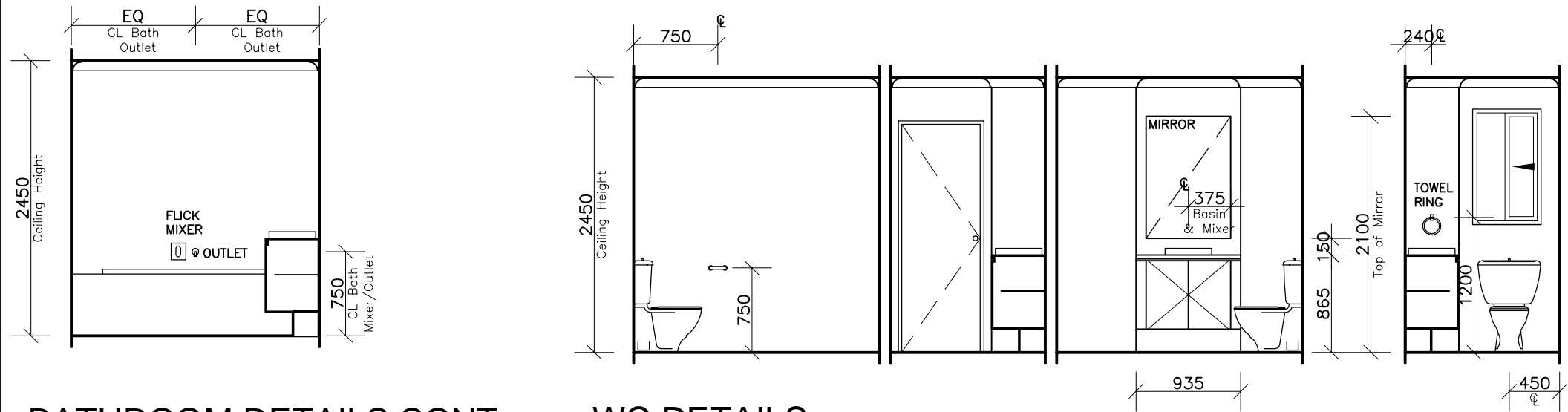
CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

19/02/2020 12:34:47 PM, CONSTRUCTION DRAWINGS

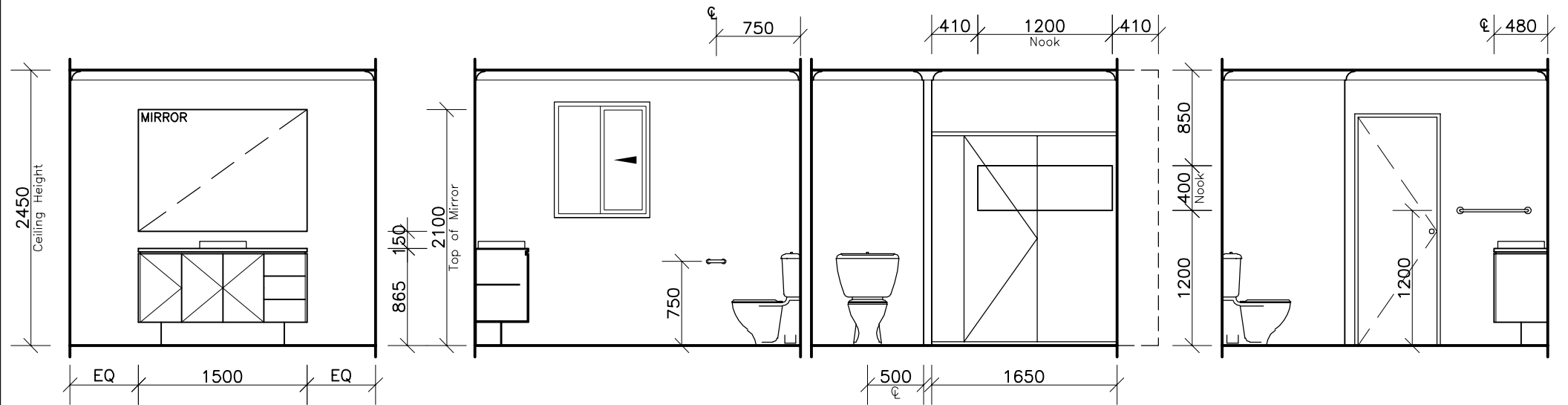
<b>ClarendonHomes</b> <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: <b>PARKHILL 32</b> Prominent R/H Garage  Evolution Specification	CLIENT: Mr. SOMMER Mrs. SOMMER  SITE ADDRESS: Lot 17 No.1 Bubalo Street WARRIEWOOD 2102	FINAL CONSTRUCTION PLAN		
				DRAWN: PG.	DATE: 28.02.19	Rev: N
				RATIO @ A3: 1:50	CHECKED: J.S	
				SHEET: 9	JOB No: 29913455	NSW



