

DRAWING LIST

| | |
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| 01 | LOT 9- BASIX NOTES |
| 02 | LOT 9- LOCATION PLAN |
| 03 | LOT 9- SITE ANALYSIS |
| 04 | LOT 9- SITE PLAN |
| 05 | LOT 9- CUT AND FILL PLAN |
| 06 | LOT 9- GROUND FLOOR |
| 07 | LOT 9- FIRST FLOOR PLAN |
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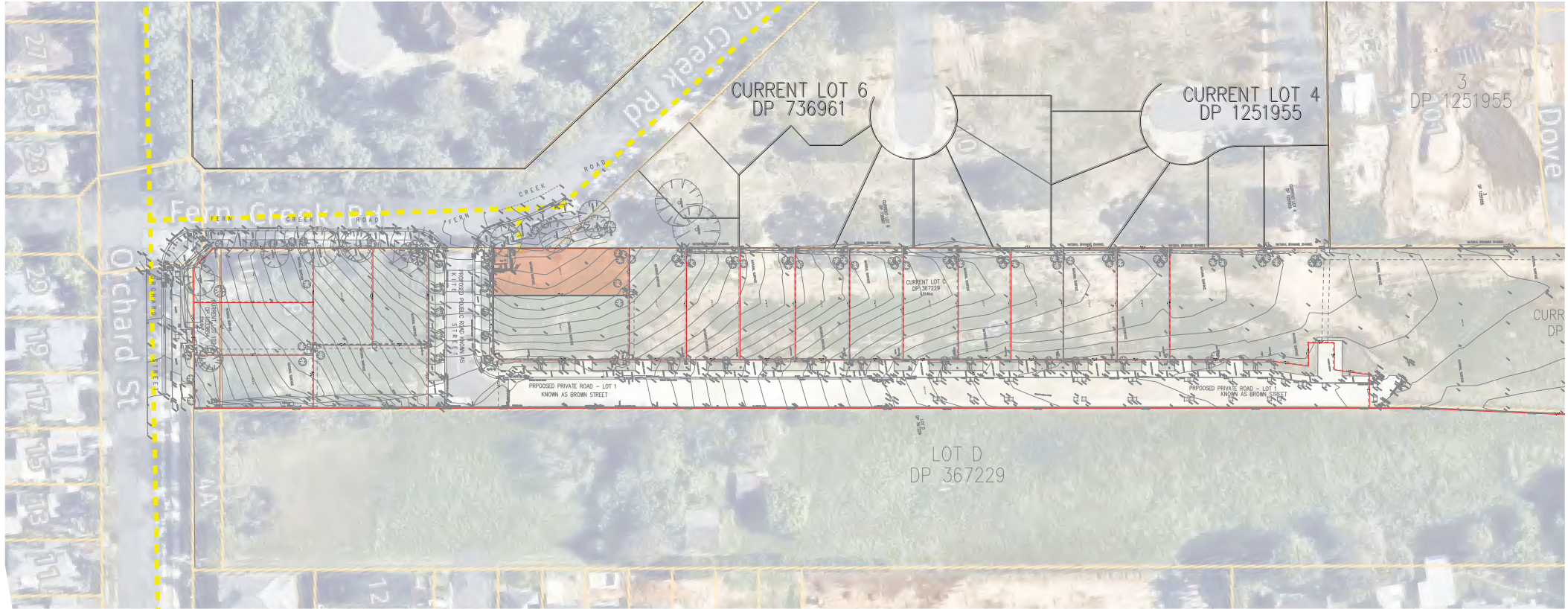


DEVELOPMENT APPLICATION LOT 9-6 ORCHARD ROAD, WARRIEWOOD WARRIEWOOD HOUSING

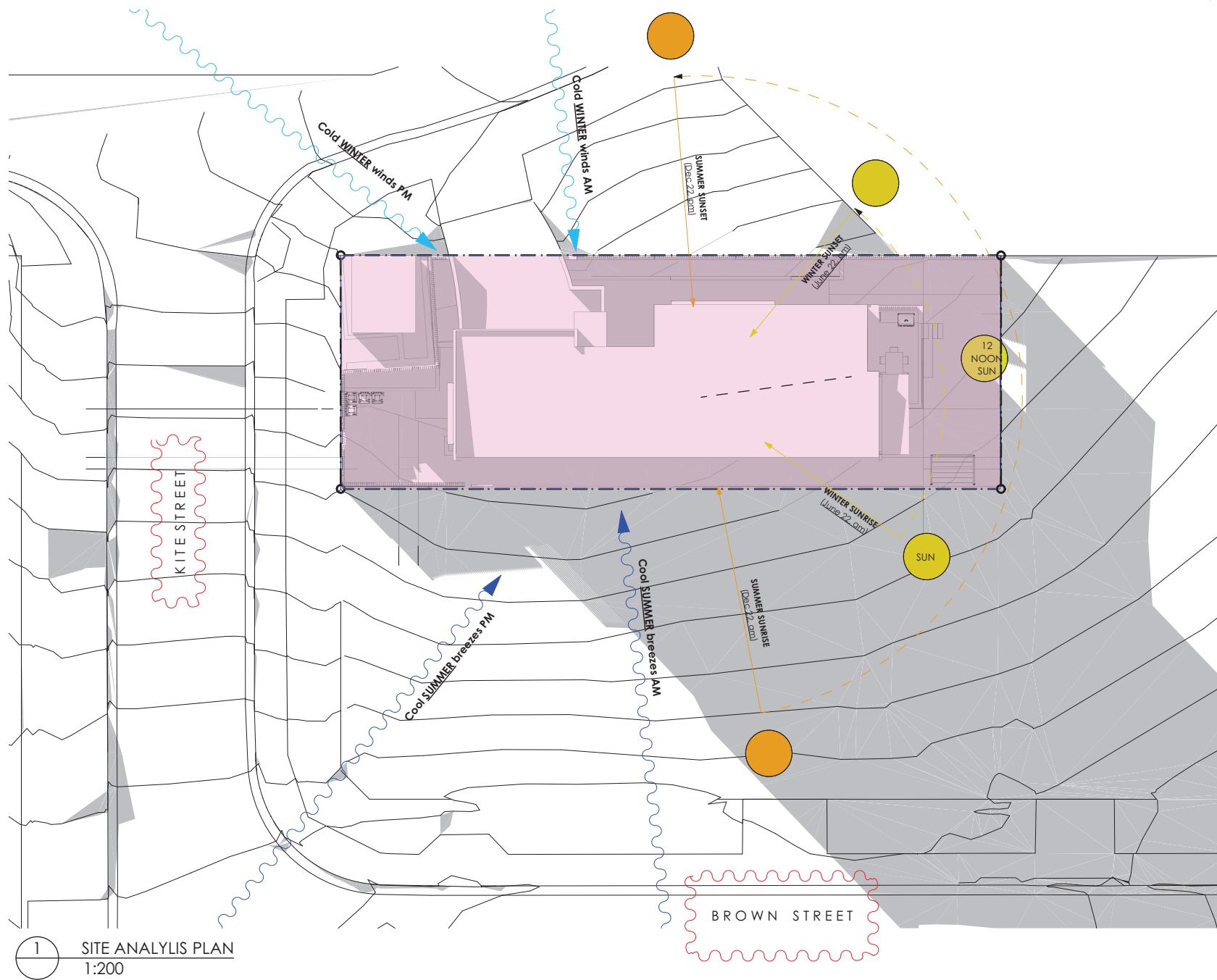
SEPTEMBER 2022

| BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE) | | | | |
|--|--|------------------------------|-----------------------------|--------------------|
| | | | | |
| WATER | No hot water reticulation required | | | |
| Fixtures | All shower heads | All toilets | All kitchen taps | All bathrooms taps |
| Rating | 4 Star(>4.5 But<=6L/Min) | 4 star | 5 star | 5 star |
| Alternate water source | | | | |
| Rain Water Tank | Type | Size | Roof area connected | Connections |
| | Individual RWT | 3000L | 100 m2 | Outdoor tap only |
| Swimming pool | | ... | | |
| | Volume | Heated | Cover | Shaded |
| ... | ... | ... | ... | ... |
| ENERGY | | | | |
| Hot water | Type | Rating | | |
| | Individual, gas instantaneous | 5 star | | |
| Mech. Ventilation | System | Operation Control | | |
| Bath | Indiv. fan, ducted to facade or roof | Manual Switch On/Off | | |
| L'dry | Indiv. fan, ducted to facade or roof | Manual Switch On/Off | | |
| Kitchen | Indiv. fan, ducted to facade or roof | Manual Switch On/Off | | |
| Cooling System | Type | Living areas | Bed rooms | |
| | 1 Phase Air conditioning: Day / Night Zoned | 3 star (average zone) | 3 star (average zone) | |
| Heating System | Type | Living areas | Bed rooms | |
| | 1 Phase Air conditioning: Day / Night Zoned | 3 star (average zone) | 3 star (average zone) | |
| Artificial Lighting | Primary type of artificial lighting is fluorescent or light emitting diode (LED) | | | |
| | No. of Bed rms & study | No. of Living | Each Kitchen, Bath / Toilet | L'dry & Hallway |
| | All | All | Yes | Yes |
| Others | Indoor private Cloth Line | Not Required | | |
| | Outdoor or sheltered Cloth Line | Yes | | |
| | Well ventilated Fridge space | No | | |
| | Kitchen Cook top / Oven | Gas Cook top + Electric Oven | | |
| THERMAL | | | | |
| | External Wall Insulation: R2.06 (BV Walls); R2.0 (framed walls) | | | |
| | Ceiling Insulation: R3.45 | | | |
| | Roof type / colour :Metal roof flat ceiling / pitched roof, raked ceiling / pitced or skillion roof, Medium Colour (SA 0.475 - 0.7) + SS Foil (R1.3) | | | |
| | ALM-002-01 A: Aluminium B SG Clear U=6.7 SHGC =0.70 | | | |
| | Skylight: Aluminimum, moulded plastic single clear SG Clear U=6.7 SHGC =0.70 | | | |
| | All External doors & windows to be weather sealed | | | |
| | Eaves / shading as per drawings | | | |

