



**5 IRAGA PLACE
FORESTVILLE**

**STATEMENT OF ENVIRONMENTAL EFFECTS FOR
DEMOLITION OF THE EXISTING DWELLING
AND CONSTRUCTION OF A NEW DWELLING HOUSE
AND SECONDARY DWELLING**



Report prepared for
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1. Introduction

- 1.1 This is a statement of environmental effects for demolition of the existing dwelling and the construction of a new dwelling house and secondary dwelling at 5 Iraga Place, Forestville.

The report describes how the application addresses and satisfies the objectives and standards of the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan 2011 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).

- 1.2 This statement of environmental effects has been prepared with reference to the following:

- ◆ Survey prepared by Aspect Development & Survey Pty Ltd
- ◆ Site visit
- ◆ DA Plans prepared by Artisan for Icon Homes
- ◆ BASIX Certificate prepared by Accurate Design and Draft
- ◆ Geotechnical Report prepared by AW Geotechnics
- ◆ Stormwater Concept Plan prepared by VNK Consulting

- 1.3 The proposed development is compliant with the objectives of all Council controls, considerate of neighbouring residents and the streetscape and results in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

2. The site and its locality

- 2.1 The subject site is located on the western side of Iraga Place, approximately 65 metres south of its intersection with Altona Avenue, in Forestville. The site is legally described as Lot 1 DP 1248957.
- 2.2 It is a triangular shaped lot with boundaries of 45.98 metres, 4.92 metres, 4.565 metres (north and north east) and 52.035 metres (south) and 23.57 metres, 3.655 metres, 8.95 metres, 5.885 metres (west and south west). The site has an area of 1,190m² and access is from Iraga Place via a driveway on the southern boundary.
- 2.3 The site is currently occupied by a single storey block residence with a tile roof, a clad shed with a metal roof and a concrete in-ground pool.
- 2.4 The property is surrounded by detached residential dwellings in all directions. It is located in close proximity to shops and public transport services on Warringah Road and in Forestville to the south.



