

BOVILL HOUSE
13 VIRGINIA PLACE, FORESTVILLE NSW 2087
LOT 7 DP 30924

ISSUED FOR DEVELOPMENT APPLICATION

| Drawing Index | | |
|---------------|-----------------------------|-------------------------------------|
| Drawing ID | Drawing Name | Published |
| A.01 | COVER PAGE | <input checked="" type="checkbox"/> |
| A.02 | SURVEY | <input checked="" type="checkbox"/> |
| A.03 | EXISTING PLAN 1:200 | <input checked="" type="checkbox"/> |
| A.04 | EXISTING ELEVATIONS | <input checked="" type="checkbox"/> |
| A.05 | EXISTING PHOTOGRAPHS | <input checked="" type="checkbox"/> |
| A.06 | DEMOLITION & WASTE MGMT ... | <input checked="" type="checkbox"/> |
| A.07 | PROPOSED PLAN 1:200 | <input checked="" type="checkbox"/> |
| A.08 | PROPOSED FLOORPLAN 1:100 | <input checked="" type="checkbox"/> |
| A.09 | PROPOSED ELEVATIONS | <input checked="" type="checkbox"/> |
| A.10 | PROPOSED ROOF PLAN 1:100 | <input checked="" type="checkbox"/> |
| A.11 | SHADOW DIAGRAMS | <input checked="" type="checkbox"/> |
| A.12 | BASIX REQUIREMENTS | <input checked="" type="checkbox"/> |
| A.13 | NOTIFICATION PLANS | <input checked="" type="checkbox"/> |



Existing dwelling

PROJECT

BOVILL HOUSE
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LOT 7 DP 30924

ARCHITECT

LANCE WORKSHOP
80 FINDLAY AVENUE
ROSEVILLE NSW 2069 AUSTRALIA
0413 941 554
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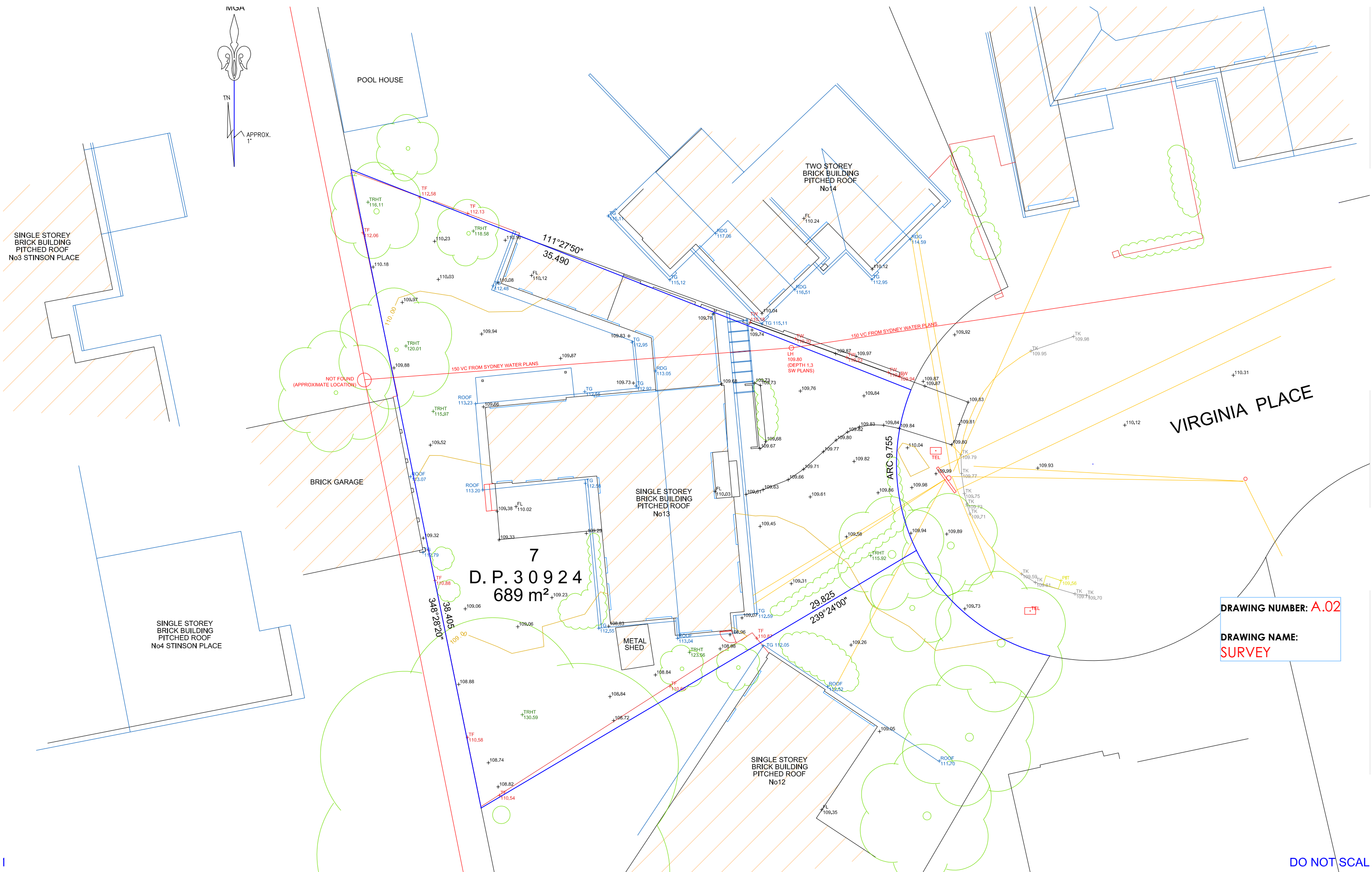
DRAWING NUMBER: A.01