1 BASIX COMMITMENTS



1 LOCATION PLAN
1:1000



1 SITE ANALYSIS PLAN
1:200

| REV | DESCRIPTION |
|-----|----------------------|
| P1 | - |
| P7 | ISSUE FOR DA |
| P8 | AMENDED STREET NAMES |

| BY | DATE |
|----|----------|
| - | - |
| TC | 15.09.30 |
| GF | 11.05.23 |

CLIENT:
SKYCORP AUSTRALIA

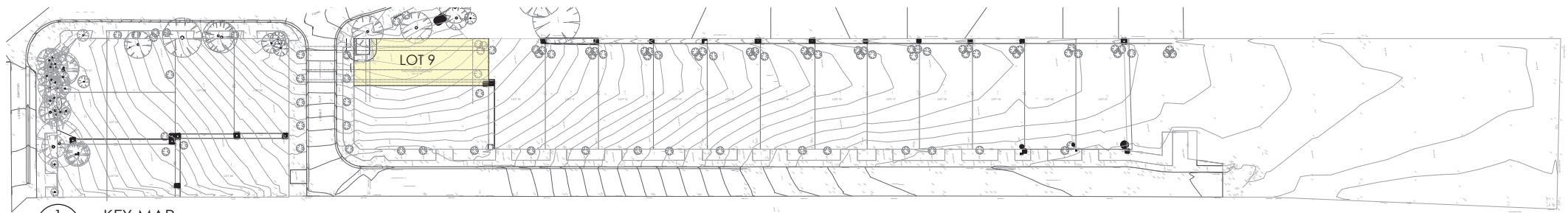
PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

DRAWING TITLE:
LOT 9- SITE ANALYSIS

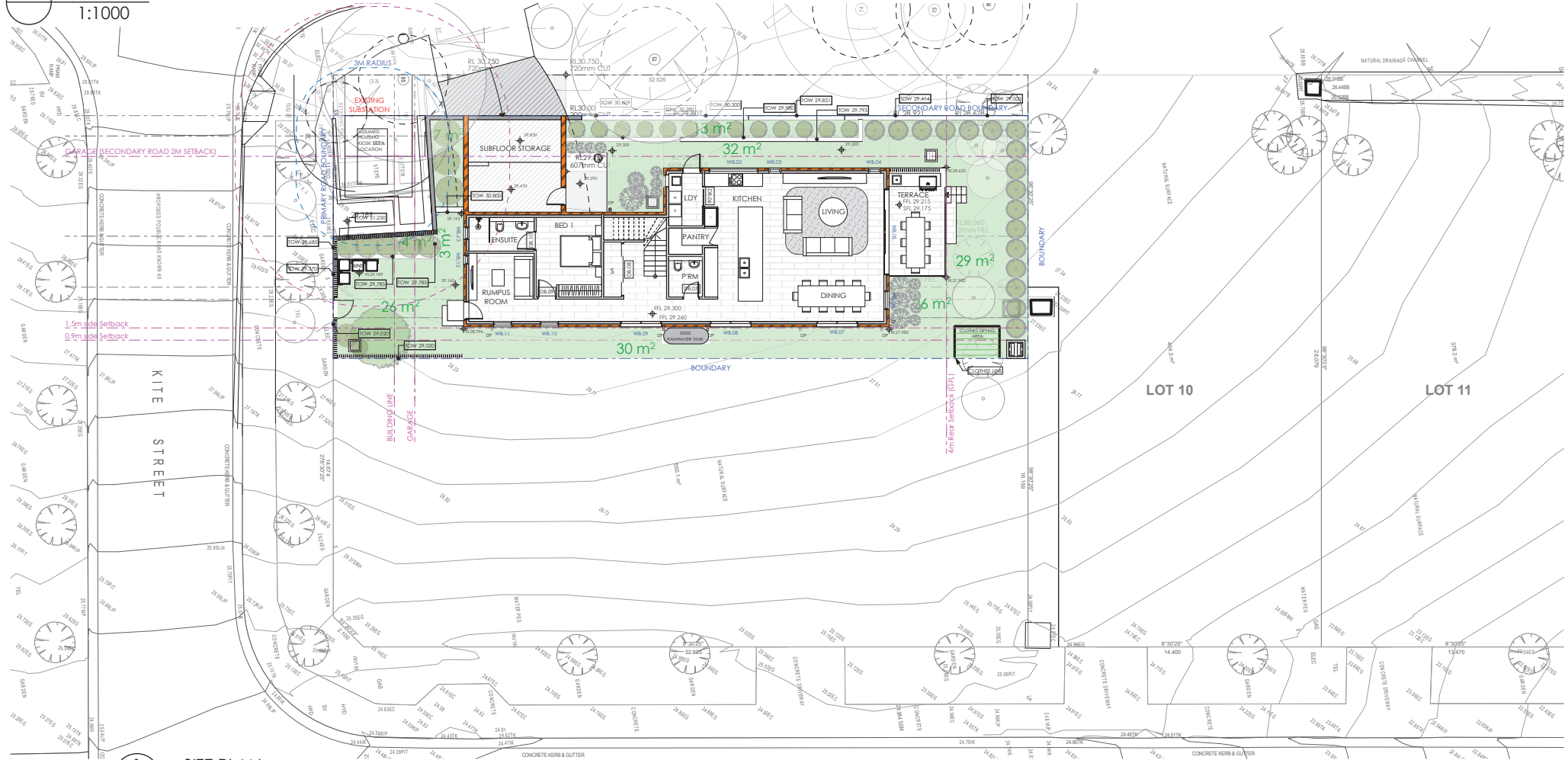
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DRAWN BY: CR
CHECKED BY: PI
SCALE:
PROJECT No: P563



DA 03 P8
stage. dwg no. revision



1 KEY MAP
1:1000



1 SITE PLAN
1:200

REV DESCRIPTION
P1
P7 ISSUE FOR DA

BY DATE
TC 15.09.30

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SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

NORTH POINT:

DRAWN BY: CR
CHECKED BY: PI
SCALE:
PROJECT No: P563

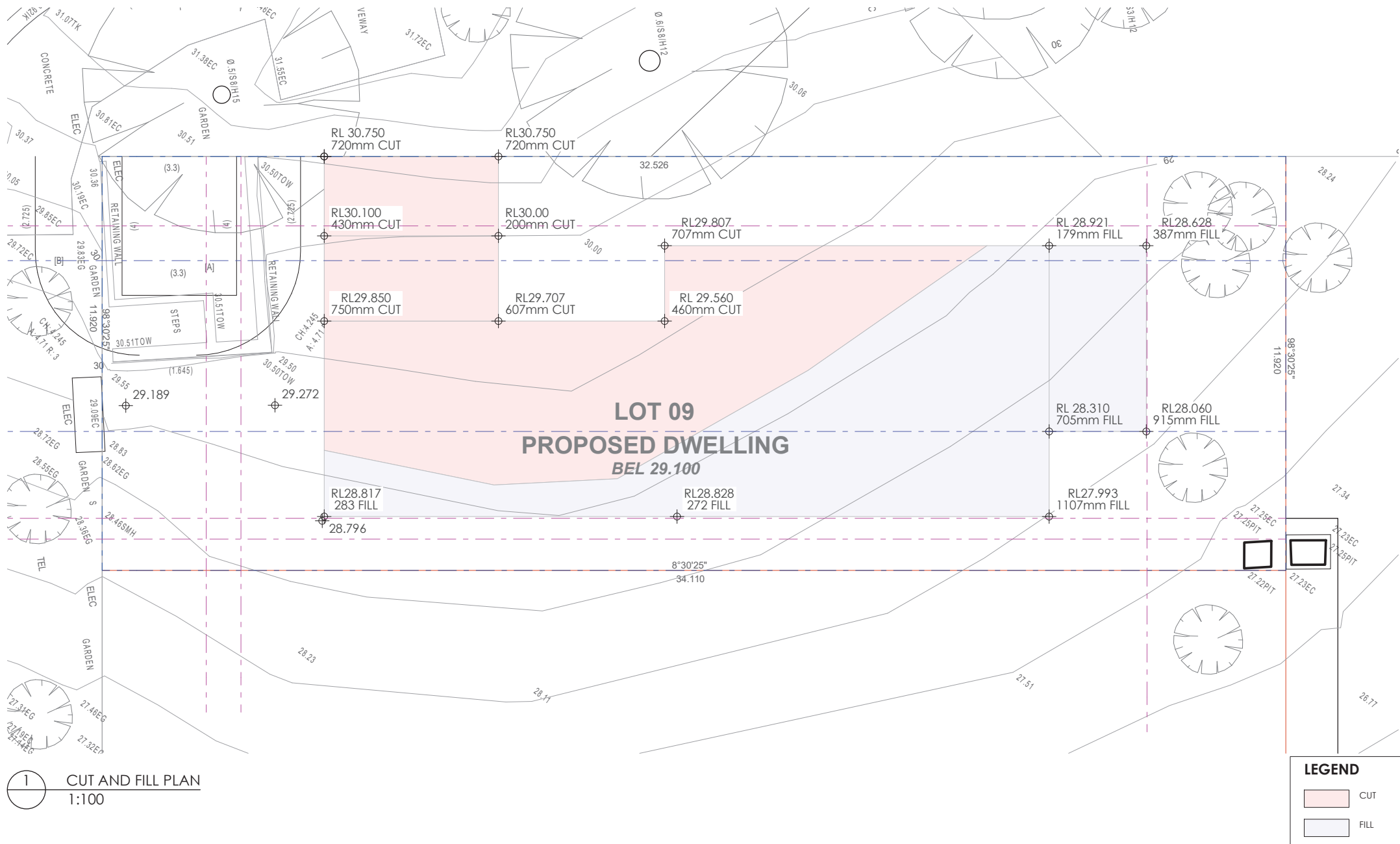


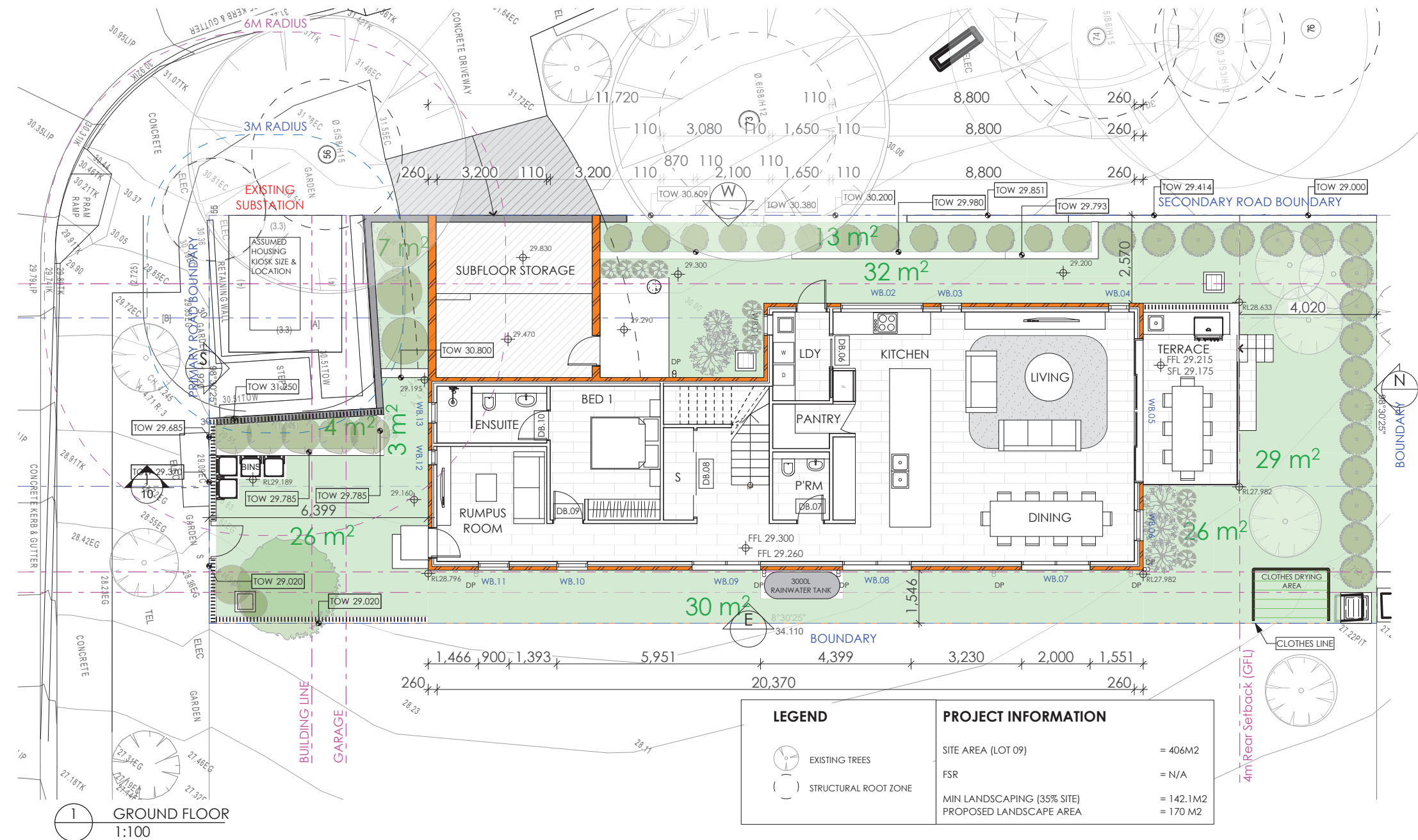
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LOT 9- SITE PLAN

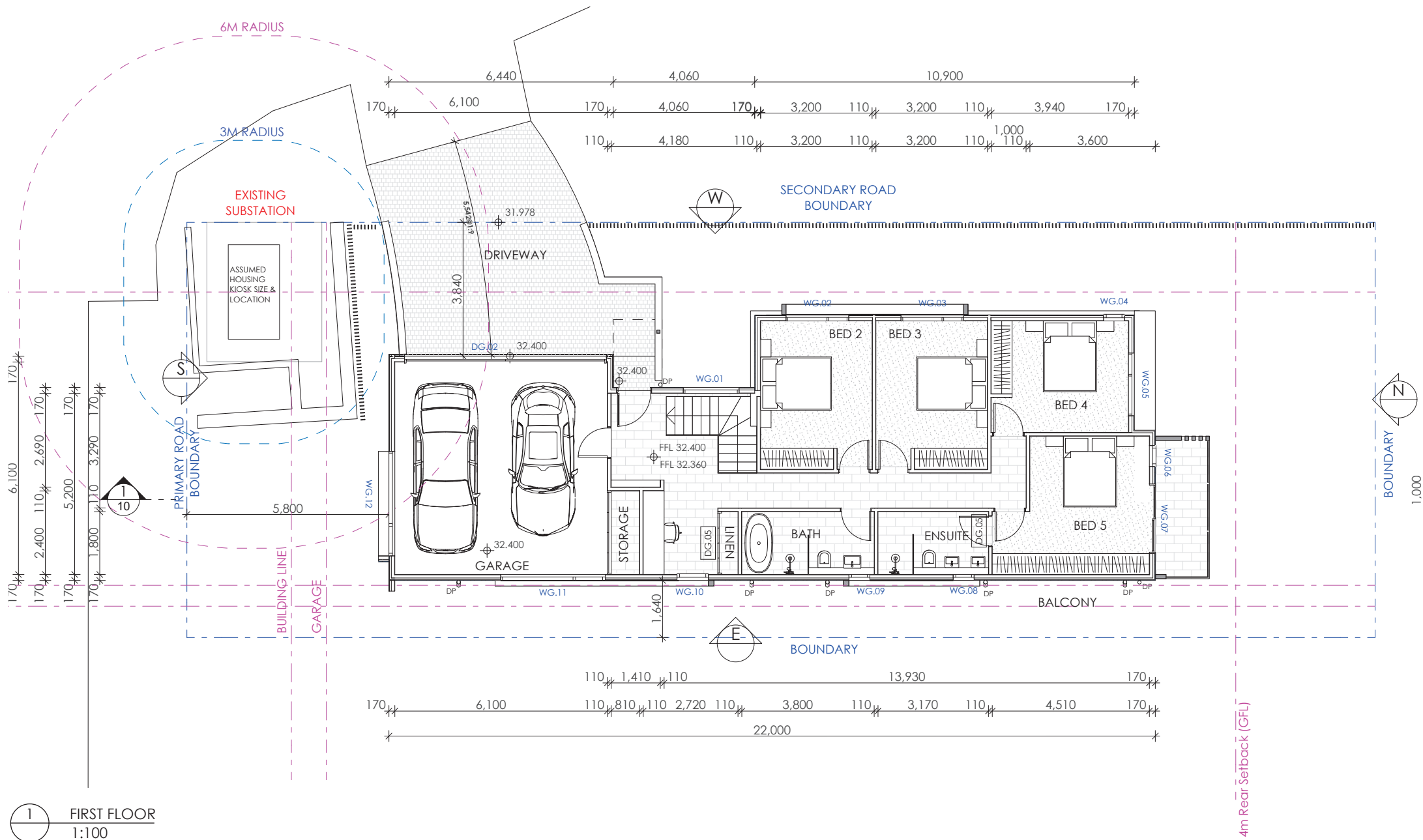
DA
stage

04
dwg no.