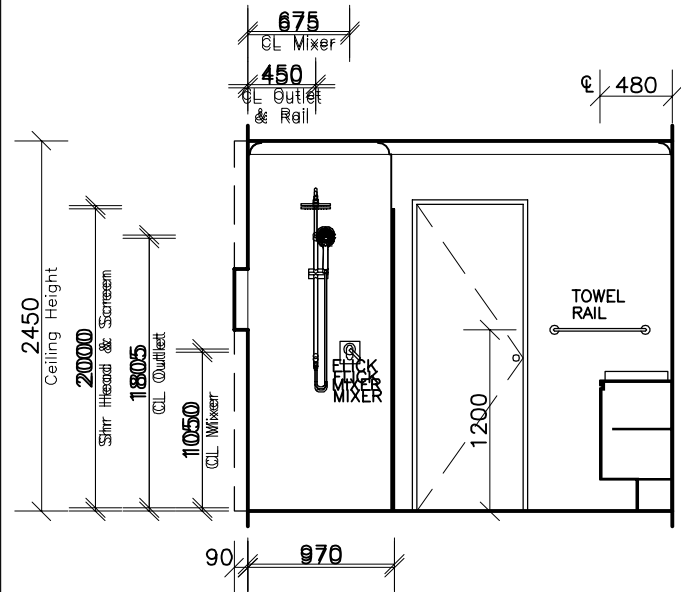
BATHROOM DETAILS



BATHROOM DETAILS CONT. WC DETAILS



ENSUITE DETAILS



ENSUITE DETAILS CONT.

**NOTE:**  
REFER TO **TILE** QUOTE FOR TILING LAYOUT

**NOTE:**  
REFER TO **YOUR HOME KITCHEN** DRAWINGS AND QUOTE

NOTES:

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2. INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED

19/02/2020 12:34:48 PM, CONSTRUCTION DRAWINGS

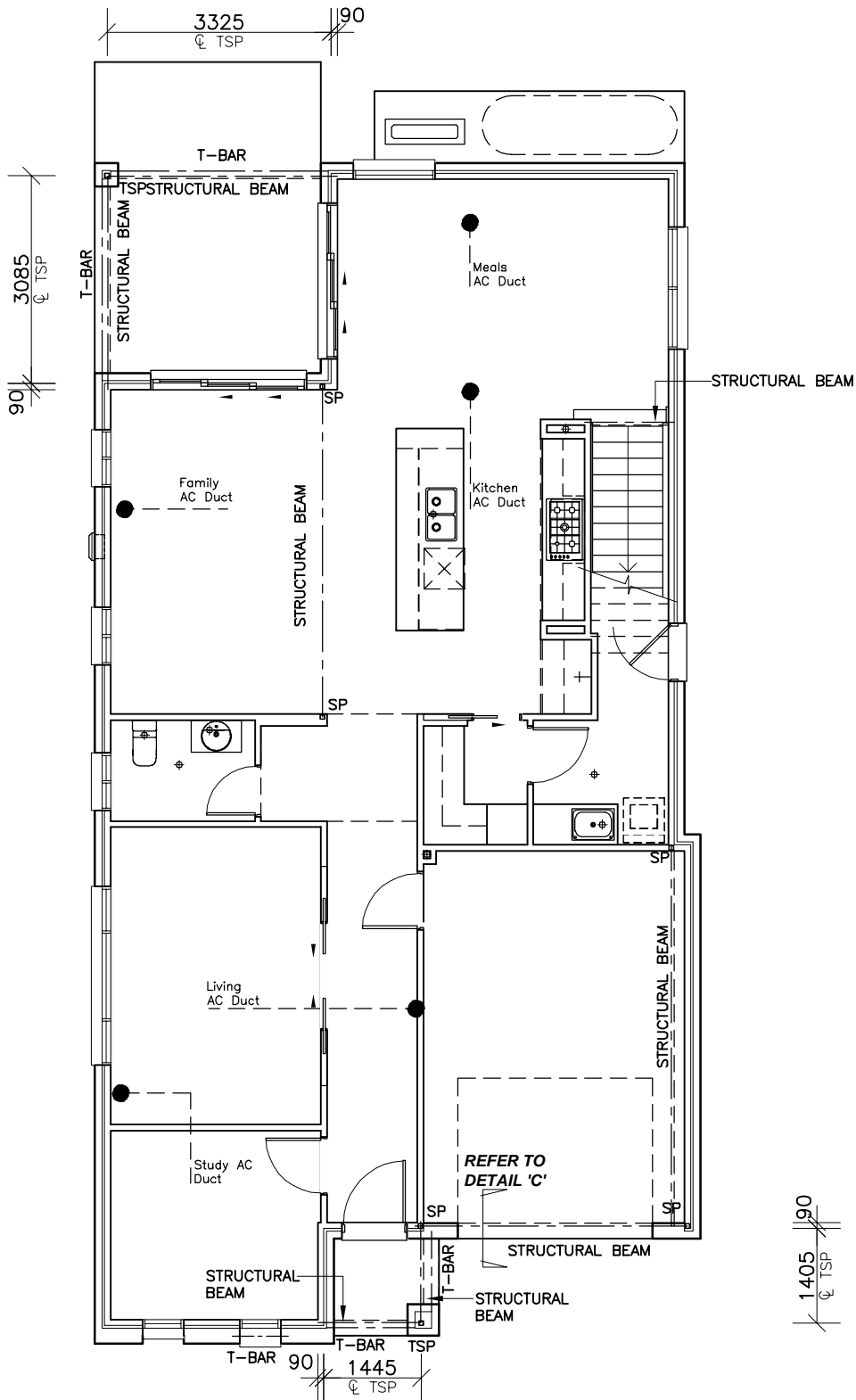
CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<b>ClarendonHomes</b> <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L <b># ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</b>	PRODUCT: <b>PARKHILL 32</b> Prominent R/H Garage  Evolution Specification	CLIENT: Mr. SOMMER Mrs. SOMMER  SITE ADDRESS: Lot 17 No.1 Bubalo Street WARRIEWOOD 2102	FINAL CONSTRUCTION PLAN		
				DRAWN: PG.	DATE: 28.02.19	Rev: <b>N</b>
				RATIO @ A3: 1:50	CHECKED: J.S	
				SHEET: 10	JOB No: 29913455	NSW