DRAWING NAME:
COVER PAGE

SCALE

DATE
7/01/2020

DRAWN: LW



NOTES:
BOUNDARIES HAVE NOT BEEN DEFINED BY SURVEY AND ARE DIAGRAMMATIC ONLY.
DIMENSIONS AND AREAS HAVE BEEN COMPILED FROM PLANS OBTAINED FROM LPL.
BOUNDARIES RELATE TO MGA NORTH ORIGINATING FROM SCIMS MARKS.
VISIBLE, ACCESSIBLE SERVICES ONLY HAVE BEEN LOCATED. THIS PLAN DOES NOT PURPORT TO SHOW UNDERGROUND SERVICES.
THE EXISTENCE OF UNDERGROUND SERVICES HAS NOT BEEN ESTABLISHED.
EXISTENCE OF SERVICES MUST BE VERIFIED BY
UTILITIES SERVICES MUST BE EXPOSED AND LOCATED.
ADJACENT HOUSES, WINDOWS AND ROOF POSITIONS ARE APPROXIMATELY ONLY.
DOOR LEVELS GENERALLY SURVEYED AT DOOR THRESHOLDS. INTERNAL ROOMS NOT SURVEYED.
BOUNDARIES SHOWN ARE INDICATIVE OF LAND FORM. SPOT LEVELS SHOULD TAKE PRECEDENCE.
THIS TITLEBLOCK IS AN INTEGRAL PART OF THIS DRAWING AND SHOULD NOT BE REMOVED.

| LEGEND | |
|---------------------------|--|
| ELP - ELECTRIC LIGHT POLE | |
| HYD - HYDRANT | |
| TW - TOP WALL | |
| TK - TOP KERB | |
| TG - TOP GUTTER | |
| PP - POWER POLE | |
| SMH - SEWER MANHOLE | |
| SP - SIGN POST | |
| SV - STOP VALVE | |
| TEL - TELSTRA PIT | |
| VC - VEHICLE CROSSING | |



| © PROJECT SURVEYORS - 2019 REPRODUCTION WITHOUT WRITTEN APPROVAL IS STRICTLY PROHIBITED | |
|---|----------------------|
| | |
| | |
| | |
| | |
| A | SEWER ADDED 13.05.19 |

| CLIENT : BOVILL | |
|-----------------|--|
| PLAN OF: | 13 Virginia Place FORESTVILLE |
| BEING: | LOT 7 IN DP 30924 |
| SHOWING: | GENERAL DETAIL AND SITE LEVELS |
| PURPOSE: | ARCHITECTURAL DESIGN COUNCIL SUBMISSION |

| SCALE 1:100 | |
|------------------|-------------------------|
| | |
| SURVEYOR: | SD |
| DATUM: | AUSTRALIAN HEIGHT DATUM |
| ORIGIN: | SSM 38517 |
| JOB REF.: | B04516 |
| DRAWING No. | B04516-DETAIL.DWG |
| CHECKED: | NM |
| DATE OF SURVEY: | APRIL 2019 |
| REDUCTION RATIO: | 1:100 @ A1 |

BELLA VISTA
PO Box 7419
BAULKHAM HILLS NSW 2153
SUITE 405, LEVEL 4
14 LEXINGTON DRIVE,
BELLA VISTA NSW 2153
PHONE : 9056 1900
email: office@projectsurveyors.com.au



DRAWING NUMBER: A.02
DRAWING NAME: SURVEY

DO NOT SCALE



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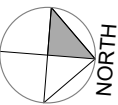
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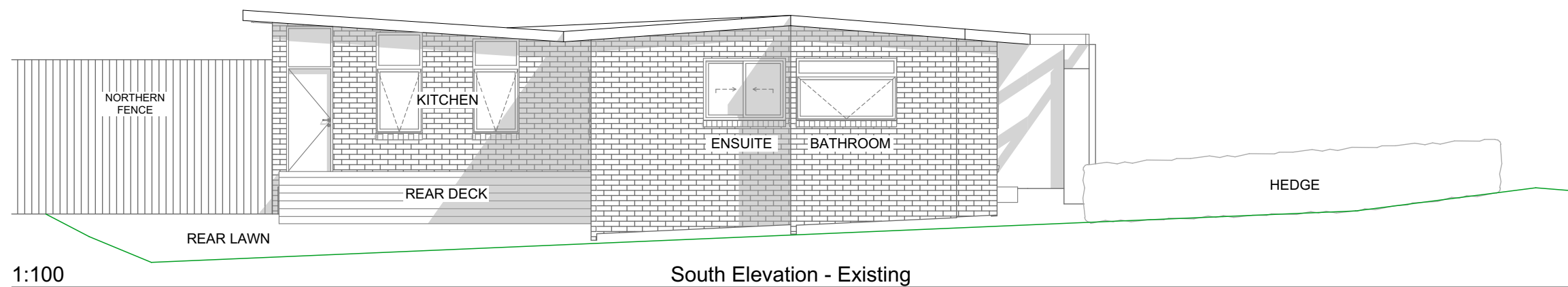
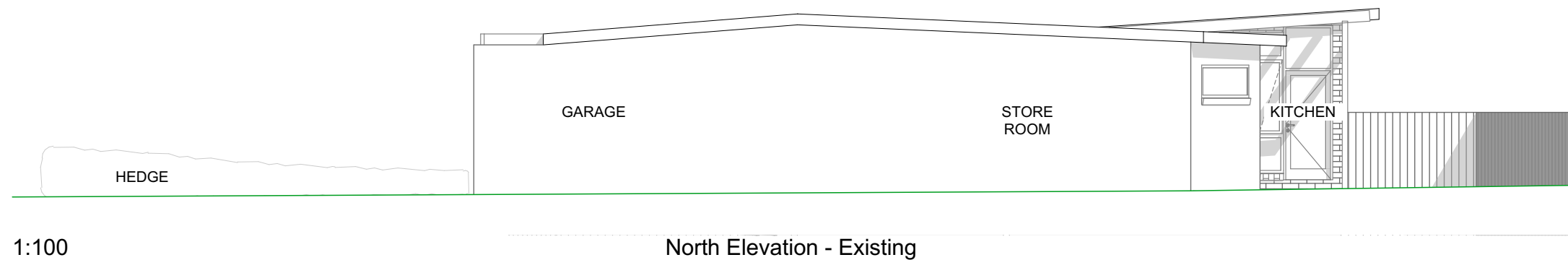
DRAWING NAME:
EXISTING PLAN 1:200

SCALE
1:200 @ A3

DATE
7/01/2020

DRAWN: LW





NOTE BOUNDARY FENCES
NOT SHOWN WHERE THEY
WOULD OBSTRUCT THE
ELEVATION VIEW.