P7
revision







REV DESCRIPTION
P1 -
P7 ISSUE FOR DA

BY DATE
TC 15.09.30

CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

DRAWING TITLE:
LOT 9- FIRST FLOOR PLAN

NORTH POINT:

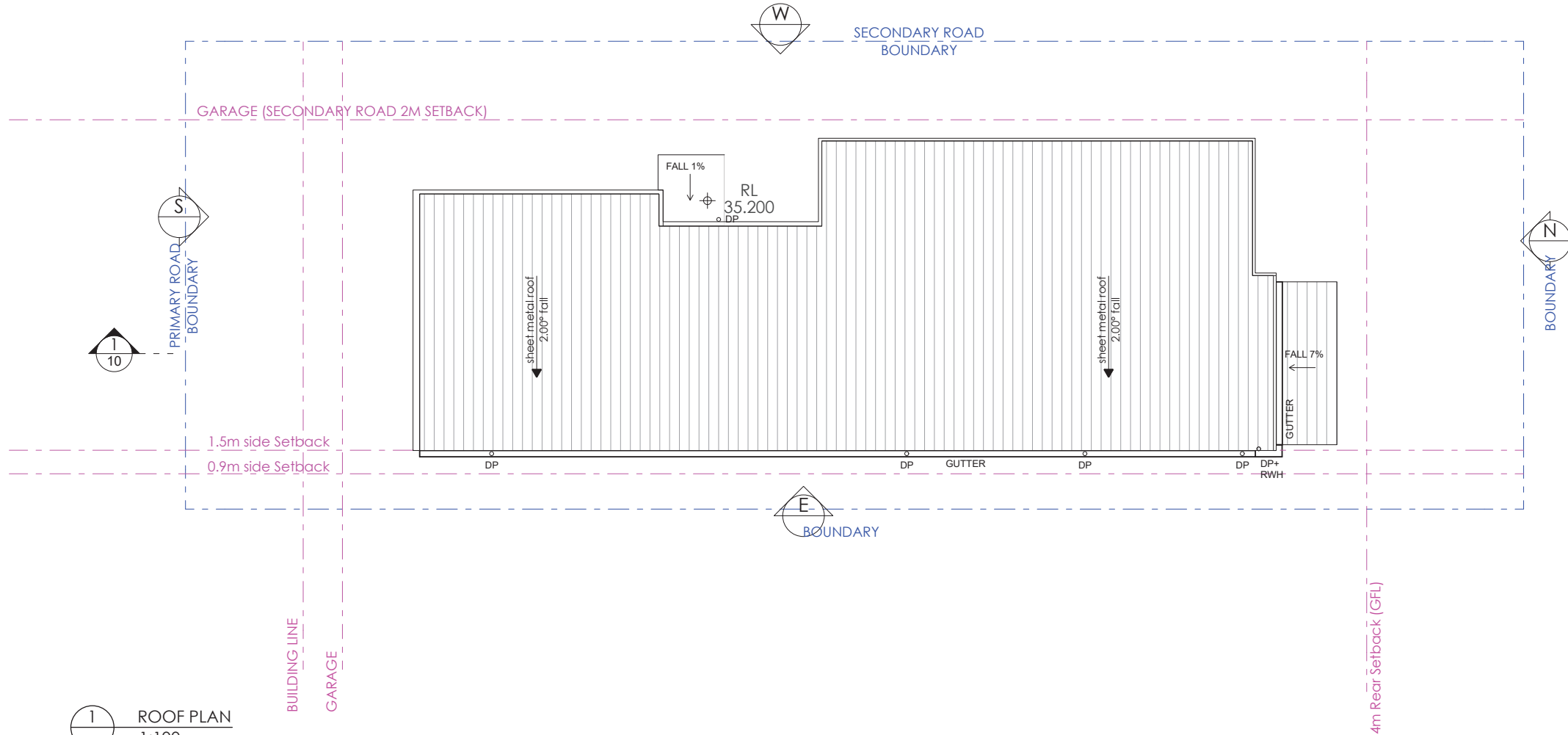


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SCALE: 1:200
PROJECT No: P563

DA
stage

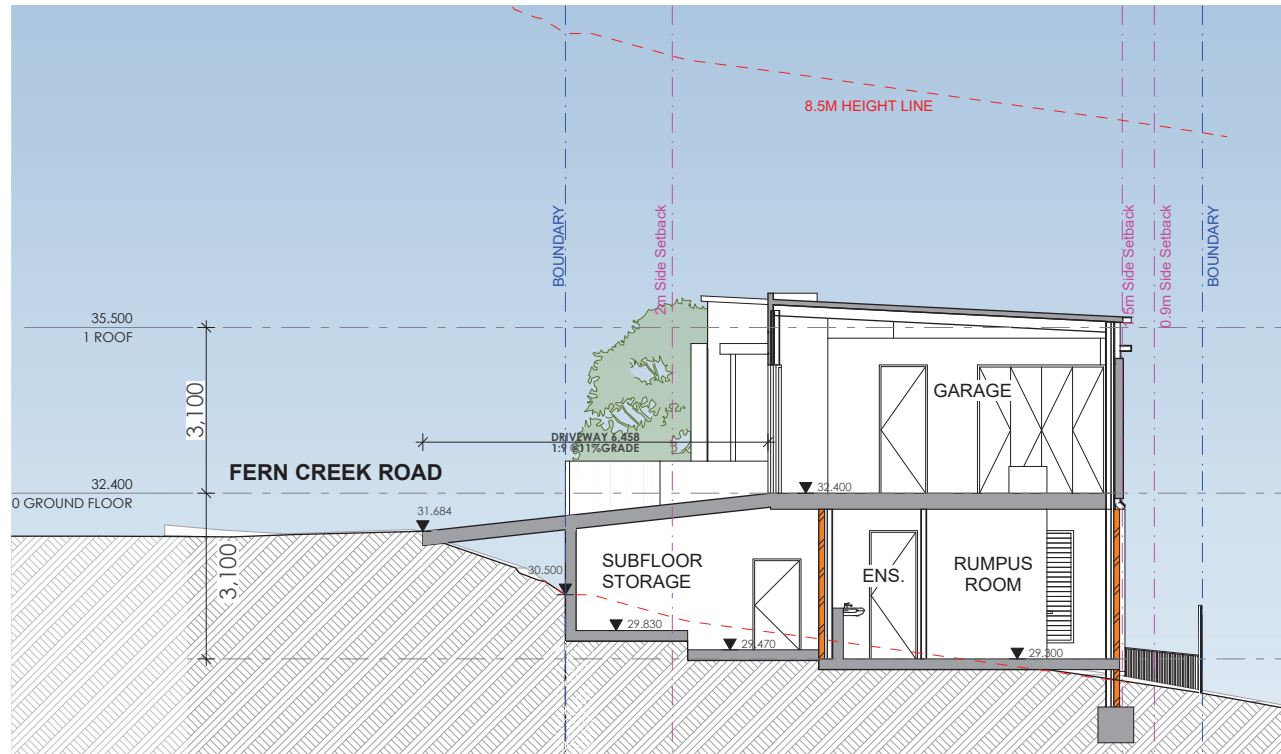
07
dwg no.