● AIR CONDITIONING DUCT

1 FLOOR  
JOIST  
DIRECTION

SP<sub>o</sub> STEEL POST  
TSP<sub>o</sub> TELESCOPIC STEEL POST



STEEL PLAN

19/02/2020 12:34:49 PM, CONSTRUCTION DRAWINGS

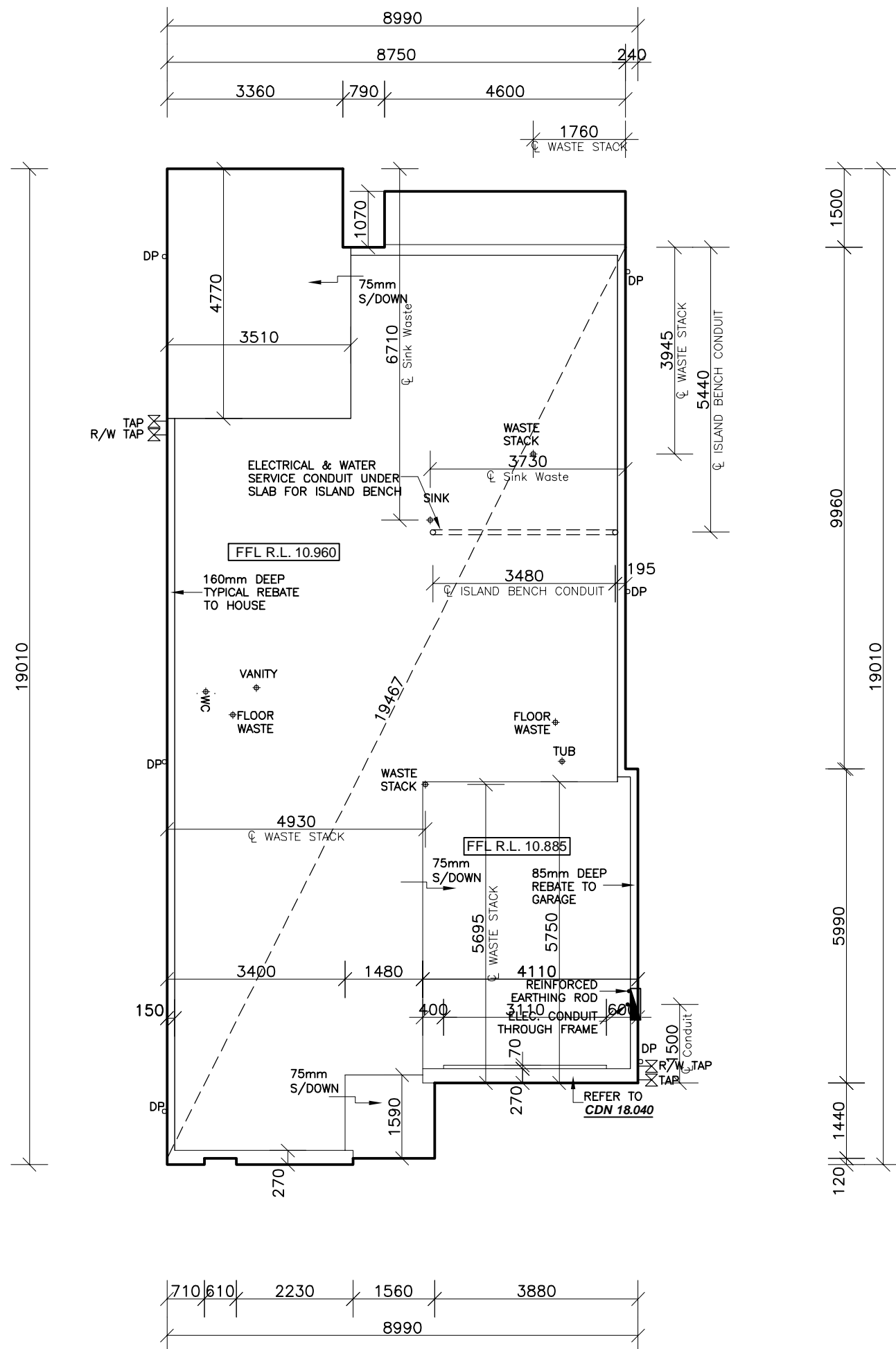
CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<div>ClarendonHomes</div> <div>BL No. 2298C ABN 18 003 892 706</div> <div>Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300</div>	<div>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div>	<div>PRODUCT:</div> <div>PARKHILL 32 Prominent R/H Garage</div> <div>Evolution Specification</div>	<div>CLIENT:</div> <div>Mr. SOMMER Mrs. SOMMER</div> <div>SITE ADDRESS:</div> <div>Lot 17 No.1 Bubalo Street WARRIEWOOD 2102</div>	FINAL CONSTRUCTION PLAN		
				DRAWN: PG.	DATE: 28.02.19	Rev:  N
				RATIO @ A3: 1:100	CHECKED: J.S	
				SHEET: 11	JOB No: 29913455	NSW