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DRAWING NUMBER: **A.04**

DRAWING NAME:
EXISTING ELEVATIONS

SCALE
1:100 @ A3

DATE
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DRAWN: LW



East Elevation - Street Frontage

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DRAWING NUMBER: A.05

DRAWING NAME:
EXISTING
PHOTOGRAPHS

SCALE

DATE
7/01/2020

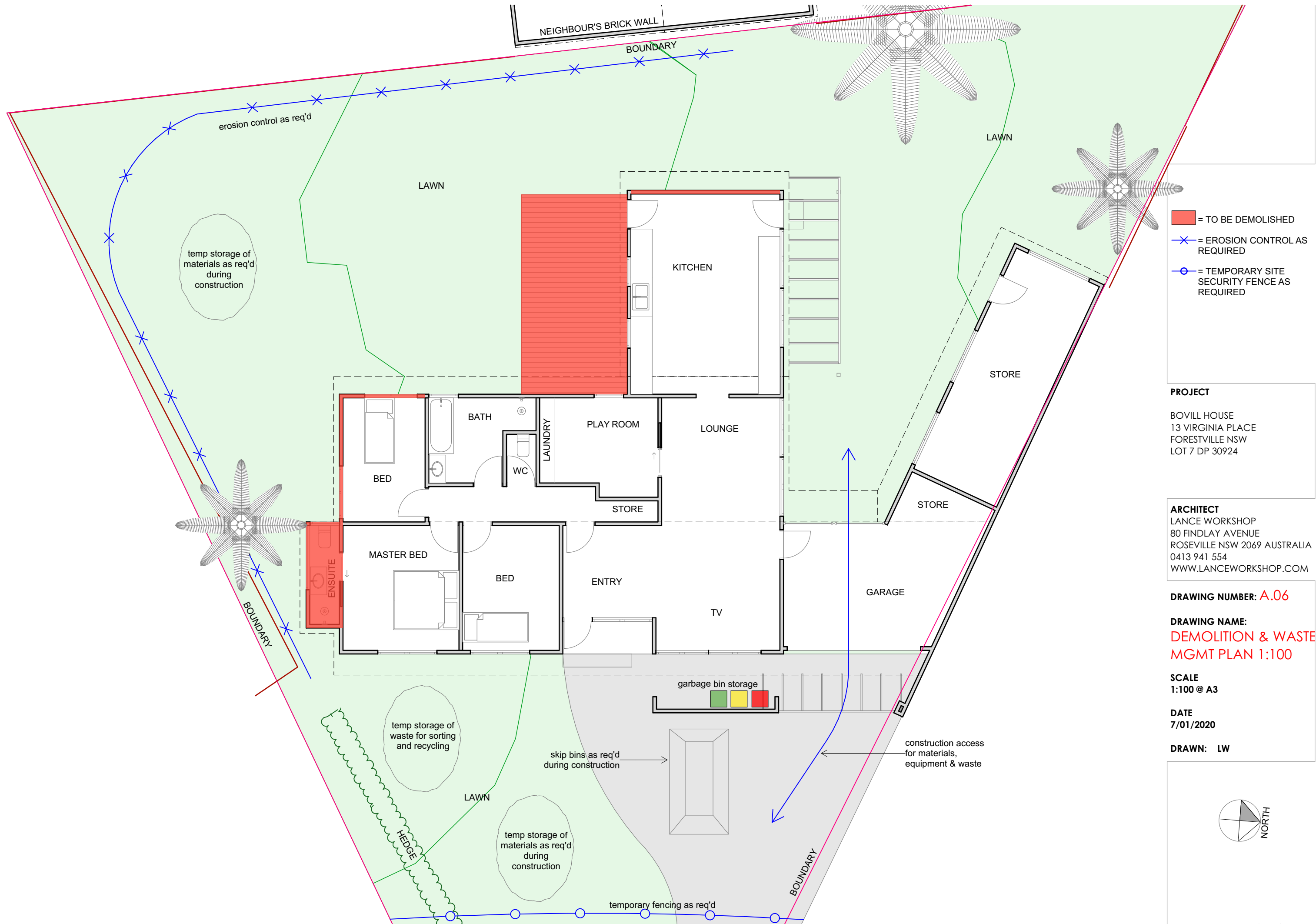
DRAWN: LW



Rear deck viewed from the south



Kitchen viewed from the north



- = TO BE DEMOLISHED
- × = EROSION CONTROL AS REQUIRED
- = TEMPORARY SITE SECURITY FENCE AS REQUIRED

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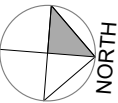
DRAWING NUMBER: A.06

DRAWING NAME:
DEMOLITION & WASTE
MGMT PLAN 1:100

SCALE
1:100 @ A3

DATE
7/01/2020

DRAWN: LW





- = PROPOSED NEW WORK
- = NO CHANGES

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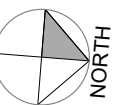
DRAWING NUMBER: **A.07**