P7
revision

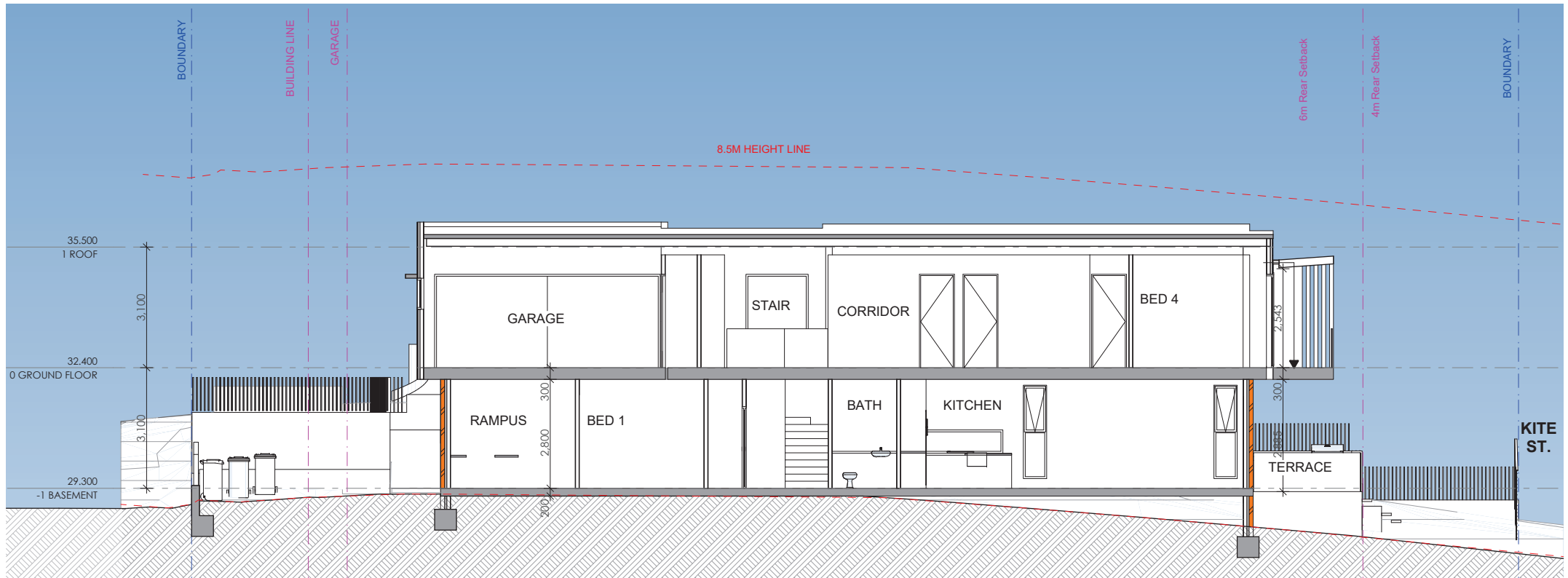


1 ROOF PLAN
1:100





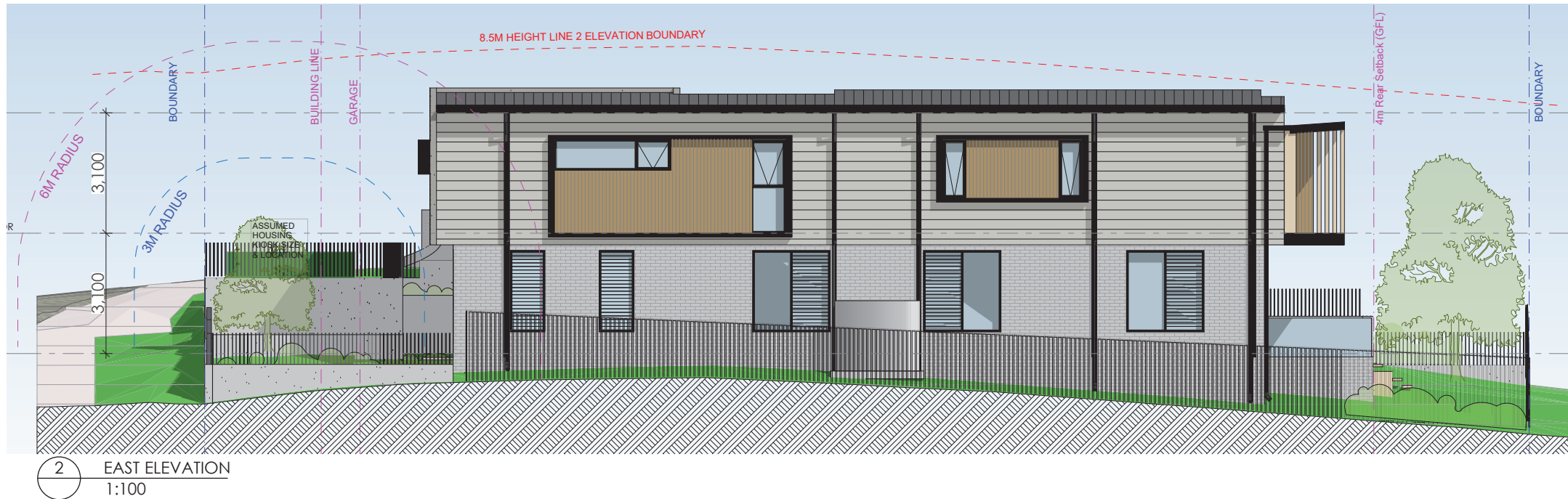
1 SECTION A
1:100

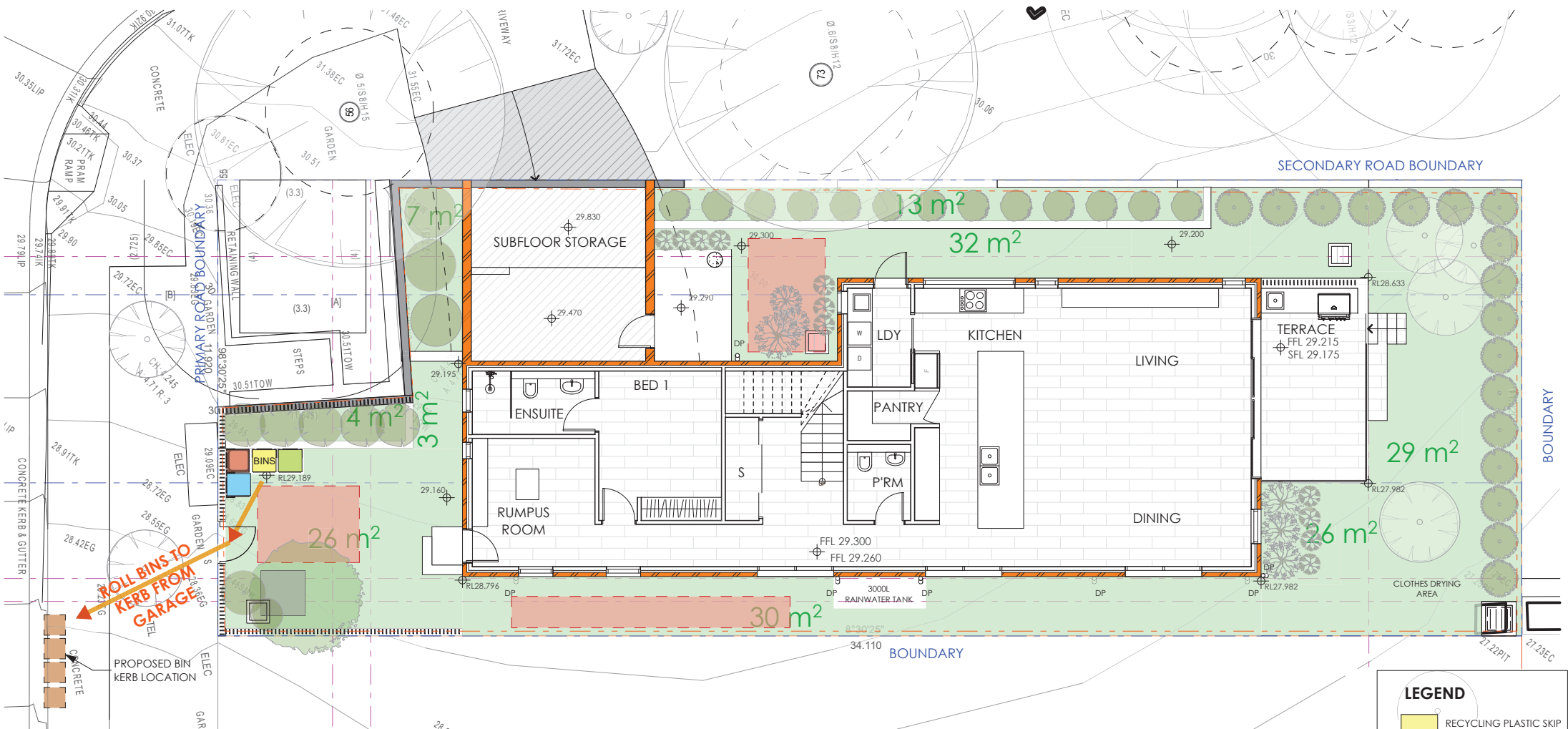


1 SECTION B
1:100

Architectural drawing of the West Elevation of a building at a 1:100 scale. The drawing shows a two-story structure with a dark upper level and a light lower level. Key features include a large window with a brown shutter, a garage, and a small tree. The drawing is annotated with various boundaries and setbacks: a red dashed line for the 8.5M Height Line 2 Elevation Boundary, a blue dashed line for the 6M Radius Building Line, a blue dashed line for the 3M Radius Building Line, and a pink dashed line for the 4m Rear Setback (GFL). The drawing also shows the roof level (RL 35.500), ground floor level (RL 32.400), and basement level (RL 29.300). The drawing is labeled "2 WEST ELEVATION 1:100".