**NOTE:**  
ALL INTERNAL DRAINAGE POINTS  
INDICATIVE ONLY. POSITION TO BE  
DETERMINED ON SITE

DP ○ DOWN PIPE LOCATION

TAP      GARDEN TAP  
      LOCATION



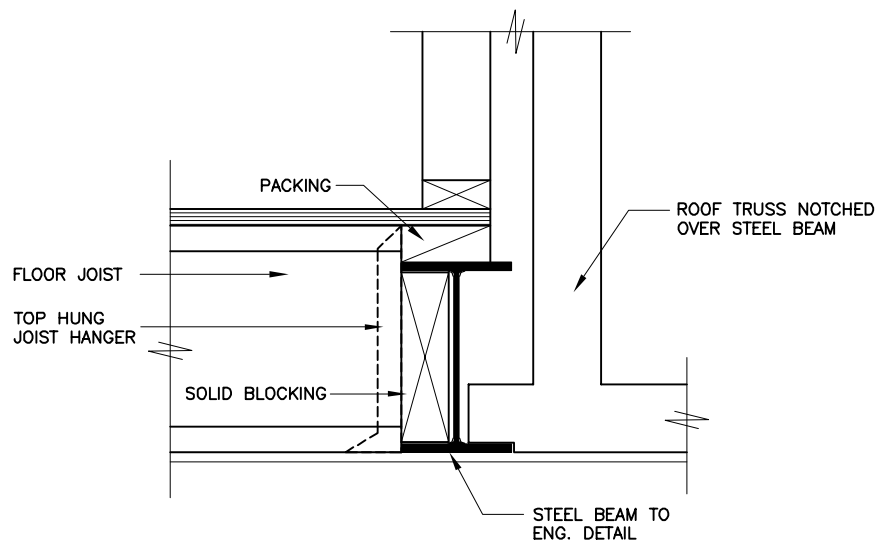
## SLAB PLAN

19/02/2020 12:34:50 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

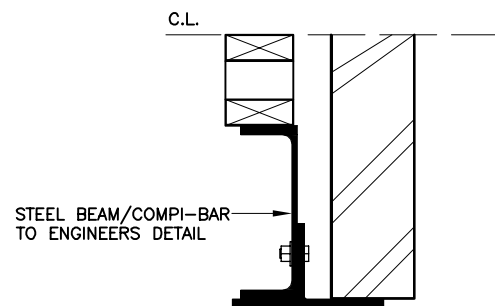
<div><div><div>ClarendonHomes</div></div><div><div>BL No. 2298C</div><div>ABN 18 003 892 706</div></div><div><div>Clarendon Homes (NSW) P/L</div><div>21 Solent Circuit, Baulkham Hills NSW 2153</div><div>T: (02) 8851 5300</div></div></div>	<div><div>© ALL RIGHTS RESERVED</div><div>This plan is the property of CLARENDON HOMES (NSW) P/L</div><div>Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</div><div># ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.</div></div>	<div><div>PRODUCT:</div><div>PARKHILL 32</div><div>Prominent R/H Garage</div><div>Evolution Specification</div></div>	<div><div>CLIENT:</div><div>Mr. SOMMER</div><div>Mrs. SOMMER</div></div>	FINAL CONSTRUCTION PLAN		
			<div><div>SITE ADDRESS:</div><div>Lot 17</div><div>No.1 Bubalo Street</div><div>WARRIEWOOD 2102</div></div>	<div><div>DRAWN:</div><div>PG.</div></div>	<div><div>DATE:</div><div>28.02.19</div></div>	<div><div>Rev:</div><div>N</div></div>
				<div><div>RATIO @ A3:</div><div>1:100</div></div>	<div><div>CHECKED:</div><div>J.S</div></div>	
				<div><div>SHEET:</div><div>12</div></div>	<div><div>JOB No:</div><div>29913455</div></div>	<div><div>NSW</div></div>