DRAWING NAME:
PROPOSED PLAN
1:200

SCALE
1:200 @ A3

DATE
7/01/2020

DRAWN: **LW**



PROPOSED FLOOR PLAN

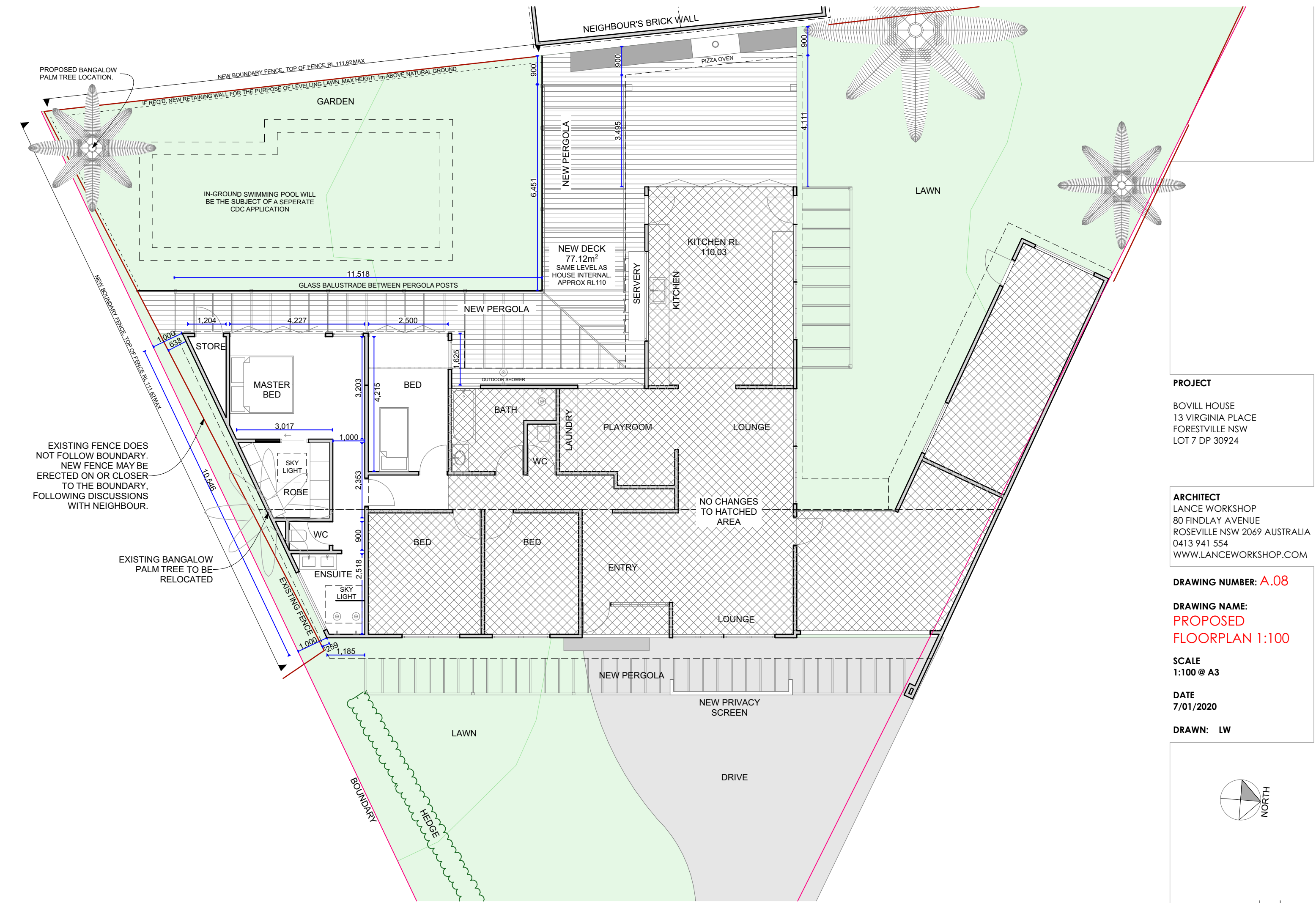
LANDSCAPED OPEN SPACE

$94.0\text{m}^2 + 135.6\text{m}^2 + 85.5\text{m}^2 = 315.1\text{m}^2$
Site area = $689\text{m}^2 \times 40\% = 275.6\text{m}^2$
Landscaped open space exceed by 39.5m^2

Therefore the minimum Landscaped Open Space area is 45.7%

PRIVATE OPEN SPACE

Rear deck area = 77.12m^2



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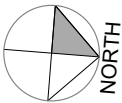
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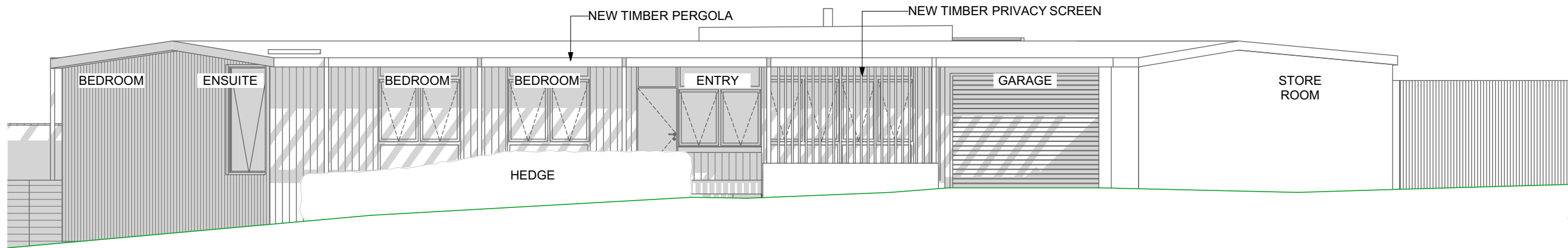
DRAWING NAME:
PROPOSED
FLOORPLAN 1:100