DA 11 P7
stage. dwg no. revision





1 WASTE MANAGEMENT PLAN
1:100

LEGEND

-  RECYCLING PLASTIC SKIP
-  RECYCLING PAPER SKIP B
-  WASTE SKIP BIN
-  GREEN WASTE BIN
-  PORTABLE TOILET
-  TEMPORARY FENCE
-  MATERIALS STORAGE

| REV | DESCRIPTION |
|-----|--------------|
| P1 | - |
| P7 | ISSUE FOR DA |

| | |
|----|----------|
| BY | DATE |
| - | - |
| TC | 15.09.30 |

CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

NORTH POINT:

DRAWN BY: CR

CHECKED BY: PI

SCALE:

PROJECT No: P563

DRAWING TITLE:
LOT 9- WASTE MANAGEMENT PLAN

DA 13 P7
stage. dwg no. revision



1 PRIMARY ROAD



2 REAR PERSPECTIVE



3 SECONDARY ROAD

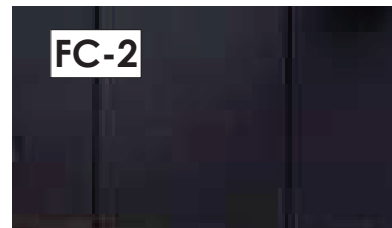


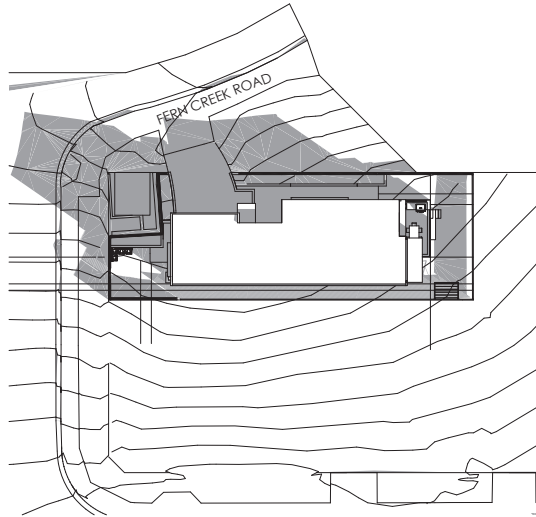
4 SECONDARY ROAD 2



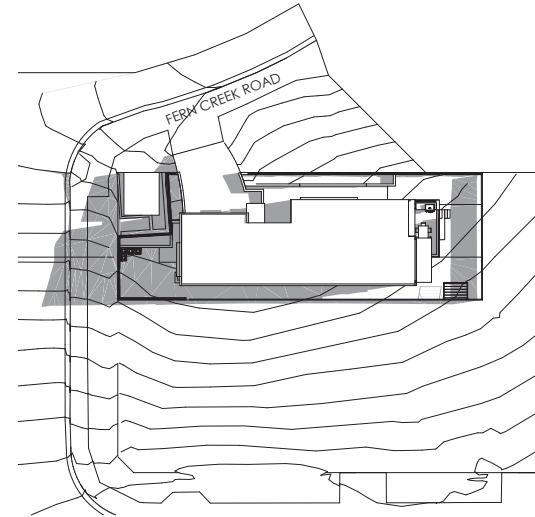
FINISHES KEY - ELEVATIONS

- FB-1** FACE BRICK TYPE 1 - AUSTRAL BRICKS
'MITRO-LA PALOMA' OR SIMILIAR
- FC-1** FIBER CEMENT PANEL TYPE 1 - JAMES HARDIE
AXON CLADDING 133 PROFILE -
PAINTED DULUX WAYWARD GREY OR SIMILIAR
- FC-2** FIBER CEMENT PANEL TYPE 2 - JAMES HARDIE
AXON CLADDING 400 PROFILE -
PAINTED DULUX MONUMENT OR SIMILIAR
- TW-1** TIMBER LOOK ALUMINIUM CLADDING / POST
DECOWOOD - NATURAL SPOTTED GUM OR SIMILIAR
- M-1** METAL ROOF TYPE 1 - LYSAGHT KLIP-LOK
700 HI-STRENGTH MOMUMENT COLOUR
OR SIMILIAR
- M-2** METAL FENCE - POWDERCOAT ALUMINIUM
COLOUR - MONUMENT OR SIMILIAR
- BAL-1** BALUSTRADE TYPE 1 - FRAMELESS GLASS
- CR-1** CEMENT RENDER TYPE 1 - PAINT FINISH -
DULUX 'LEXICON QUARTER B11' OR
SIMILIAR
- ST- 1** RANDOM STONE CLADDING
SANDSTONE LOOK OR SIMILIAR

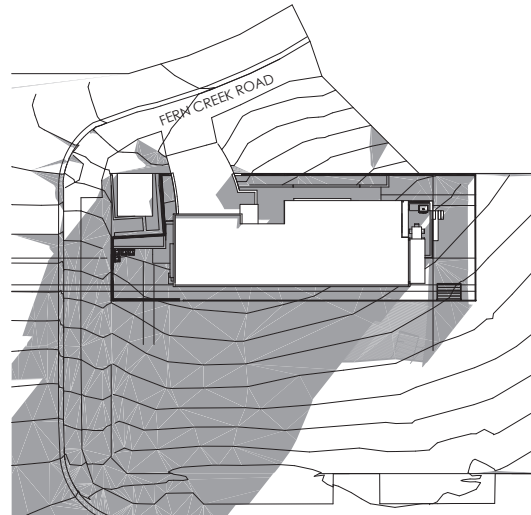




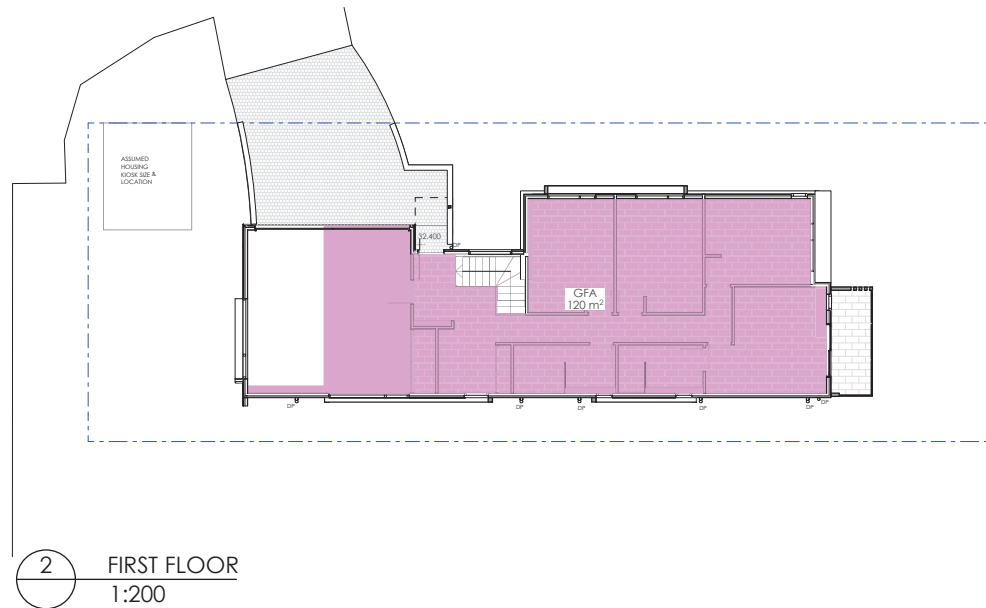
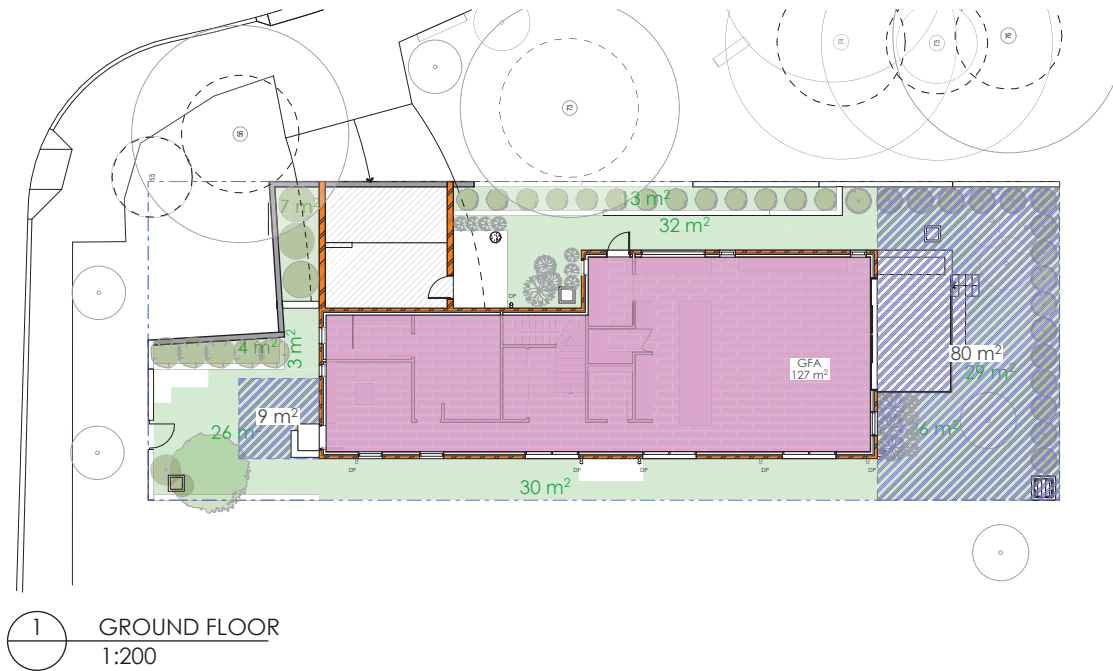
1 SHADOW DIAGRAM JUNE 21 9AM
1:500



