

DRIVEWAY GRADIENT SCALE 1:100

LEGEND	
WATER MAIN	SEWER VENT
TELSTRA PILLAR	SEWER LAMP/POLE
TELSTRA MARKER POST	SEWER INSPECTION POINT
TELSTRA PIT	SUBSOIL DRAIN
TELEGRAPH POLE	STORMWATER PIT
POWER POLE	STORMWATER GRATE
ELECTRICAL PILLAR	SURFACE INLET PIT
POWER LIGHT POLE	LINTEL-KERB INLET PIT
LIGHT POLE	LINTEL-KERB INLET PIT WITH GRATE
HYDRANT	STORMWATER PIPE INCLUDING PIPE SIZE
RECYCLED WATER	HEADWALL
WATER METER	CLOTHES LINE
STOP VALVE	TREE: D DIAMETER, S SPREAD, H HEIGHT
WATER TAP	
GAS METER	
GAS DIRECTION MARKER	
GAS INSPECTION POINT	
SEWER MANHOLE	
STREET SIGN	
FRAM CROSSING	
VEHICLE CROSSING	
E	OVERHEAD ELECTRICITY LINE
T	OVERHEAD TELECOM LINE
S	SEWER LINE

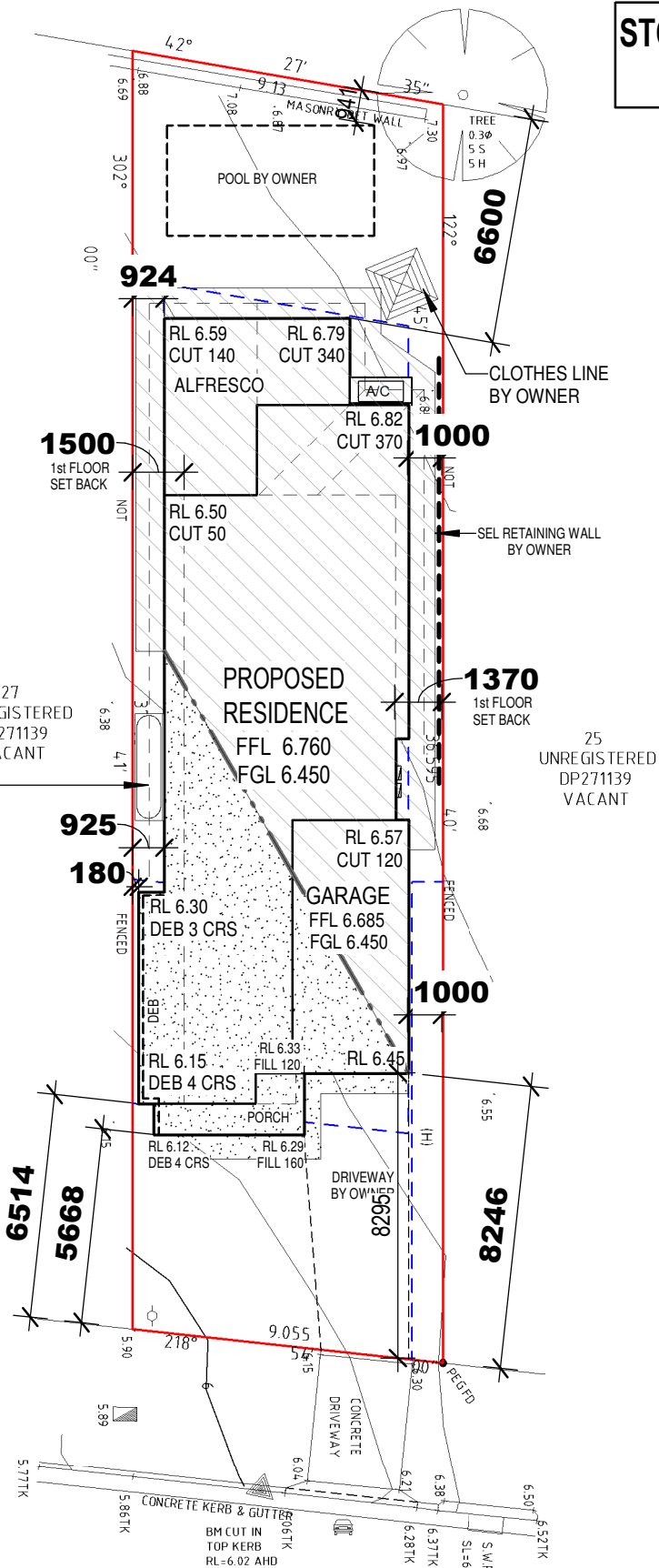
AREA LOT 26  
VIDE UNREG DP 271139: 331.8 m<sup>2</sup>  
BY CALC: 331.9 m<sup>2</sup>