SCALE
1:100 @ A3

DATE
7/01/2020

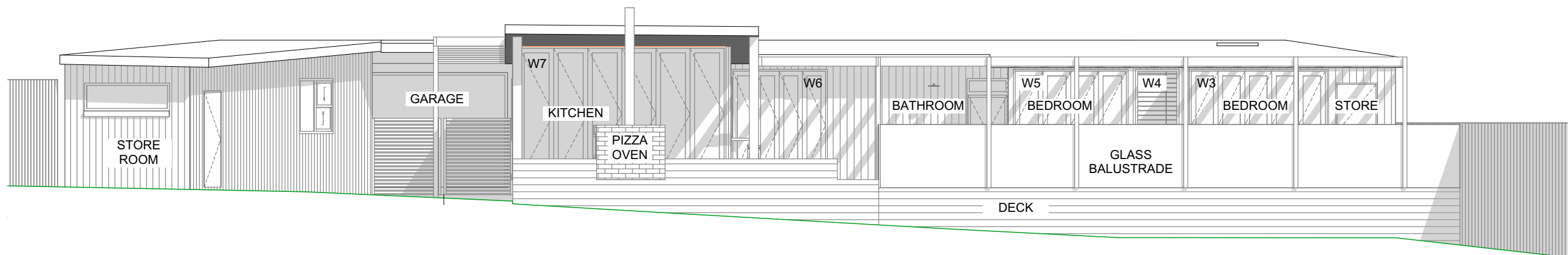
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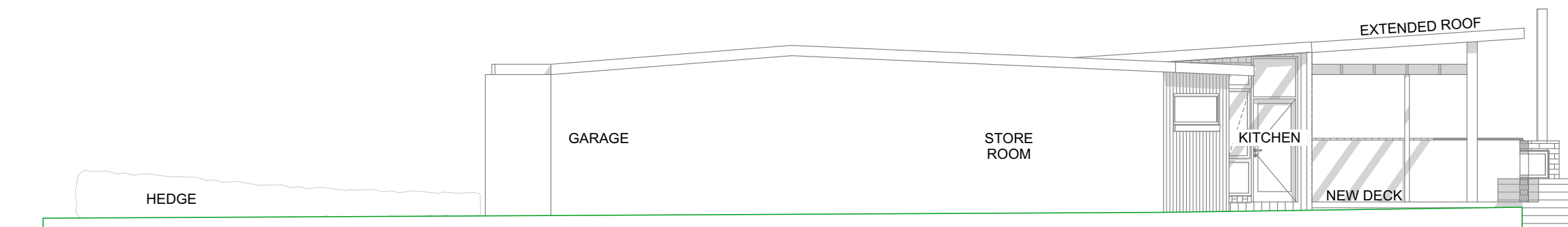
1:100

East Elevation - Proposed - STREET FRONTAGE



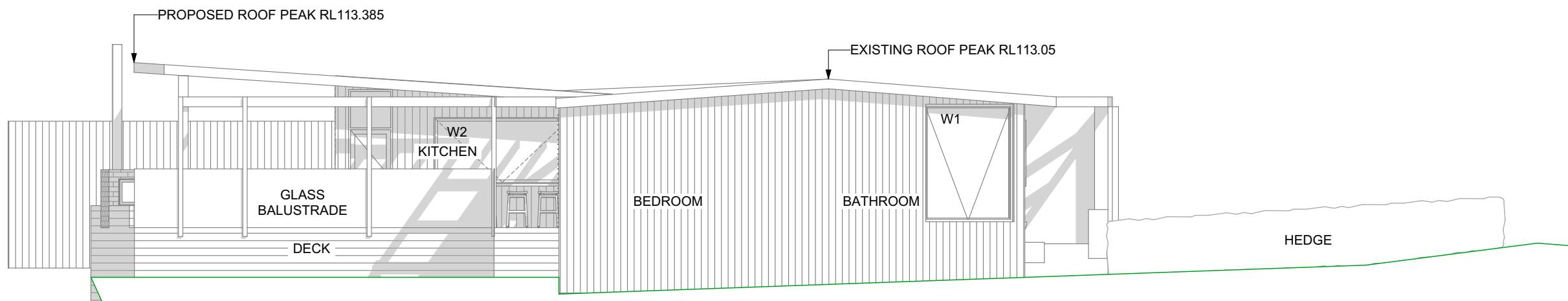
1:100

West Elevation - Proposed



1:100

North Elevation - Proposed



1:100

South Elevation - Proposed

EXTERIOR FINISHES

- Existing exterior pale brick walls to be clad in weatherboard-style sheet cladding.
- New areas of roof are to match existing roof material.
- Exterior paint will be ***** colour
- New pergola will be painted timber in **** colour
- New decks will be natural hardwood
- Existing garage & store room are to remain unchanged

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DRAWING NUMBER: **A.09**

DRAWING NAME:
**PROPOSED
ELEVATIONS**

SCALE
1:100 @ A3

DATE
7/01/2020

DRAWN: LW



NOTES

- New rooves will match existing roof pitches
- New rooves will match existing roof sheet profile and colour