2 SHADOW DIAGRAM JUNE 21 12PM
1:500



3 SHADOW DIAGRAM JUNE 21 3PM
1:500



GFA & FSR LEGEND

GROSS FLOOR AREA

| | |
|--------------|--------------------|
| GROUND FLOOR | 127 M ² |
| FIRST FLOOR | 120 M ² |

LANDSCAPE AREA

| | |
|--------------|--------------------|
| GROUND FLOOR | 170 M ² |
|--------------|--------------------|



TOTAL GROSS FLOOR AREA
- ALLOWED : N/A
- PROPOSED: 247 M²



LANDSCAPING AREA
-ALLOWED : 142.1M²
-PROPOSED: 170 M²



PRIVATE OPEN SPACE
(MIN3X3M)

REV DESCRIPTION
P1 -
P7 ISSUE FOR DA

BY DATE
-
TC 15.09.30

CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

DRAWING TITLE:
LOT 9- AREA CALCULATIONS

NORTH POINT:

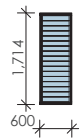
DRAWN BY: CR
CHECKED BY: PI
SCALE: 1:200
PROJECT No: P563



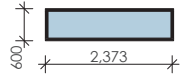
DA
stage

17
dwg no.

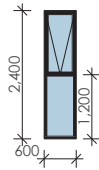
P7
revision



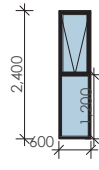
WB.01
LOUVRE
OPAQUE
ALUMINIUM
257 MM



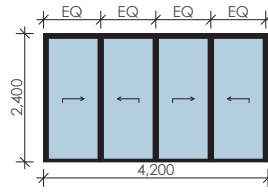
WB.02
FIXED
CLEAR
ALUMINIUM
900 MM



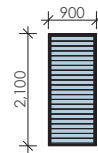
WB.03
TOP HUNG
CLEAR
ALUMINIUM
250 MM



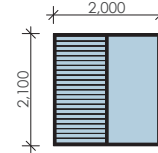
WB.04
TOP HUNG
CLEAR
ALUMINIUM
250 MM



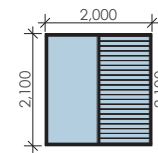
WB.05
SLIDING DOOR
CLEAR
ALUMINIUM
NA



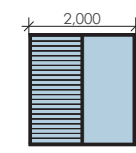
WB.06
LOUVRE
CLEAR
ALUMINIUM
557 MM



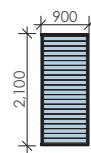
WB.07
LOUVRE (SIDE)
CLEAR
ALUMINIUM
557 MM



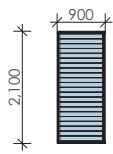
WB.08
LOUVRE (SIDE)
CLEAR
ALUMINIUM
557 MM



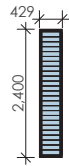
WB.09
LOUVRE (SIDE)
CLEAR
ALUMINIUM
557 MM



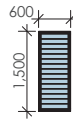
WB.10
LOUVRE
CLEAR
ALUMINIUM
557 MM



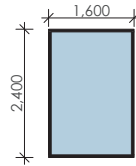
WB.11
LOUVRE
CLEAR
ALUMINIUM
557 MM



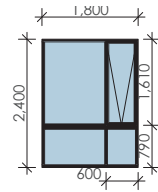
WB.12
LOUVRE
CLEAR
ALUMINIUM
300 MM



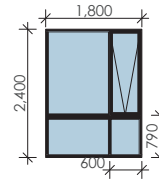
WB.13
LOUVRE
OPAQUE
ALUMINIUM
1157



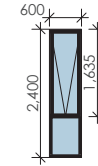
WG.01
FIXED
CLEAR
ALUMINIUM
NA



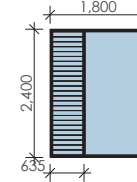
WG.02
TOP HUNG (SIDE)
CLEAR
ALUMINIUM
300 MM



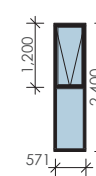
WG.03
TOP HUNG (SIDE)
CLEAR
ALUMINIUM
300 MM



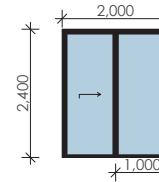
WG.04
TOP HUNG
CLEAR
ALUMINIUM
300 MM



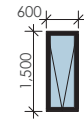
WG.05
LOUVRE (SIDE)
CLEAR
ALUMINIUM
300 MM



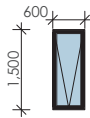
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TOP HUNG
CLEAR
ALUMINIUM
300 MM



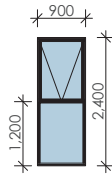
WG.07
SLIDING DOOR
CLEAR
ALUMINIUM
NA



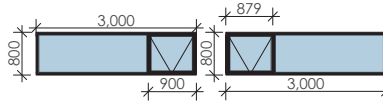
WG.08
TOP HUNG
OPAQUE
ALUMINIUM
900 MM



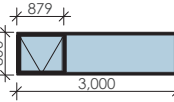
WG.09
TOP HUNG
OPAQUE
ALUMINIUM
900 MM



WG.10
TOP HUNG
CLEAR
ALUMINIUM
300 MM



WG.11
TOP HUNG (SIDE)
CLEAR
ALUMINIUM
1621 MM



WG.12
TOP HUNG (SIDE)
CLEAR
ALUMINIUM
1621 MM

1 WINDOWS SCHEDULE 1:100

REV DESCRIPTION
P1 -
P7 ISSUE FOR DA

BY DATE
- -
TC 15.09.30

CLIENT:
SKYCORP AUSTRALIA

PROJECT TITLE:
6 ORCHARD ROAD, WARRIEWOOD

NORTH POINT:

DRAWN BY: CR
CHECKED BY: PI
SCALE: 1:200
PROJECT No: P563

DRAWING TITLE:
LOT 9- WINDOWS SCHEDULE

DA
stage

18
dwg no.

P6
revision









LOCATION PLAN 
Scale: NTS



DRAWING SCHEDULE

| SHEET # | DRAWING TITLE | REV. |
|---------|----------------|------|
| /1 | HARDSCAPE PLAN | C |
| /2 | LANDSCAPE PLAN | C |
| /3 | DETAILS | C |
| /4 | SPECIFICATION | C |

LANDSCAPE ITEMS

-  1.8m Site boundary Fence to be nom. by client
-  Brick Edging - refer detail
-  Turf area - refer detail
-  Retaining / raised planter wall - refer detail
-  Front Gate and fence - colour and style to be nom. by client
-  Existing trees proposed to be retained and protected

LANDSCAPE CALCULATIONS


SITE AREA: 406m²
REQUIRED LANDSCAPE AREA: 142.1m² (35%)
PROPOSED LANDSCAPE AREA: 170m² (41.1%)
(COMPLIANT)




LEGEND & SCHEDULE


NOTES:
1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.


TREES


Botanical Name: *Buckinghamia celsissima*
Common Name: Ivory Curl Flower (Native)
Pot size: 75L
Mature H x S: 9m x 3m
Qty Required: 1


SHRUBS & SCREEN PLANTING


Botanical Name: *Grevillea 'Honey Gem'*
Common Name: Honey Gem Grevillea (Native)
Pot size: 200mm
Mature H x S: 3-5m x 2-3m
Qty Required: 4



Botanical Name: *Adenanthos sericeus*
Common Name: Woolly Bush (Exotic)
Pot size: 200mm
Mature H x S: 1-5m x 1.5m
Qty Required: 5



Botanical Name: *Syzygium 'Cascade'*
Common Name: Cascade Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 2-5m x 1.8m
Qty Required: 30

PERENNIALS & ACCENT PLANTS


Botanical Name: *Dianella caerulea 'Cassa Blue'*
Common Name: Cassa Blue Flax Lily (Native)
Pot size: 150mm
Mature H x S: 0.5m x 0.4m
Qty Required: 9


Botanical Name: *Phormium tenax 'Bronze Warrior'*
Common Name: BW New Zealand Flax (Exotic)
Pot size: 300mm
Mature H x S: 1.5m x 0.3m
Qty Required: 5


Botanical Name: *Philodendron 'Xanadu'*
Common Name: Xanadu Plant (Exotic)
Pot size: 200mm
Mature H x S: 0.7m x 0.7m
Qty Required: 4


Botanical Name: *Calathea zebrina*
Common Name: Zebrina plant (Exotic)
Pot size: 300mm
Mature H x S: 1m x 0.6m
Qty Required: 3

PROPOSED LAWN OR LAWN SUBSTITUTES ALONG SIDE PASSAGE FOR COUNCIL LANDSCAPE COMPLIANCE PURPOSE.