L.G.A.: NORTHERN BEACHES  
PARISH: NARRABEEN  
COUNTY: CUMBERLAND



ORIGIN OF LEVELS:  
SSM 24845 RL=12.835 (AHD) FOUND NEAR THE INTERSECTION OF WARRIEWOOD ROAD & ALMEDA WAY.  
ACCURACY OF ORIGIN: ± 0.001m

POSITION OF 4030L "THE EVOLUTION SERIES MKII" ABOVE GROUND RAIN WATER TANK 1 TO BE INSTALLED IN ACCORDANCE WITH COUNCIL GUIDELINES & THE NATIONAL PLUMBING & DRAINAGE CODE AS/NZS 3500. THE RAINWATER SUPPLY PLUMBING IS TO BE CONNECTED TO THE COLD WATER SUPPLY TO TOILETS, WASHING MACHINE & EXTERNAL GARDEN TAPS.



PROPOSED ROAD

STORMWATER TO HYDRAULIC ENG'S DETAILS

SITE DETAILS	
LOT NUMBER:	26
DP NUMBER:	271139
AREAS	
SITE AREA:	313.99m <sup>2</sup>
GROUND FLOOR	111.88 m <sup>2</sup>
FIRST FLOOR	108.65 m <sup>2</sup>
GARAGE	24.83 m <sup>2</sup>
ALFRESCO	20.53 m <sup>2</sup>
PORCH	5.16 m <sup>2</sup>
Grand total	271.06 m <sup>2</sup>
DRIVEWAY:	23.14m <sup>2</sup>
PRIVATE OPEN SPACE:	95.13m <sup>2</sup>
PROJECT DETAILS:	
GROUND & FIRST FLOOR LIVING TOTAL:	220.53m <sup>2</sup>
ROOF AREA:	190.51m <sup>2</sup>
NO. OF BEDROOMS:	4
LANDSCAPE:	
LANDSCAPE AREA:	140.00m <sup>2</sup> - 44.58%
STORMWATER:	
RAINWATER TANK SIZE:	= 4030litre
-(ABOVE GROUND / UNDER GROUND)	
ROOF AREA CONNECTED TO RAINWATER TANK: (31) % MIN MIN: 60.00m <sup>2</sup> (to eng's details)	
RAINWATER USES: GARDEN/TOILET/LAUNDRY	
SITE NOTES & CONDITIONS:	
-HOUSE LEVELS ARE APPROXIMATE ONLY & WILL BE DETERMINED ON SITE BY SUPERVISOR PRIOR TO CONSTRUCTION.	
-EXISTING STRUCTURES IN THE PROPOSED BUILDING AREA, TO BE REMOVED BY OWNER	
-EXISTING FENCING TO BE SECURED BY OWNER, PRIOR TO CONSTRUCTION AND TO REMAIN OUTSIDE OF BUILDING PLATFORM.	
-EXISTING TREES & VEGETATION TO BE CUT & REMOVED FROM BUILDING AREA PRIOR TO CONSTRUCTION, BY OWNER.	
-WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING.	
-DIMENSIONS SHOWN ARE TO FRAME, UNDERSIDE OF ROOF TRUSSES AND FROM WINCREST FFL (CONCRETE) TO UNDERSIDE OF FLOOR JOIST	
-FINISHED OUTLINE OF EXCAVATED AREA IS INDICATIVE ONLY AND WILL VARY ON SITE	
-ALL RETAINING WALLS ARE BY OWNER UNLESS NOTED OTHERWISE IN THE TENDER	
- ALL CONSTRUCTION WORK TO COMPLY WITH THE BCA AND ALL RELEVANT AUSTRALIAN STANDARDS	

