

Our Reference: **PT22056**

Johnny Mrljak
6 Tuscan Place
Beacon Hill NSW 2100

6 September 2022

Via email: johnny@bilgolabespoke.com.au

Attention: Mr John Mrljak

**6 Tuscan Place, Beacon Hill Modifications and Additions
Car Park / Access Certification Report**

As requested, we have undertaken a compliance review of the proposed new garage arrangements serving the existing detached residential property at the site known as No.6 Tuscan Place, Beacon Hill. The findings of our compliance assessment is provided below.

A copy of the development application plans subject to this assessment are provided in **Appendix A** of this compliance report. A site inspection of the location was also undertaken to inform this report. A photographic record of this site inspection is provided in **Appendix B** of this report.

Certifier Details

I currently hold the position of Managing Director of Positive Traffic Pty Ltd and have been a practicing traffic engineer / transport planner for approximately 27 years. I possess a Bachelor of Civil Engineering. Further, I possess Level 3 (lead auditor) Road Safety Auditor status with Transport for NSW.

Proposed Development & Car Park Design

The location of the development site is shown below:



The existing site includes a single detached dwelling with a frontage to Tuscan Place. However, there no direct access for vehicles or pedestrians from Tuscan Place due to the steep topography of the site and large level difference. Vehicle / pedestrian access is available via the rear existing common driveway serving all properties on the northern side of Tuscan Place which each including off street car park in the form of either garages or car ports.

The dwelling includes a small hardstand area which allows for a vehicle to park wholly within the site as shown below:



It was noted that currently vehicles which park at the premises are required to either reverse the full length of the common driveway to Dresden Avenue or utilise private land adjacent to the common driveway to undertake a 3-5 point turn to exit the driveway in a forward direction.

The Proposal

The proposal includes alternations / additions to the existing dwelling of which would also include provision of an enclosed garage. As part of the works, a reversing bay area would be installed at the top of the stairs to the dwelling which seeks to allow an 85th percentile design vehicle (recommended vehicle type by AS2890.1 for a single dwelling) to enter and leave the site in a forward direction.

The garage would include a clear entry door width of 3.1m with an internal width at its widest point of 3.28m and at the rear a width of 2.92m.

Plans of the proposal are provided in **Appendix A** of this compliance report.

Car Parking Compliance Assessment

As stated above, the Australian Standard for Off Street Car Parking Facilities – AS2890.1 recommends use of an 85th percentile design vehicle for testing of access / car parking facilities for a domestic dwelling. Further, the 300mm body clearance envelopes are omitted from the turn path assessment for enclosed garages as shown in Figure 5.4 of AS2890.1.

A turning path assessment of an 85th percentile vehicle reversing from the proposed wide enclosed garage and exiting the driveway wholly within either the confines of the property boundary and the existing common driveway is provided in Appendix C of this report.

This turn path assessment confirms that an 85th percentile vehicle can successfully exit the garage and access the common driveway in a forward direction which is a marked improvement to the existing arrangement where all vehicles exiting the site must either reverse to Dresden Avenue or utilise private land to undertake a 3-5 point turn to exit in a forward direction.

Whilst the arrangements are somewhat tight in nature, all drivers performing the manoeuvre from the garage are considered *informed* drivers who will gain a clear understanding of the arrangements.

The proposed design of the enclosed garage exceeds the minimum requirements of AS2890.1 and is considered satisfactory. In addition, the new arrangements allow all vehicles which access the garage to exit the premises in a forward direction.

Please do not hesitate to contact myself on 0414 462247 should you require any additional information.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Dean Brodie', with a horizontal line underneath.

