

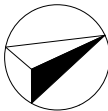
LOWER GROUND FLOOR PLAN

 northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**DA2023/0116**

TRUE NORTH:



NOTES (E & OE)

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- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

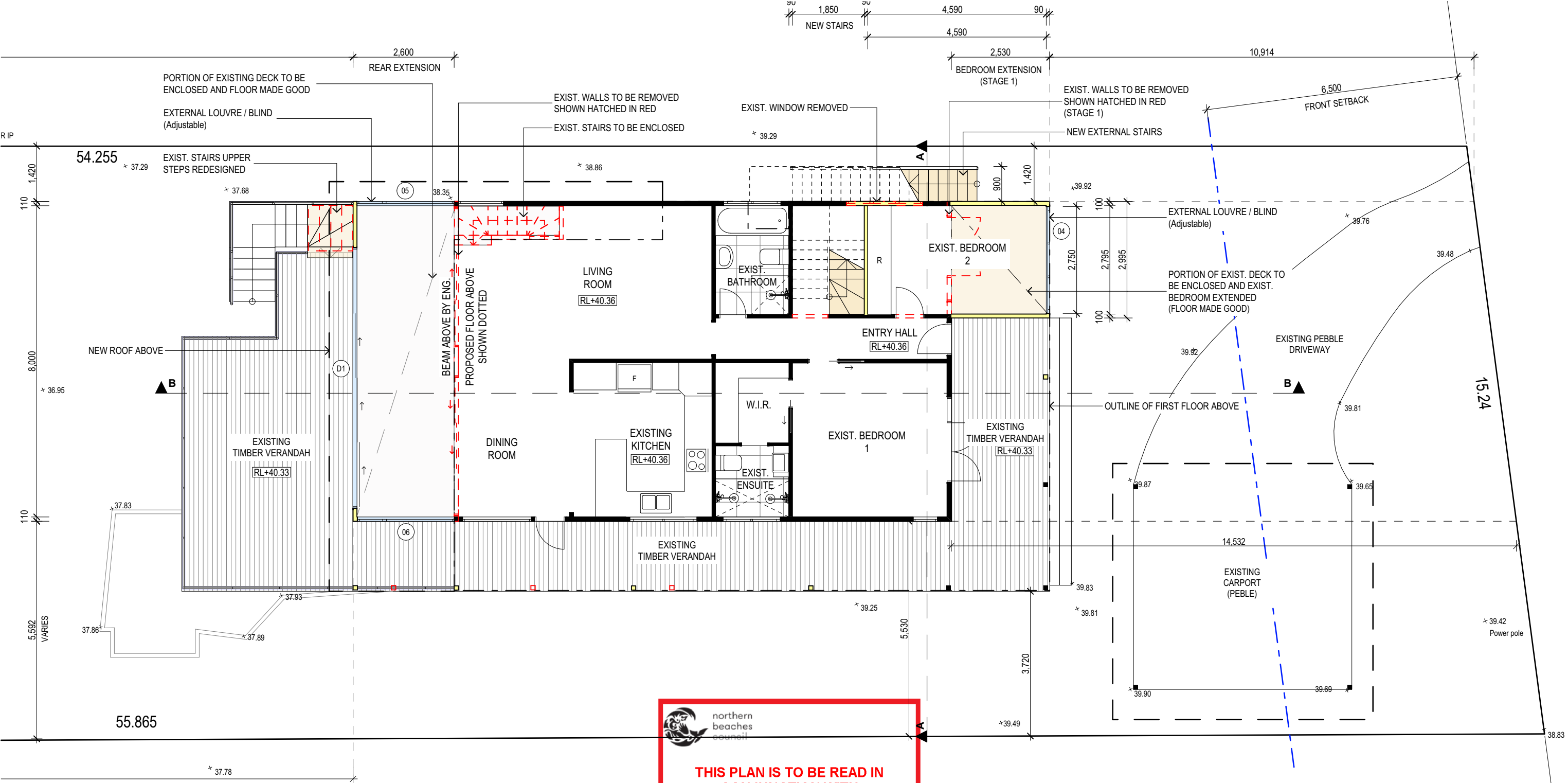
**JJ Drafting**  
*Australia P/L.*

26/90 Mona Vale Road, Mona Vale, NSW, 2103  
PO Box 687, Dee Why, NSW, 2099  
Mob. 0414 717 541 | Email. [jjdraft@tpg.com.au](mailto:jjdraft@tpg.com.au)  
[www.jjdrafting.com.au](http://www.jjdrafting.com.au)  
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B	01.10.21	PRELIM. DRAWINGS UPDATED
C	11.10.21	PRELIM. DRAWINGS UPDATED
D	17.08.22	DA DRAWINGS
E	30.09.22	DA DRAWINGS UPDATED
F	02.11.22	DA DRAWINGS UPDATED - SECTION BB