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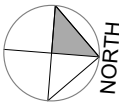
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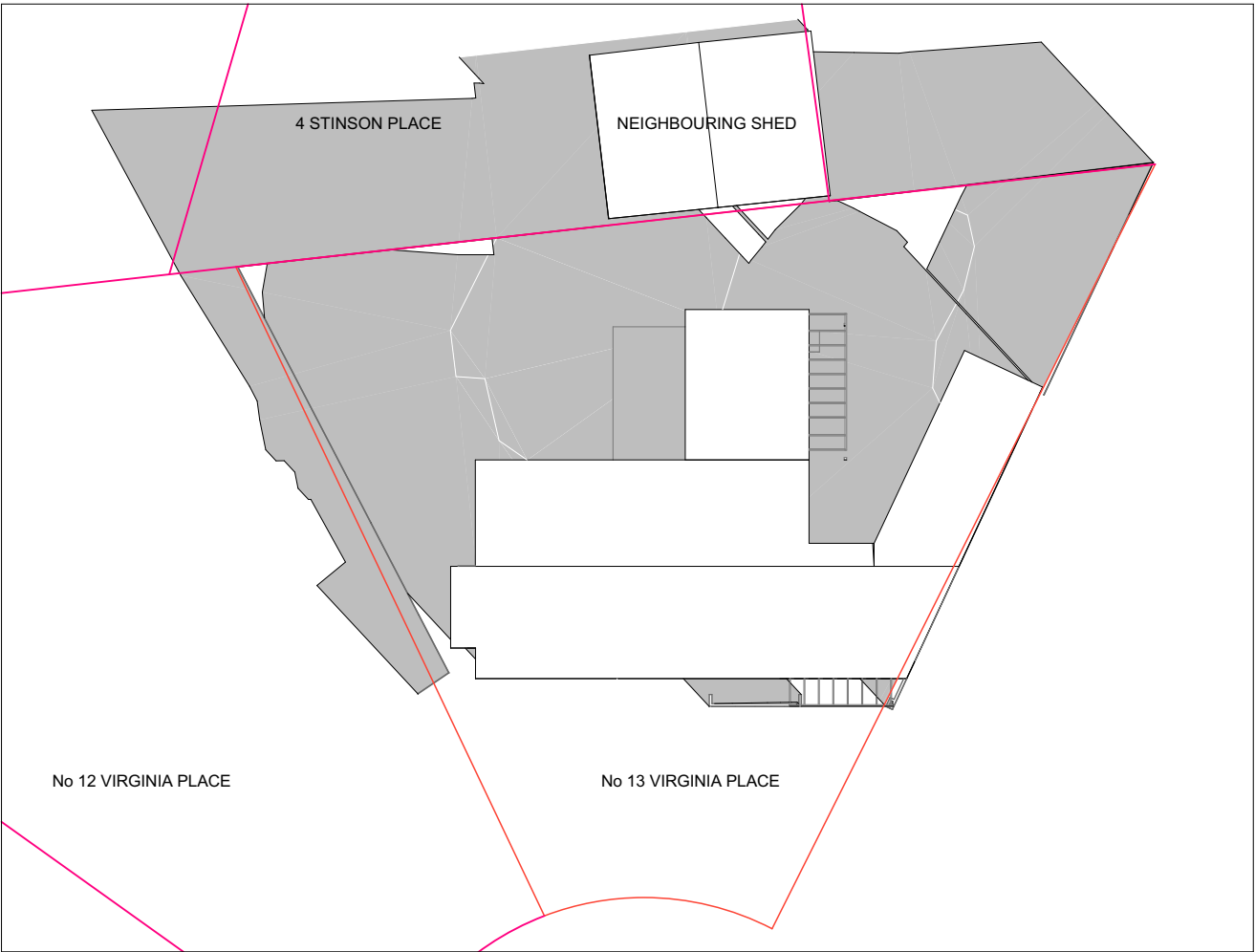
DRAWING NAME:
PROPOSED ROOF
PLAN 1:100