Figure 1. The site and its immediate surrounds

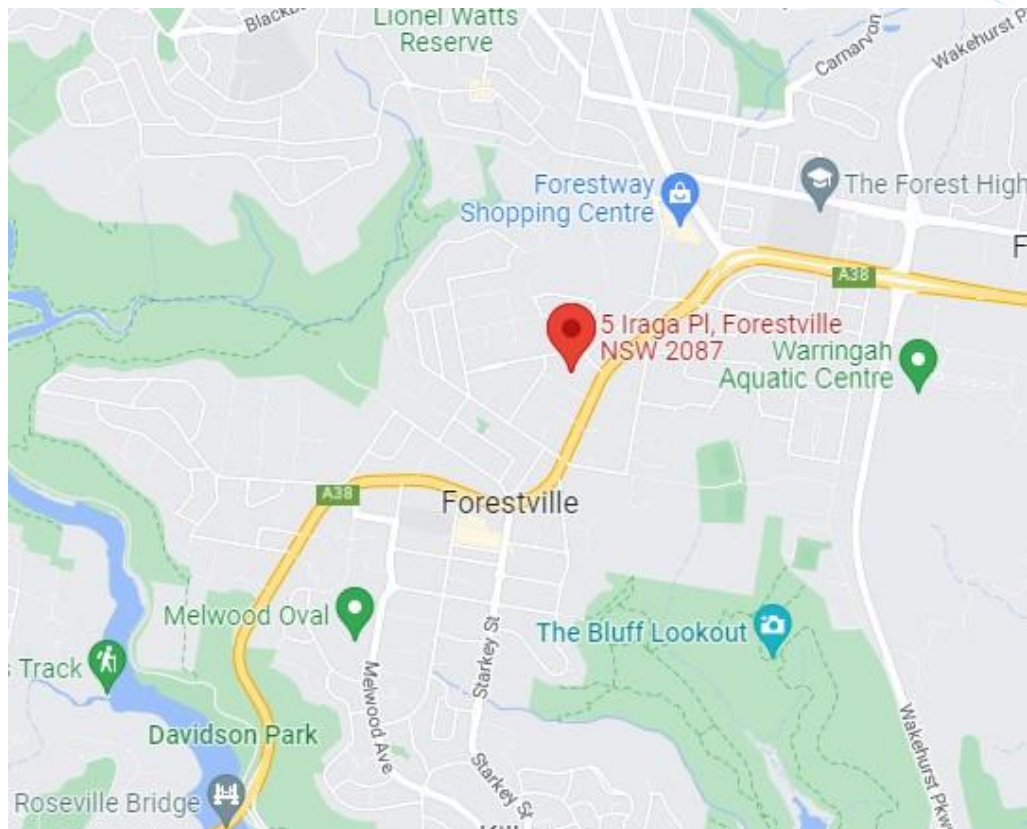


Figure 2. The site within the locality



Figure 3. Aerial image of the site within the locality

3. Site Photos



Figure 4. The existing dwelling, viewed from the rear yard.



Figure 5. The existing garage at the front of the site



Figure 6. The existing driveway looking towards the street frontage along southern boundary



Figure 7. The adjoining dwelling to the south, looking west down existing battleaxe driveway



Figure 8. The garage and mature native tree on the subject site and garage on adjoining site



Figure 9. Neighbour to the west (rear battleaxe) as viewed from rear yard of subject site

4. Proposed Development

The proposed development is for demolition of the existing dwelling and construction of a new 5 bedroom dwelling house and a secondary dwelling on the subject site.

The proposed dwelling is consistent with the streetscape and the locality. The proposal is consistent with Council controls, ensures reasonable privacy and solar access are maintained for both the adjoining properties and the subject site. The development comprises:

Ground Floor Main Dwelling

- Double garage,
- Porch
- Entry foyer/hall,
- Guest bedroom,
- Bathroom,
- Mudroom,
- Stairs to first floor
- Linen storage
- Open plan family room/meals/kitchen,
- Butler's pantry
- Laundry,
- Alfresco area with BBQ.

Secondary Dwelling

- Porch,
- Open plan living/meals/kitchen,
- 2 bedrooms with built-in robes
- Bathroom with laundry cupboard

First Floor

- Master bedroom with walk-in robe and ensuite,
- Bedrooms 2, 3 & 4 with built in-robes,
- Bathroom and WC,
- Sitting room,
- Study
- Staircase to access the ground floor.

Site

- Retain the existing in-ground pool in the rear yard.

5. Statutory Framework

5.1 State Environmental Planning Policies

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the proposal and a compliant BASIX certificate is provided with this application.

State Environmental Planning Policy (Resilience and Hazards) 2021

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

State Environmental Planning Policy (Biodiversity and Conservation)2021

Chapter 2 of this Policy aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. The development remains consistent with the provisions of the SEPP as it does not propose to remove any trees.

5.3 Warringah Local Environment Plan 2011

The relevant clauses of the Warringah Local Environmental Plan 2011 are addressed below.

Zoning

The site is zoned R2 Low Density Residential, pursuant to the provisions of the Warringah Local Environmental Plan 2011. The proposed development is for demolition of the existing dwelling and construction of a new dwelling house and secondary dwelling on the subject site. Dwelling houses and secondary dwellings are permissible with development consent in the R2 zone.



Figure 10. Extract from Warringah LEP zoning map

Demolition

Consent is sought for the demolition of the existing dwelling, and clad garage in the front yard, as illustrated on the attached demolition plan, to make way for the new dwelling and secondary dwelling

Minimum Lot Size

The site is mapped with a minimum lot size of 600m². The subject site comprises of a compliant area of 1,190m² and no subdivision is proposed.

Height of Buildings

The LEP restricts the height of any development on the subject site to 8.5 metres and the development proposes a compliant maximum building height of 7.918 metres. See extract from DA plans below.



Figure 11. Extract from DA plans

Secondary Dwellings

Clause 5.4(9) restricts the development of secondary dwellings on land other than in a rural zone. The Clause requires that the total floor area of the secondary dwelling, excluding areas used for parking, be a maximum of 60m² or 11% of the total floor area of the principal dwelling.

The proposed secondary dwelling has a total floor space of 59.99m² which complies with this requirement.

Heritage

The property is not a heritage item, located within a heritage conservation area or located near any heritage items which will be impacted by the proposed development.

Acid Sulfate Soils

The site is not located in an area nominated as Acid Sulfate soils.