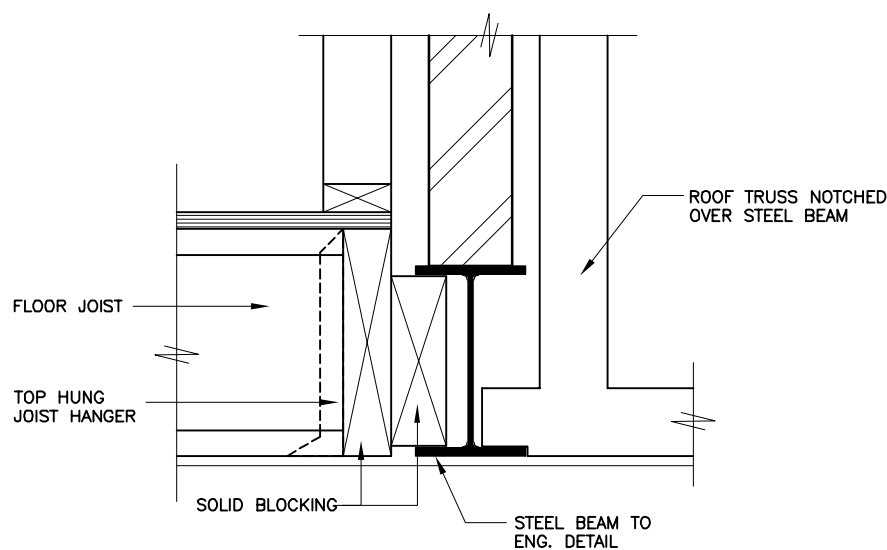
TYPICAL DETAIL  
GENERIC STEEL BEAM SHOWN FOR  
ILLUSTRATION PURPOSES ONLY.  
REFER TO ENGINEERS DETAILS

DETAIL 'B'  
(CDN 27.020)



TYPICAL DETAIL  
GENERIC STEEL BEAM SHOWN FOR  
ILLUSTRATION PURPOSES ONLY.  
REFER TO ENGINEERS DETAILS

DETAIL 'C'  
(CDN 27.050)



TYPICAL DETAIL  
GENERIC STEEL BEAM SHOWN FOR  
ILLUSTRATION PURPOSES ONLY.  
REFER TO ENGINEERS DETAILS

DETAIL 'D'  
(CDN 27.010)

19/02/2020 12:34:51 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**

BL No. 2298C  
ABN 18 003 892 706

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21 Solent Circuit, Baulkham Hills NSW 2153  
T: (02) 8851 5300

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IN PREFERENCE TO SCALING.