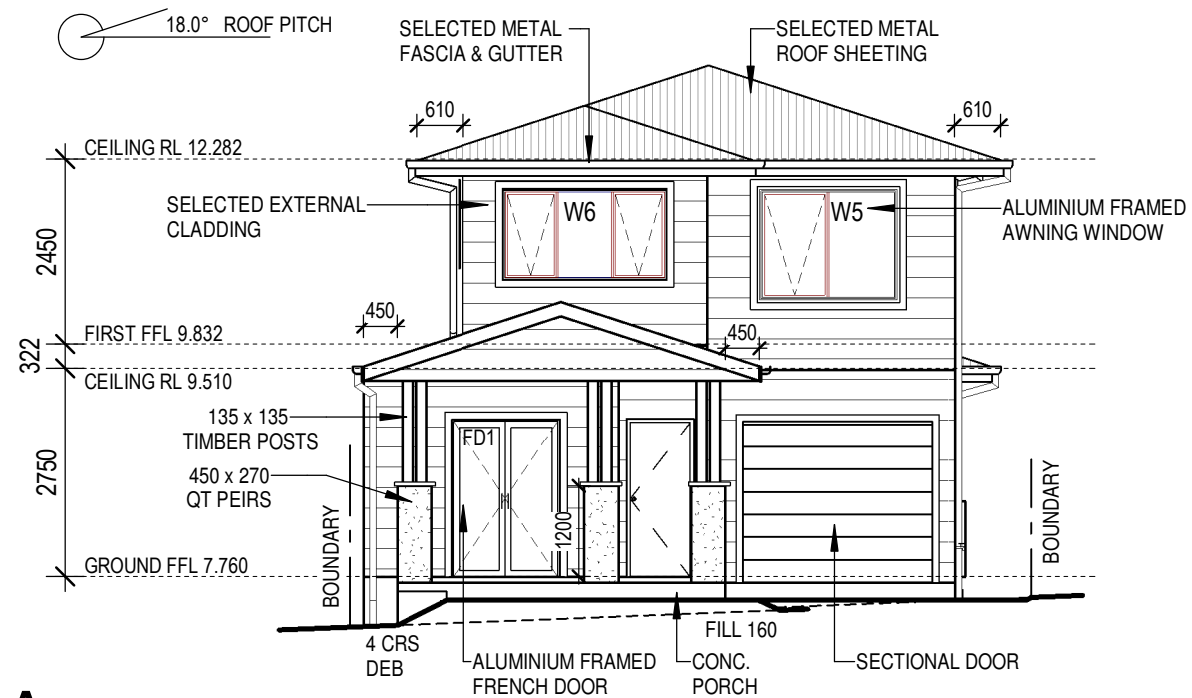
(BE) RESTRICTION ON LAND VIDE UNREGISTERED DP271139  
(H) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE VIDE UNREGISTERED DP271139

SITE PLAN

ISSUE	AMENDMENT	DATE	Copyright reserved. No part of these plans may be reproduced or transmitted in any form without the written permission of Wincrest Group Pty Ltd.	 BESPOKE Wincrest Group Pty Ltd. ACN 135 562 873 Builders License No. 213 442C 18 Pitt St, Paramatta NSW 2150 Ph:(02) 9635 1644 Fax:(02) 9633 4806	PROPOSED RESIDENCE FOR:	AFFINITY INCLUSIONS	
A	PFD (EB)	07.08.18			CLIENT: MR MAHONEY & MRS CAREY	JOB NO: 17295	DATE: 04.09.19
B	VARY B, VARY C (EC)	23.10.18	ADDRESS: Lot 26 PROPOSED ROAD WARRIEWOOD NORTHERN BEACHES COUNCIL	DRAWN: EB	CHECKED:		
C	VARY D (EB)	16.11.18		SCALE: As indicated	SHEET NO: 01		
D	VARY F (EB)	05.02.19		PLEASE DISCARD ALL OTHER PLANS			
E	VARY E, VARY I, VARY J (EC)	21.08.19		<b>DO NOT SCALE DRAWING</b>			
F	VARY K (EC)	04.09.19					
G	VARY L (EB)	23.09.19					
H	FFD (EB)	26.09.19					