G	16.12.22	STORMWATER PLAN UPDATED
H	06.02.23	DA DRAWINGS UPDATED

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 23 Park Avenue - Avalon Beach NSW 2107
DRAWING TITLE: LOWER GROUND FLOOR PLAN

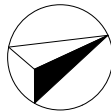
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PROPOSED GROUND FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m <sup>2</sup>
GROSS FLOOR AREA - NEW	135.60

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PROPOSED ALTERATIONS AND ADDITIONS  
23 Park Avenue - Avalon Beach NSW 2107

DRAWING TITLE:  
PROPOSED GROUND FLOOR PLAN

DATE:  
JULY/21

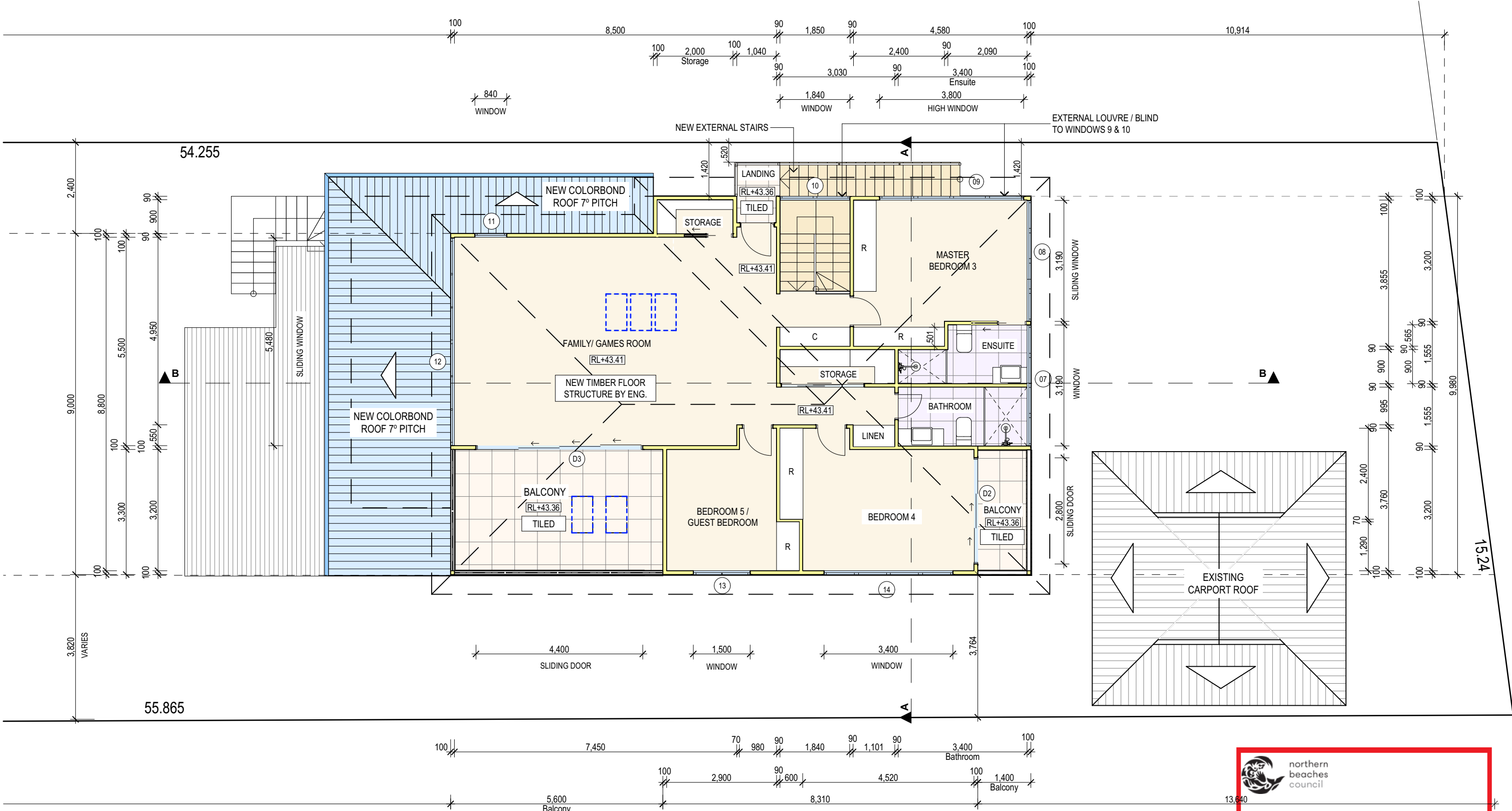
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SCALE:  
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**DA.07**