PRODUCT:  
**PARKHILL 32**  
Facade  
R/H Garage  
  
Evolution Specification

CLIENT:  
**Mr. SOMMER**  
**Mrs. SOMMER**  
  
SITE ADDRESS:  
**Lot 17**  
**No.1 Bubalo Street**  
**WARRIEWOOD 2102**

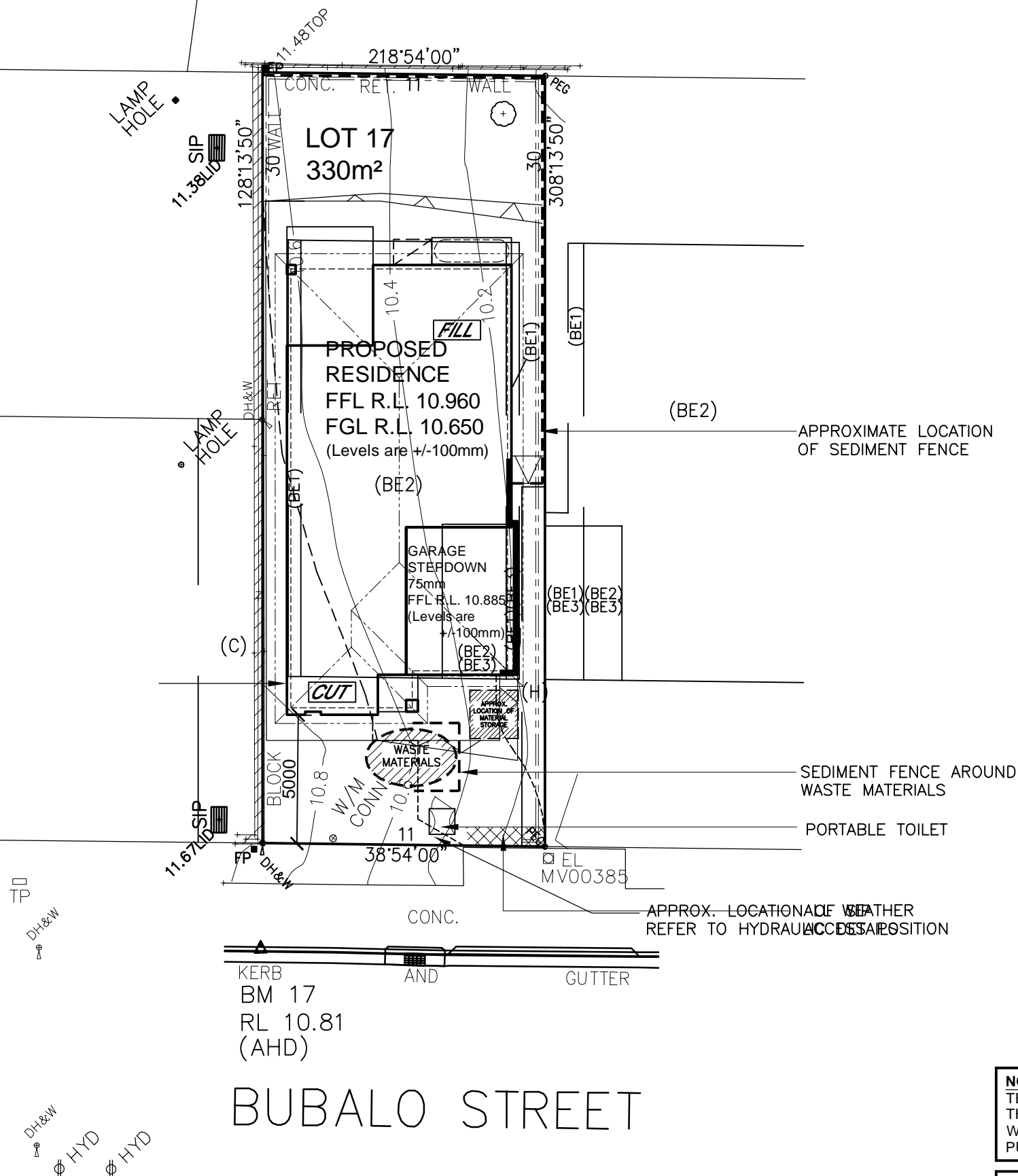
FINAL CONSTRUCTION PLAN

DRAWN: PG.	DATE: 28.02.19	Rev: <b>N</b>
RATIO @ A3: 1:10	CHECKED: J.S	
SHEET: <b>14</b>	JOB No: <b>29913455</b>	<b>XXX</b>

**LOT 17**  
**D.P: UNREGISTERED**  
**L.G.A: NORTHERN BEACHES**

SITING HAS BEEN COMPLETED  
IN ACCORDANCE WITH  
PITTSWATER DCP 21 - D16

LOT 22  
DP 270907



**NOTE:**  
TEMPORARY SECURITY FENCING TO  
THE PERIMETER OF THE BOUNDARY  
WHERE REQUIRED TO PREVENT  
PUBLIC ACCESS ONTO THE SITE

**NOTE:**  
GROUND LINES ARE APPROXIMATE.  
EXTENT OF CUT AND FILL BATTERS  
WILL BE DETERMINED ON SITE.  
SEDIMENT BARRIERS ARE  
CUSTOMISED TO SITE CONDITIONS

# CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

19/02/2020 12:34:52 PM, CONSTRUCTION DRAWINGS

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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**# ALL DIMENSIONS TO STRUCTURAL  
ELEMENTS. DIMENSIONS TO BE READ  
IN REFERENCE TO SCALING.**

PRODUCT:  
**PARKHILL 32**  
Prominent  
R/H Garage  
  
Evolution Specification

CLIENT: Mr. SOMMER Mrs. SOMMER
SITE ADDRESS: Lot 17 No.1 Bubalo Street WARRIEWOOD 2102

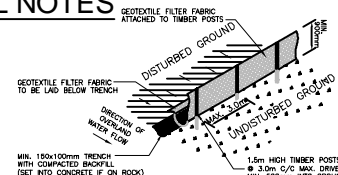
## FINAL CONSTRUCTION PLAN

DRAWN: PG.	DATE: 28.02.19	Rev:  N
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2.1	JOB No: 29913455	