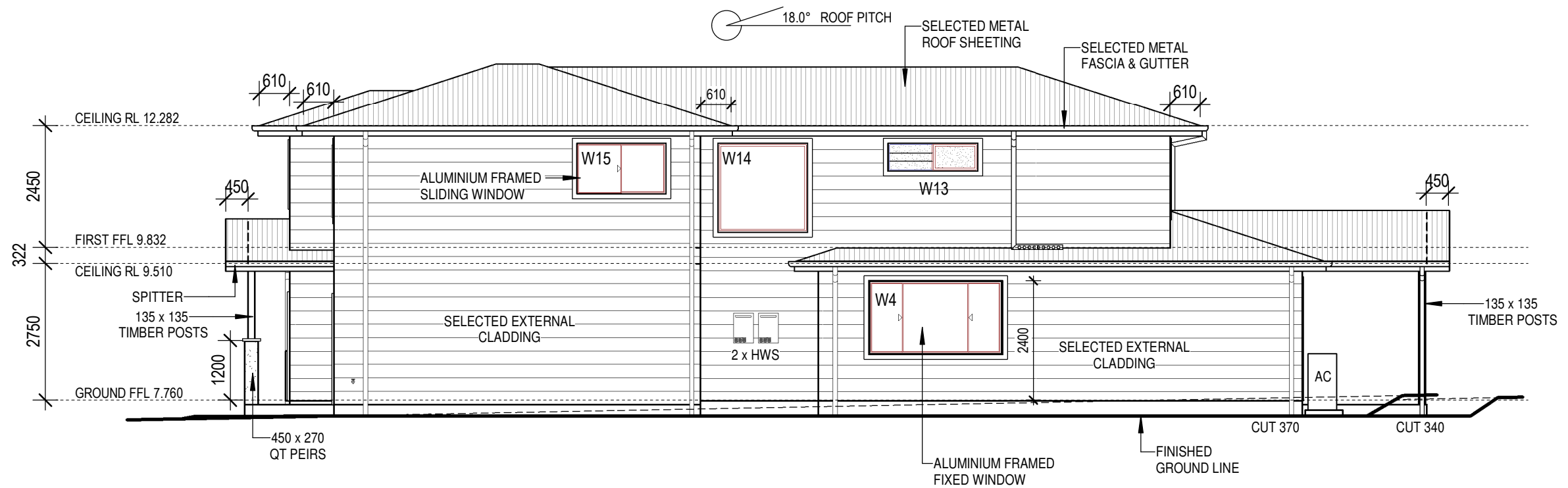
**NOTE:**

- FIRST FLOOR WINDOW HEADS TO BE PLACED @ 2100
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL EXCEPT W2 & W4 TO BE AT HEAD HEIGHT 2400
- ALL ANGLED WALLS @ 45° UNLESS NOTED OTHERWISE.



# ELEVATION A

1 : 100



# ELEVATION B

1 : 100

## ELEVATIONS

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A	PFD (EB)	07.08.18
B	VARY B, VARY C (EC)	23.10.18
C	VARY D (EB)	16.11.18
D	VARY F (EB)	05.02.19
E	VARY E, VARY I, VARY J (EC)	21.08.19
F	VARY K (EC)	04.09.19
G	VARY L (EB)	23.09.19
H	FFD (EB)	26.09.19

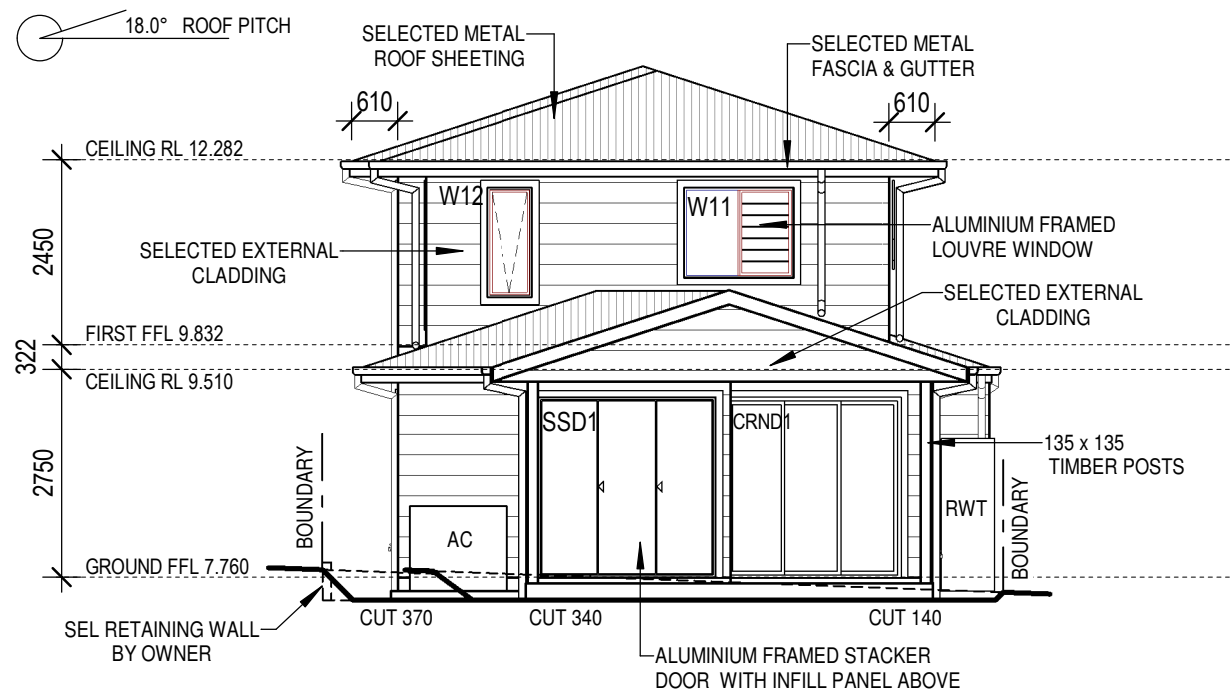
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PROPOSED RESIDENCE FOR:  
CLIENT: MR MAHONEY & MRS CAREY  
ADDRESS:  
Lot 26 PROPOSED ROAD  
WARRIEWOOD  
NORTHERN BEACHES COUNCIL