SCALE
1:100 @ A3

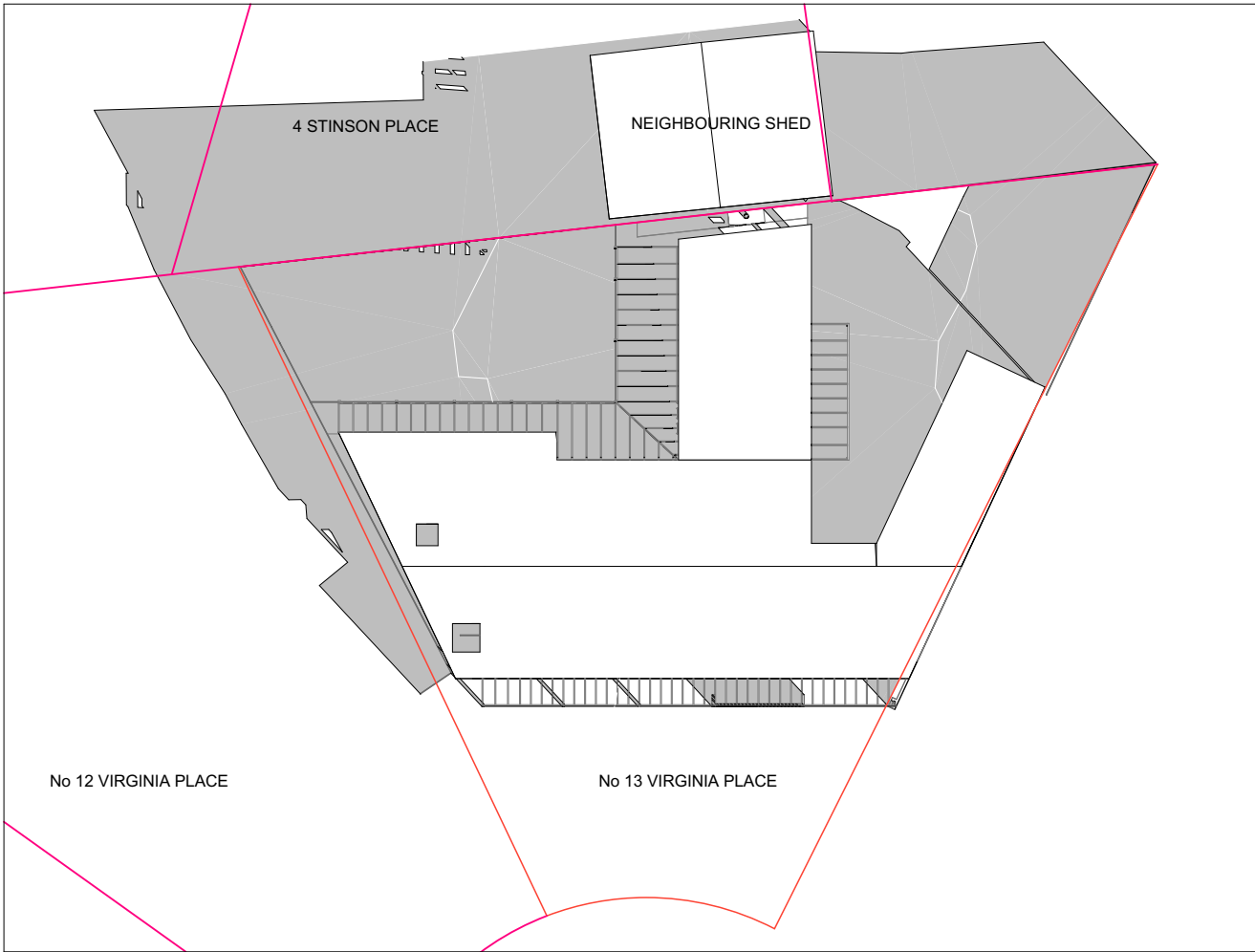
DATE
7/01/2020

DRAWN: LW

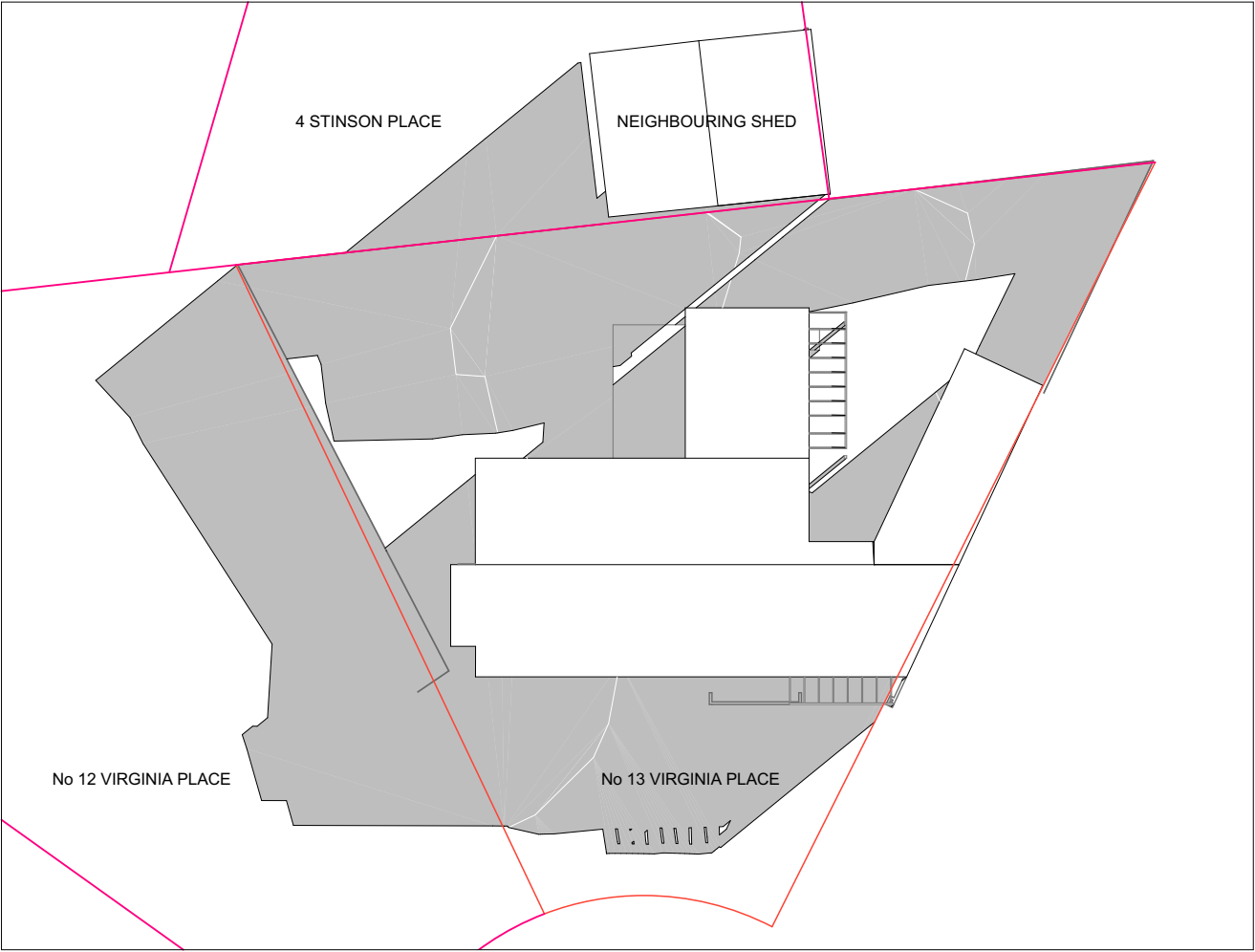




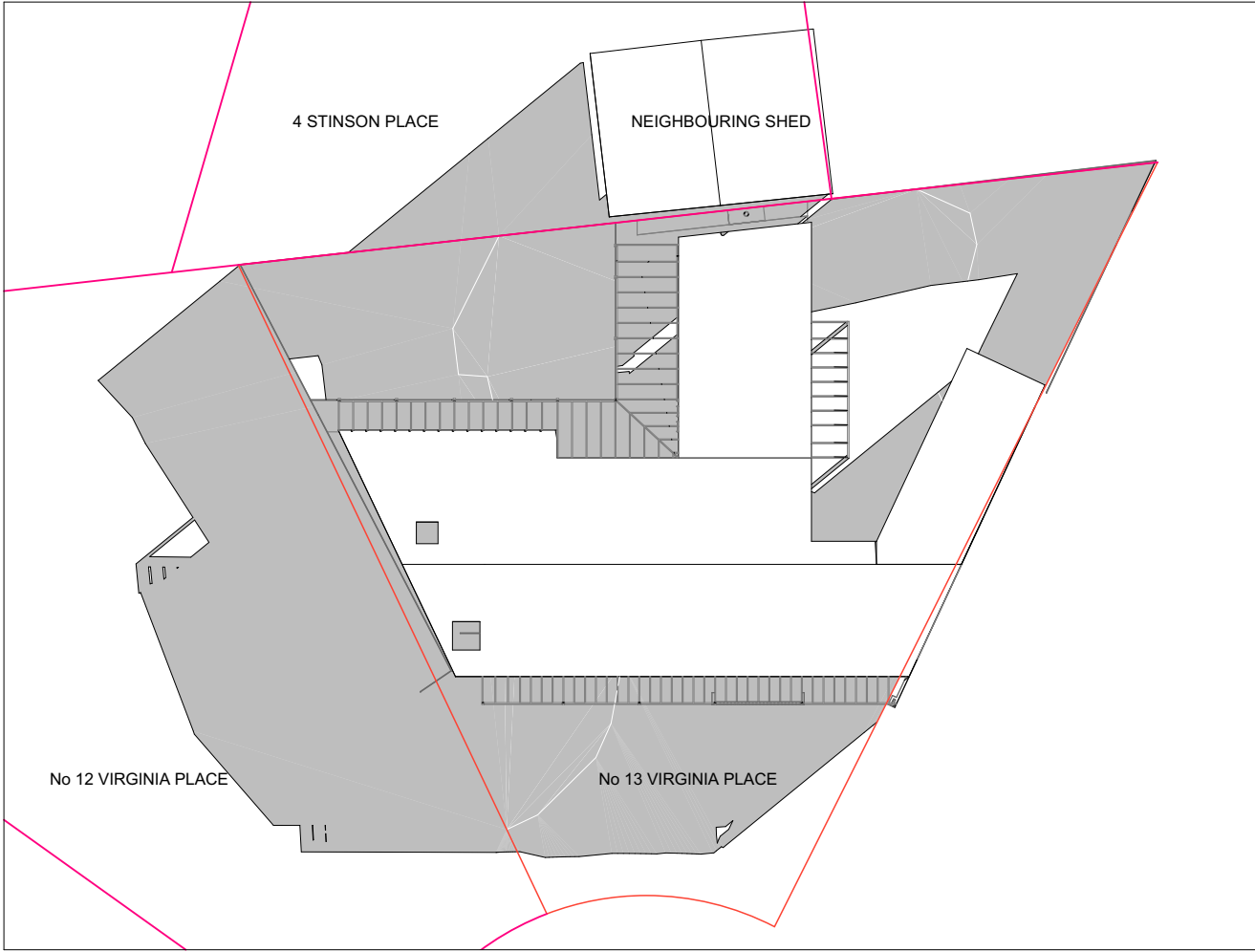
1:300 EXISTING HOUSE - 9am JUNE 22nd



1:300 PROPOSED HOUSE - 9am JUNE 22nd



1:300 EXISTING HOUSE - 3pm JUNE 22nd



1:300 PROPOSED HOUSE - 3pm JUNE 22nd

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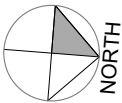
DRAWING NUMBER: A.11

DRAWING NAME:
SHADOW DIAGRAMS

SCALE
1:300 @ A3

DATE
7/01/2020

DRAWN: LW



BASIX CERTIFICATE NUMBER A367125

| Project address | |
|-----------------------|------------------------------------|
| Project name | Bovill house |
| Street address | 13 Virginia Place Forestville 2067 |
| Local Government Area | Northern Beaches Council |
| Plan type and number | Deposited Plan 30924 |
| Lot number | 7 |
| Section number | |

| Project type | |
|---------------------------------|---|
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

| Construction | Additional insulation required (R-value) | Other specifications |
|---|--|---|
| suspended floor with enclosed subfloor: framed (R0.7). | R0.60 (down) (or R1.30 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R2.24 (up), roof: foil backed blanket (55 mm) | medium (solar absorptance 0.475 - 0.70) |

Windows and glazed doors glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|---------------|--------------|--|---|
| | | | Height (m) | Distance (m) | | |