NSW

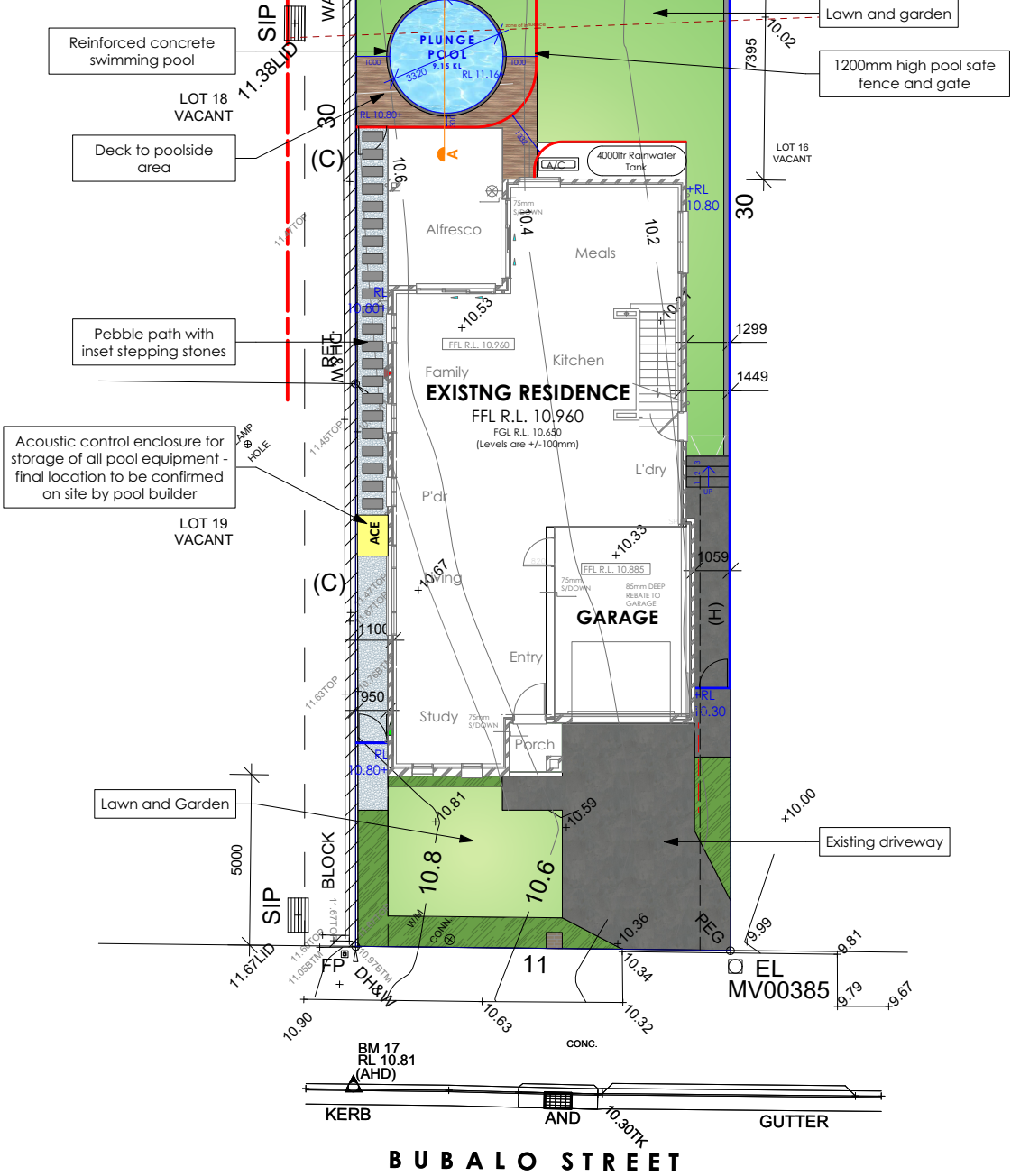
## SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND RESPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND COMPLETED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED A
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED CONCENTRATE ALL ROADS AND FOOTPATHS TO BE
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED
8. DUST PREVENTION MEASURES TO BE MAINTAINED