AFFINITY INCLUSIONS	
JOB NO: 17295	DATE: 04.09.19
DRAWN: EB	CHECKED:
SCALE: 1 : 100	SHEET NO: 04
PLEASE DISCARD ALL OTHER PLANS	
<b>DO NOT SCALE DRAWING</b>	

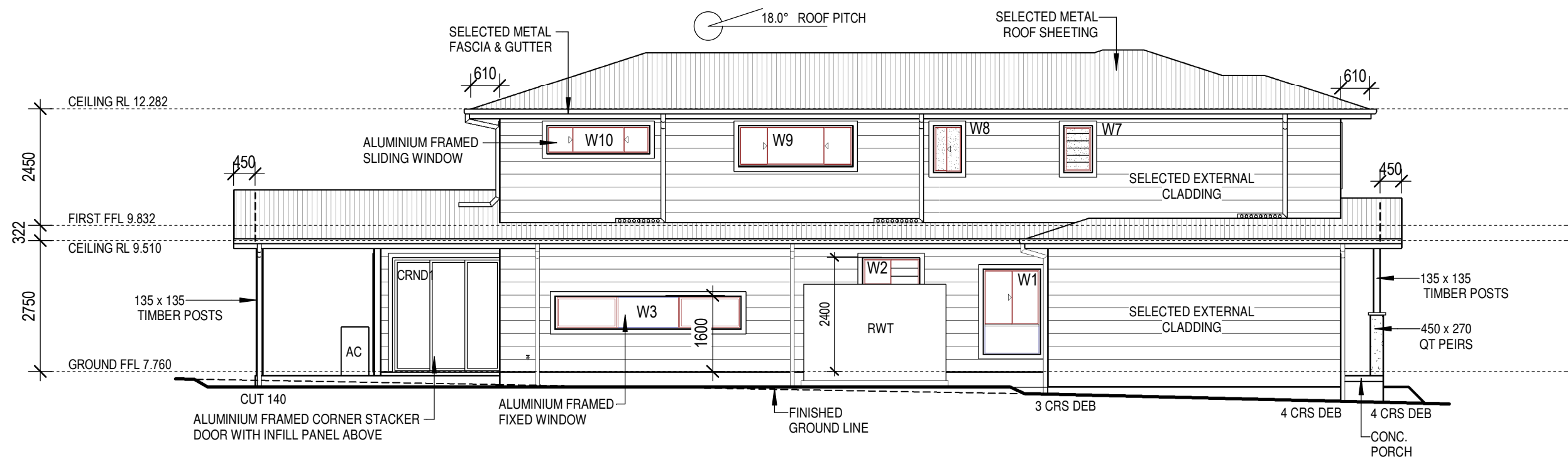


## ELEVATION C

1 : 100

**NOTE:**

- FIRST FLOOR WINDOW HEADS TO BE PLACED @ 2100
- GROUND FLOOR WINDOW HEAD HEIGHT 2166 ABOVE FFL EXCEPT W2 & W4 TO BE AT HEAD HEIGHT 2400
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## ELEVATION D

1 : 100

# ELEVATIONS

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D	VARY F (EB)	05.02.19
E	VARY E, VARY I, VARY J (EC)	21.08.19
F	VARY K (EC)	04.09.19
G	VARY L (EB)	23.09.19
H	FFD (EB)	26.09.19

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ADDRESS:  
Lot 26 PROPOSED ROAD  
WARRIEWOOD  
NORTHERN BEACHES COUNCIL

AFFINITY INCLUSIONS	
JOB NO: 17295	DATE: 04.09.19
DRAWN: EB	CHECKED:
SCALE: 1 : 100	SHEET NO: 05
PLEASE DISCARD ALL OTHER PLANS	
<b>DO NOT SCALE DRAWING</b>	