Earthworks

Minor earthworks are proposed to prepare the site for construction of the new dwelling and secondary dwelling. Standard erosion and sediment control measures will be implemented, and any engineering specifications and conditions of consent adhered to, to ensure best practice procedures are followed.

Development on Sloping Land

The site is located in the area nominated as Area B – Flanking slopes 5 to 25. As such the consent authority must be satisfied that:

- (a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and*
- (b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and*
- (c) the development will not impact on or affect the existing subsurface flow conditions.*

The attached geotechnical site classification report accompanies the application.

5.4 Warringah Development Control Plan 2011

The relevant sections of the Warringah DCP 2011 are addressed below.

Part A Introduction

Objectives

The proposed development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposal is appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

The existing elevated pool is to be retained and its concourse retains its existing setback.

Part C Siting Factors

Traffic Access and safety

The subject site has an existing concrete driveway which will be retained and extended to the new double garage.

Parking

A maximum garage / carport width of 6 metres or 50% of the building width applies to the site. A minimum 2 car parking spaces per dwelling applies to the site.

The development proposes a new double garage, with a compliant maximum width of 6 metres.

Stormwater

Rainwater from the new dwelling will be detained in two 4,000 litre rainwater tanks, for reuse onsite, in accordance with BASIX requirements. Surface stormwater will drain to existing stormwater infrastructure.

Excavation and Landfill

Minor earthworks are proposed to prepare the site for construction of the new dwelling.

The attached geotechnical site classification report demonstrates that the proposed works are consistent with the geological stability of the site.

Demolition and Construction

Consent is sought for demolition of the existing dwelling, garage and concrete in the rear yard, to make way for the new dwelling. All demolition and construction works will be undertaken as required by Council controls and compliant with any relevant conditions of consent.

Waste Management

Appropriate waste management will be undertaken during the demolition and construction process. All demolished materials will be recycled where possible which is detailed in the accompanying Waste Management Plan.

The new dwelling provides compliant bin storage areas and waste will be collected by Councils regular service.

Part D Design

Landscaping and Open space and bush land setting

The DCP requires 40% landscaping on the site which is equivalent to 476m² for the site area of 1,190m². Once the access driveway is removed the site area of 1007.9 m² requires a landscape area of 403.16m²

The development will result in a compliant landscaped area of 623.8m² or 62%.

Private open space

The DCP requires a minimum private open space area of 60m² (with minimum dimensions of 5 metres).

The development provides a compliant area of 403.16m² of private open space, in the rear yard for the enjoyment of the residents.

Noise

The development is appropriate and will not result in noise levels inappropriate to a residential area.

The site is not located in close proximity to a noise generating activity.

Access to sunlight

At least 50% of the private open space of the subject site and the adjoining dwellings are required to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21 by this clause DCP.

The following observations are made of the shadow diagrams included with this application:

9am – The development will result in shadowing to a small portion of the rear yard of the subject site and a small section of the rear yards of 4 Iriga Place and 5 Cleary Avenue

12pm – The development will result in shadowing the driveway of the subject site and a small portion of the rear yard at 4 Iriga Place

3pm – The development will result in shadowing the driveway of the subject site and a small part of the rear yard and the northern elevation of 4 Iraga Place

It is concluded that the private open space of both the subject site and the adjoining properties maintain compliant solar access at 9am, 12 pm and 3pm.

Views

A site visit has been undertaken and it is considered the development will not anticipated that the development will result in any view loss impacts.

Privacy

Privacy will be retained for neighbours with ample setbacks and no direct overlooking into any key living areas. Ground floor rooms and the alfresco area will be visually separated from neighbouring properties by side boundary fencing and privacy screening. The first floor incorporates a number of privacy measures including compliant setbacks, orienting windows to the front and rear of the lot, offset windows, high sill heights and privacy glazing.

Building Bulk

The proposed dwelling incorporates articulation and generous setbacks to the first floor, to alleviate bulk. The dwelling is consistent with the streetscape and surrounding dwellings, with the overall impact being a modern, aesthetically pleasing and complimentary addition to Iraga Place.

Building Colours and Materials

The proposed building materials include metal roofing (colour as selected), Hebel power pattern cladding to the first floor (colour as selected), rendered Hebel construction to the ground floor, a panel lift garage door and handrails (as selected). All materials and finishes are complementary to the residential surrounds and consistent with a modern finish, with details provided in the accompanying materials schedule.