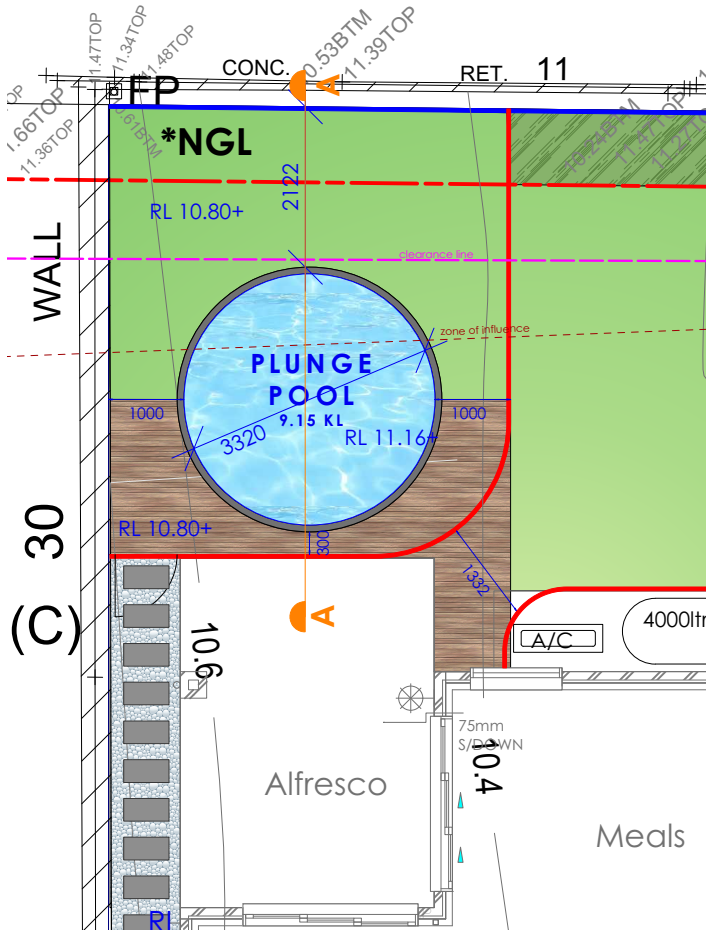


SEDIMENT FENCE  
NOT TO SCALE

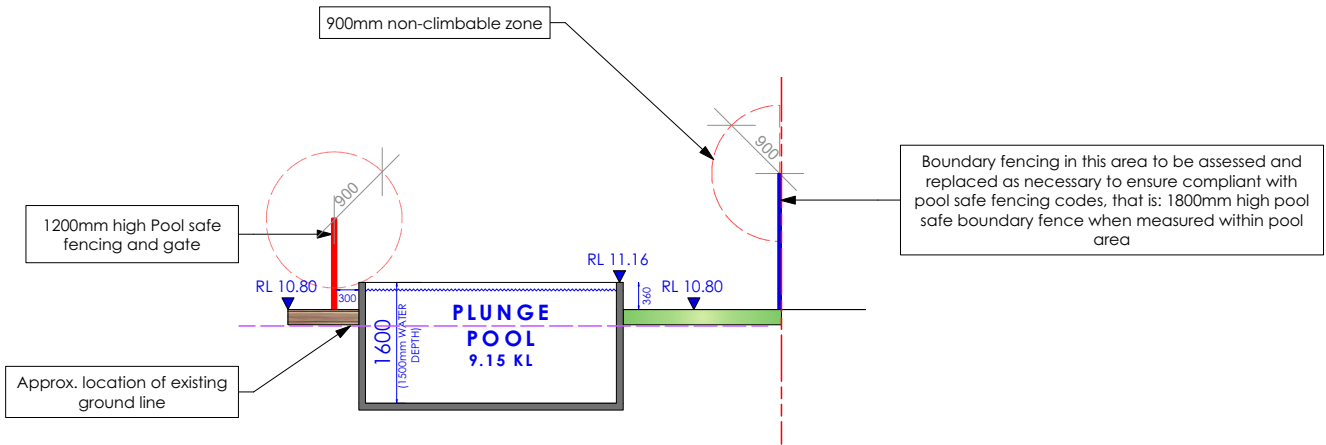
Boundary fencing in this area to be assessed and replaced as necessary to ensure compliant with pool safe fencing codes, that is: 1800mm high pool safe boundary fence when measured within pool area



SITE PLAN  
SCALE 1:200



POOL DETAIL PLAN  
SCALE 1:100



SECTION AA  
SCALE 1:100

## LEGEND

Coloured Concrete	
Decking	
Pebble Mulch	
Lawn	
Gardens	
1800mm High Boundary Fencing	
1200mm High Pool Safe Fencing	
*NGL	Natural Ground Level

NOTE: The swimming pool fence will be provided in accordance with AS1926.1-2012 and AS1926.2-2007 and the Swimming Pools Act 1992

SITE CALCULATIONS		m2
LOT AREA	330 sq m	
SITE COVERAGE		
HOUSE FOOTPRINT	153.6 sq m	
TOTAL	153.6 sq m	46.55%
HARDSCAPE AREAS		
DRIVEWAY AREA	30.7 sq m	
CROSSOVER	0 sq m	
CONCRETE PATHS	27.1 sq m	
DECKING	15.6 sq m	
TOTAL (exc. crossover)	73.4 sq m	22.25%
FRONT LANDSCAPED AREA		
LAWN AREAS	25.9 sq m	
GARDEN AREAS	13.3 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	0 sq m	
REAR LANDSCAPED AREA		
LAWN AREAS	58.3 sq m	
GARDEN AREAS	5.7 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	18.2 sq m	
TOTAL LANDSCAPED AREA	121.4 sq m	36.77%
MINIMUM LANDSCAPE REQUIREMENT:		35%

General Notes:  
1. See Architects drawings for site levels, setbacks and extent of cut and fill.  
2. All civil, structural and hydraulic work associated with this project shall be to consulting engineer's details.  
3. Exact location of site boundaries are to be confirmed on site prior to commencement of work.  
4. This plan is conceptual only and not for construction purposes.  
5. Any existing trees are to be protected in accordance with Councils Tree Preservation Order



## REVISIONS

issue	description	date
A	SUBMISSION PLAN	05.05.20