SAMPLE IMAGES
Images are diagrammatic only, and final planting species may vary, as determined by Council Approval



Dianella caerulea 'Cassa Blue'



Phormium tenax 'Bronze Warrior'



Syzygium 'Cascade'



Grevillea 'Honey Gem'

Planting to front setback to include:
- 1 *Buckhamia*
- 1 *Grevillea*
- 5 *Phormium*
- 5 *Dianella*

Screen planting to side and rear boundary to include:
- 3 *Grevillea*
- 5 *Adenanthos*

Existing trees to be retained

Planting under roof above to include:
- 3 *Calathea*
- 4 *Philodendron*

LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to **NORTHERN BEACHES** Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant

Selector"web site one-drip rated native plants (acceptable for BASIX planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstatate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

NORTHERN BEACHES approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**

General Notes:
Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF files may vary slightly in scale to that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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Bar Scale



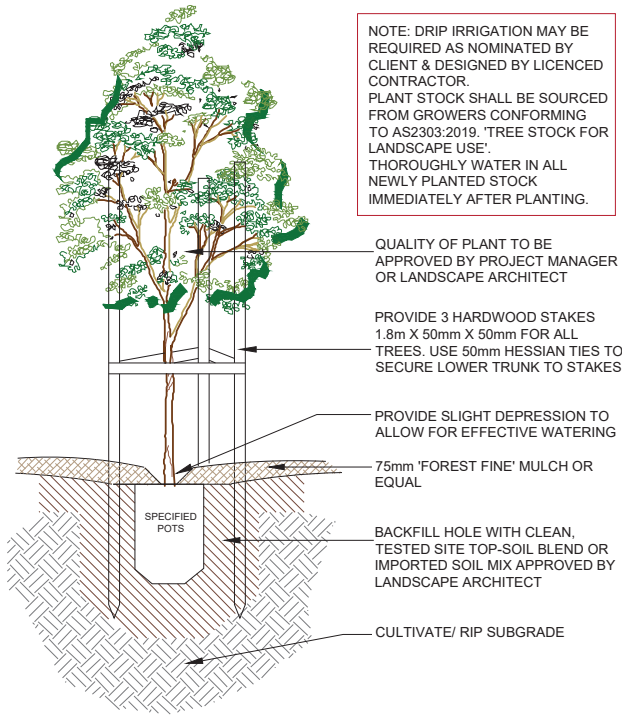
1:150 @ A3

| REV | DATE | NOTATION/AMENDMENT |
|-----|------------|---|
| A | 26.05.2022 | Preliminary plan prepared for review |
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| C | 04.10.2022 | Co-ordinated with client's comments |

| | |
|----------------|-------------------|
| COUNCIL | NORTHERN BEACHES |
| CLIENT | SKYCORP AUSTRALIA |
| ARCHITECT | PTI ARCHITECTURE |
| STATUS / ISSUE | DA - ISSUE C |



| | | | |
|--------|----------------------------------|----------|-----------------|
| TITLE: | LANDSCAPE PLAN | DWG No: | LPDA 22 - 324/2 |
| | PROPOSED RESIDENTIAL DEVELOPMENT | DATE: | OCT 2022 |
| | 6 ORCHARD STREET WARRIEWOOD | DRAWN: | C.D |
| | | CHECKED: | R.F |



NOTE: DRIP IRRIGATION MAY BE REQUIRED AS NOMINATED BY CLIENT & DESIGNED BY LICENCED CONTRACTOR.
PLANT STOCK SHALL BE SOURCED FROM GROWERS CONFORMING TO AS2303:2019 'TREE STOCK FOR LANDSCAPE USE'.
THOROUGHLY WATER IN ALL NEWLY PLANTED STOCK IMMEDIATELY AFTER PLANTING.

QUALITY OF PLANT TO BE APPROVED BY PROJECT MANAGER OR LANDSCAPE ARCHITECT

PROVIDE 3 HARDWOOD STAKES 1.8m X 50mm X 50mm FOR ALL TREES. USE 50mm HESSIAN TIES TO SECURE LOWER TRUNK TO STAKES

PROVIDE SLIGHT DEPRESSION TO ALLOW FOR EFFECTIVE WATERING

75mm 'FOREST FINE' MULCH OR EQUAL

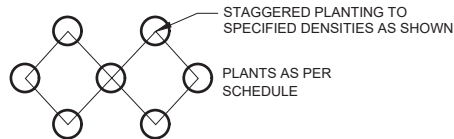
BACKFILL HOLE WITH CLEAN, TESTED SITE TOP-SOIL BLEND OR IMPORTED SOIL MIX APPROVED BY LANDSCAPE ARCHITECT

CULTIVATE/ RIP SUBGRADE

TREE PLANTING DETAIL

SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



MASS PLANTING SETOUT

N.T.S



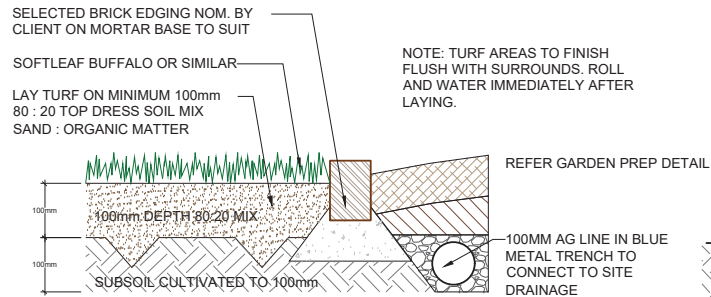
PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

TREE PROTECTION ZONE

N.T.S

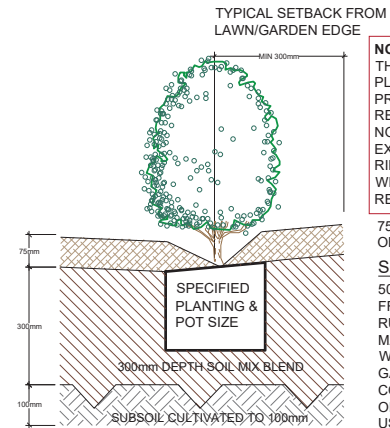
1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS
5. PRUNING & MAINTENANCE TO TREE REFER TO AS 4373-2007 PRUNING OF AMENITY TREES

NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL WALLS EXCEEDING 1m HEIGHT SHALL BE DETAILED BY A QUALIFIED ENGINEER. INSTALL WALL TO SUIT SITE LEVELS AND TO MANUFACTURE'S SPECIFICATION.



TYPICAL TURF AND BRICK EDGE DETAIL

SCALE: 1:10



NOTE
THIS DETAIL IS ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED.
NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE

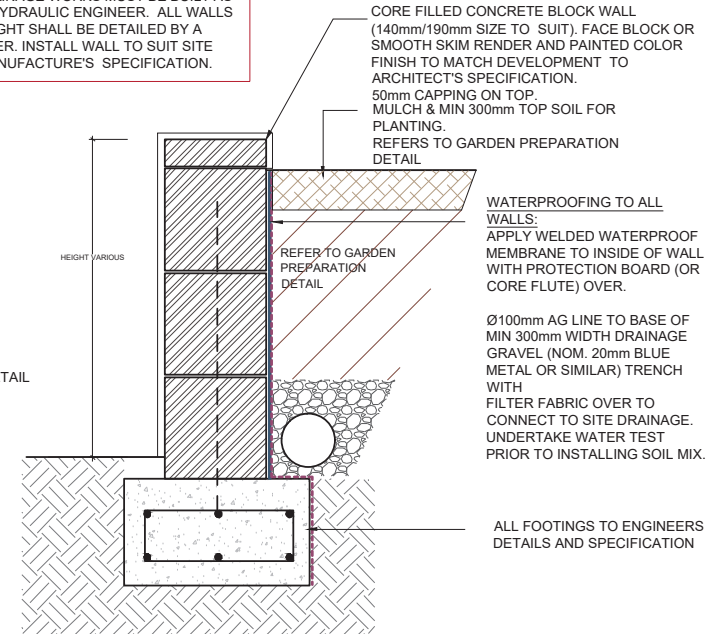
75mm DEPTH 'FOREST FINE' MULCH OR EQUIVALENT

SOIL MIX:

50% OF STOCKPILED SITE TOPSOIL FREE FROM ALL BUILDER'S RUBBISH AND DELETERIOUS MATERIALS. TOPSOIL TO BE MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ COMPOSTED ORGANIC MATTER - SEE SPEC. USE 100% IMPORTED SOIL MIX WHEN SITE TOPSOIL RUNS OUT.

TYPICAL GARDEN PREPARATION DETAIL

SCALE 1:10



TYPICAL MASONRY BLOCK RETAINING WALL

SCALE NTS

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AS SHOWN @ A3

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|----------|--|
| TITLE: | DETAILS |
| | PROPOSED RESIDENTIAL DEVELOPMENT 6 ORCHARD STREET WARRIEWOOD |
| DWG No: | LPDA 22 - 324/3 |
| DATE: | OCT 2022 |
| DRAWN: | C.D |
| CHECKED: | R.F |