| W1 | S | 4.65 | 1.8 | 0.9 | none | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W2 | S | 3.7 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W3 | W | 4.68 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W4 | W | 1.95 | 0 | 0 | eave/verandah/pergola/balcony | improved aluminium, single clear, (U-value: |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|---------------|--------------|--|---|
| | | | Height (m) | Distance (m) | | |
| | | | | | >=900 mm | 6.44, SHGC: 0.75) |
| W5 | W | 3.9 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W6 | W | 3.1 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W7 | W | 8.9 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

Skylights glazing requirements

| Skylight number | Area of glazing inc. frame (m2) | Shading device | Frame and glass type |
|-----------------|---------------------------------|----------------|--|
| S1 | 0.8 | no shading | timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5) |
| S2 | 1.35 | no shading | timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456) |

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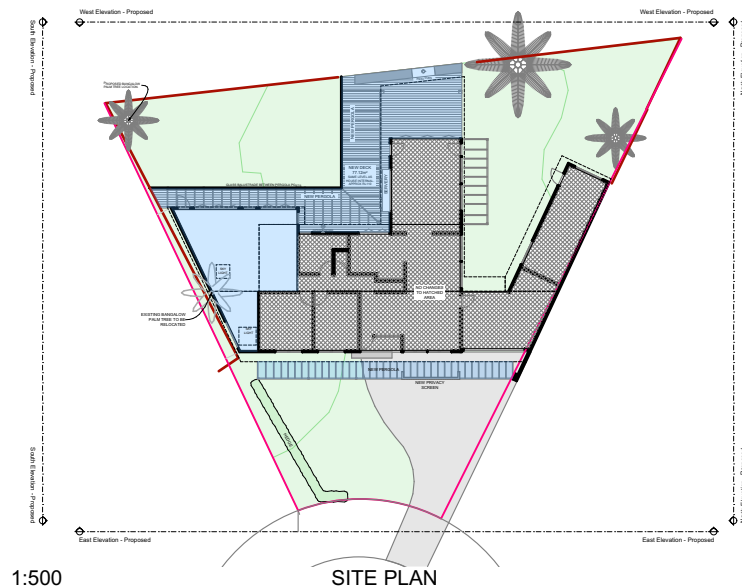
DRAWING NUMBER: A.12


DRAWING NAME:
BASIX REQUIREMENTS


SCALE

DATE
7/01/2020

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 = PROPOSED NEW WORK

 = NO CHANGES

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DRAWING NUMBER: **A.13**

DRAWING NAME:
NOTIFICATION PLANS

SCALE
1:500, 1:200 @ A4

DATE
7/01/2020

DRAWN: LW