DEAN BRODIE

Managing Director

B.Eng (Civil) MIEAust NER

RMS Accredited Level 3 (Lead) Road Safety Auditor

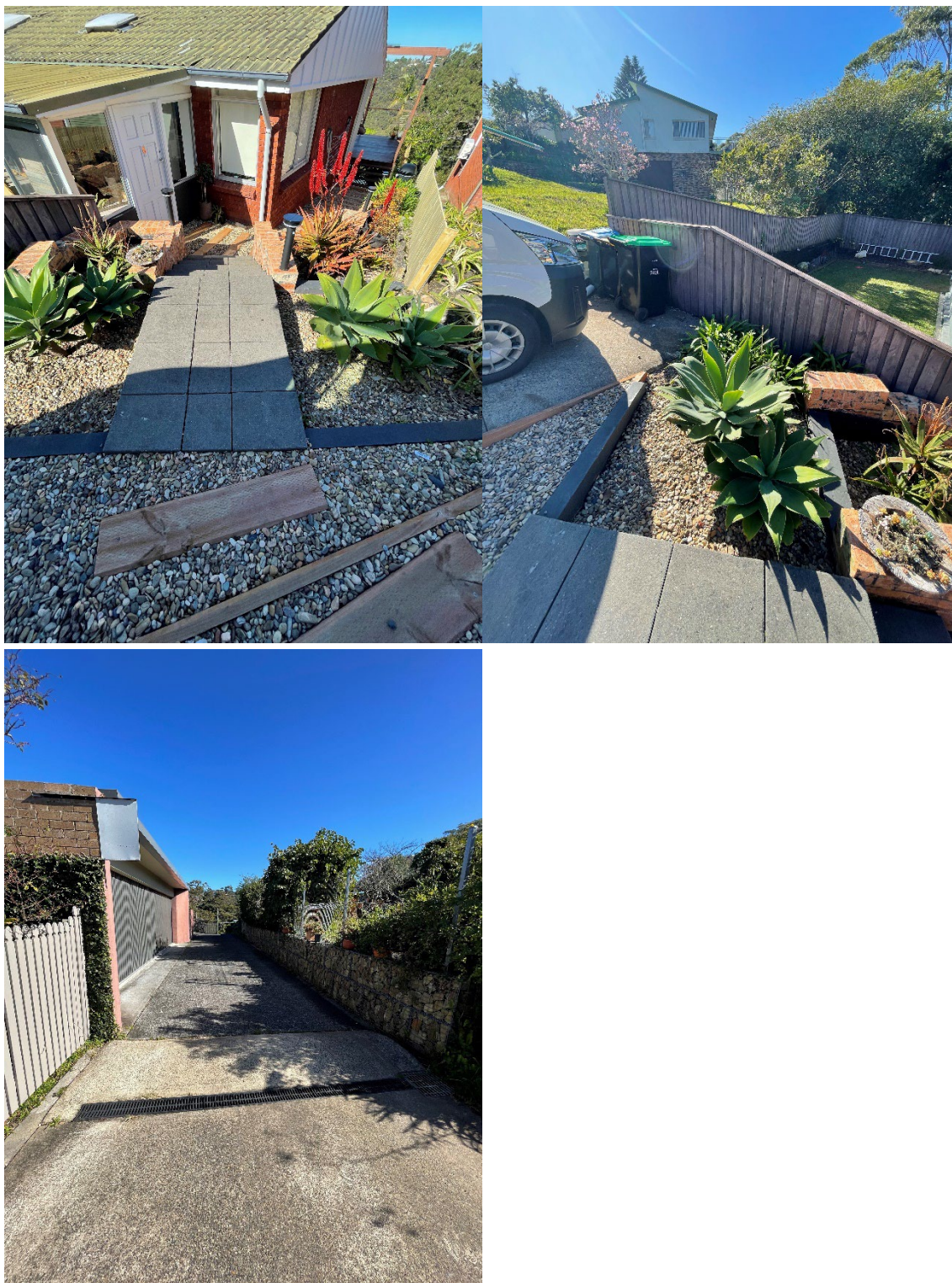
RPEQ 27423

Expert Traffic Engineering & Road Safety Witness at NSW Land & Environment & NSW Supreme Court

APPENDIX A – DESIGN PLANS

APPENDIX B – SITE INSPECTION PHOTOGRAPHS





APPENDIX C - TURNING PATH ANALYSIS