Roofs

The dwelling proposes a compliant 15 degree pitch and will be constructed of non-reflective metal construction.

Glare & Reflection

Materials have been chosen to ensure no glare or reflection issues.

Front Fences and Front Walls / Side and Rear Fences

No changes are proposed to existing side and rear fencing. No front fencing is proposed.

Site Facilities

The new dwelling provides all required site facilities including waste storage areas, mailbox and clothes drying facilities.

Safety and Security

The new dwelling provides clear boundaries between public and private space and provides an ability to view the street frontage, allowing for casual surveillance which is to the benefit of the safety and security.

Conservation of Energy and Water

The design has achieved a BASIX Certificate which accompanies the application.

Part E - The Natural Environment

Preservation of Trees or Bushland Vegetation

The development does not propose the removal of any trees.

Wildlife Corridors

There will be no impact on any valued wildlife as a result of the proposed dwelling.

Native Vegetation

The site is not identified on the DCP Native Vegetation Map.

Retaining unique Environmental Features

No unique environmental features will be impacted by the proposed development.

Waterways and Riparian Lands

There will be no impact on waterways or riparian lands in the locality.

Landslip Risk

The site is located in the area nominated as Area B – Flanking slopes 5 to 25. The attached geotechnical site classification addresses these issues.

6. Numerical Control Table

The following table provides a summary of the development proposal, in accordance with the relevant numerical planning controls contained in the Warringah LEP 2011 and the Warringah DCP 2011.

	Standard	Proposed	Compliance
Warringah LEP 2011			
Lot Size	600m ²	1190m ²	Yes
Building Height	8.5 metres	7.9m	Yes
Landslip	Identified as Area A and Area B	Yes	Report Attached
Secondary Dwelling	Max 60 m ²	59.99m ²	Yes
Warringah DCP 2011			
Wall Height	7.2 metres	7.0m from lowest level at north-west corner of proposed dwelling	Yes
Side Boundary Envelope	4 metres / 45 degrees		Yes
Side Boundary Setbacks	0.9 metres	Ground Floor 2315mm (north east) 5050mm (south) First Floor 5337mm (north east) 6000 – 7000mm (south)	Yes
Front Boundary Setback	6.5 metres	22.8m to dwelling	Yes
Rear Boundary Setbacks	6 metres	10m	Yes
Parking	2 spaces	2 spaces	Yes
	Width 6m or 50% building width	6m	Yes
Landscaped Open Space and Bushland Setting	40% (476m ²)	62% (623.8m ²)	Yes

	Standard	Proposed	Compliance
Private Open Space	60m ²	403m ²	Yes
Solar Access	3 hours sunlight to 50% of POS of both subject site and adjoining properties between 9am and 3pm on June 21.	Compliant at 9am, 12pm and 3pm.	Yes

7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

7.1 The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Warringah LEP and DCP.

The development is permissible in the R2 zone.

7.2 The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Context and Setting

What is the relationship to the region and local context in terms of:

- *the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement, and attached specialist reports.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed dwelling has been designed to complement the site and its surrounds. The proposal is appropriate and will have negligible impact on adjacent properties.

Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

No conflict or issues will arise as a result of the proposed development.

Public domain

The proposed development will not impact the public domain.

Utilities

There will be no impact on the site, which is already serviced.

Flora and fauna

There will be no impact.

Waste

There will be no impact.

Natural hazards

The site is mapped as Area B landslip. A report has been provided by an expert with regard to the geotechnical aspects of the site and is supportive of the proposal subject to recommendations. This report accompanies the development application.

Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

Site design and internal design

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed development is appropriate to the site with regards to all of the above factors. The development fits well within the context of the surrounds and is well suited to the residential surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally finishes, building materials and all facilities will be compliant with all relevant Council controls.

Construction

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

7.3 The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*

- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the new dwelling proposed.

7.4 Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

7.5 The public interest

It is considered that the proposal is in the public interest as it allows for appropriate use of the residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

8. Conclusions

- 8.1 The proposed development for the demolition of the existing dwelling and the construction of a new dwelling and a secondary dwelling at 5 Iraga Place, Forestville is appropriate considering all State and Council controls.
- 8.2 When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 8.3 Considering all the issues, the fully compliant development is considered worthy of Council's consent.