 **northern  
beaches  
council**

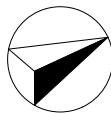
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**DA2023/0116**

PROPOSED FIRST FLOOR PLAN

GROSS FLOOR AREA - PROPOSED	m²
GROSS FLOOR AREA - NEW	116.30

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DRAWING TITLE: PROPOSED FIRST FLOOR PLAN

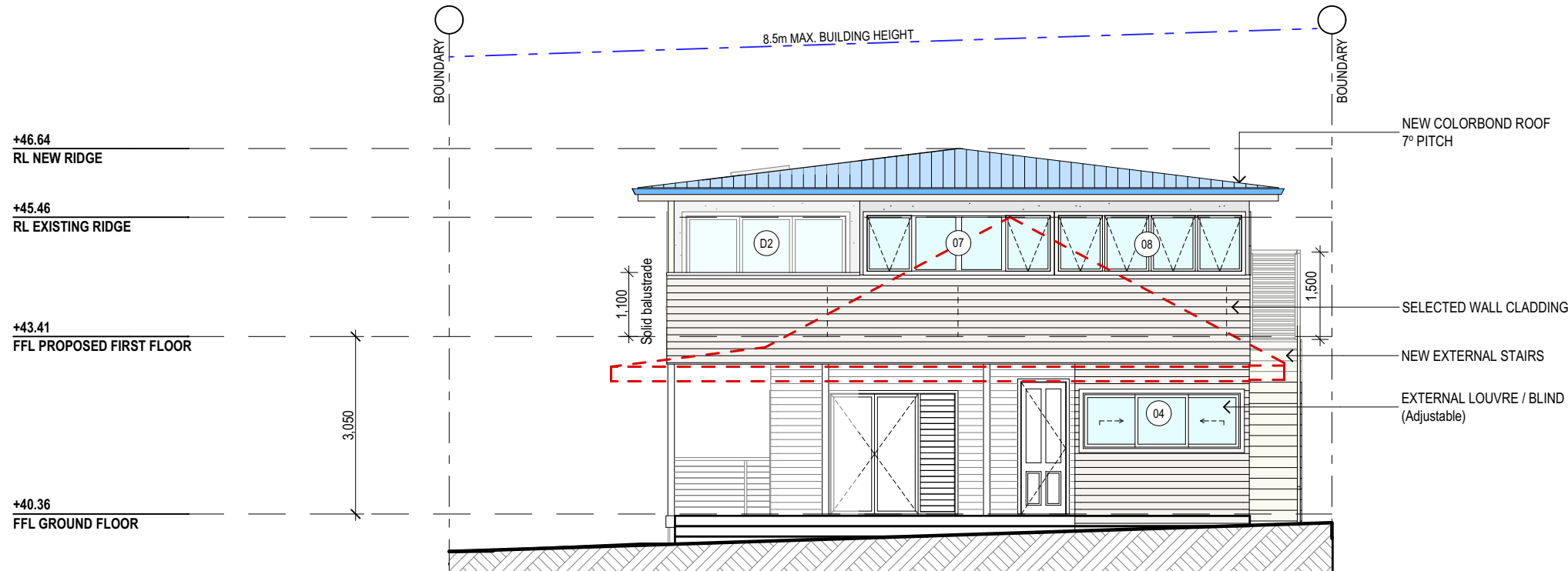
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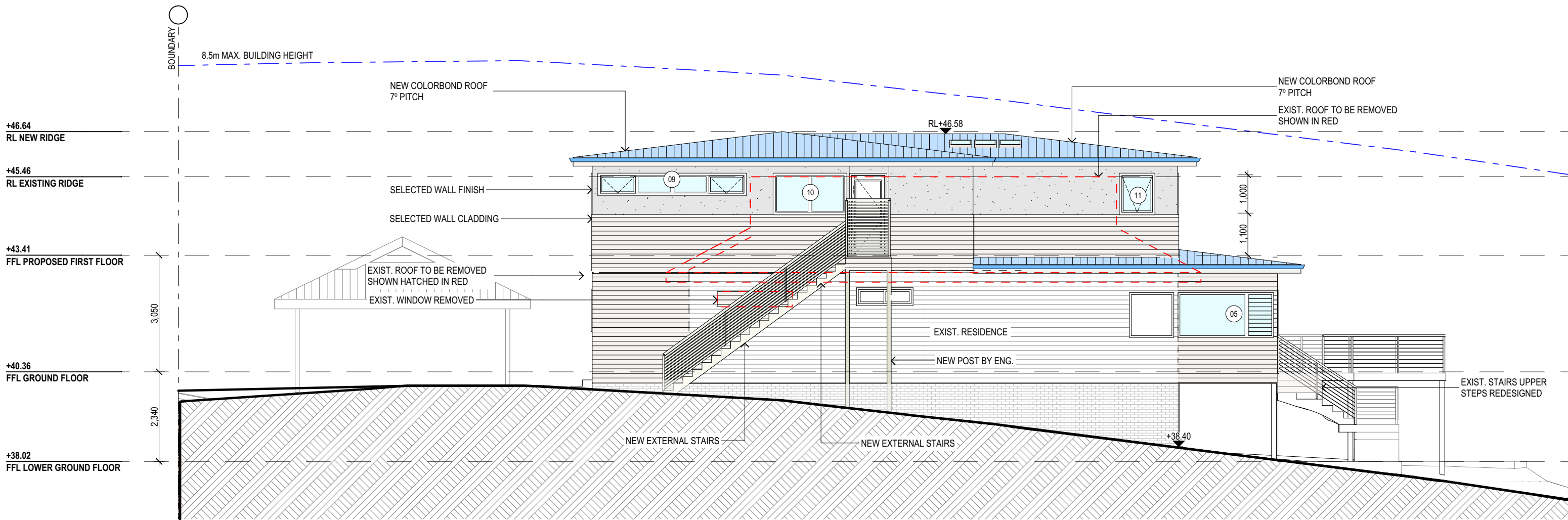
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DA2023/0116



NORTH EAST ELEVATION



NORTH WEST ELEVATION

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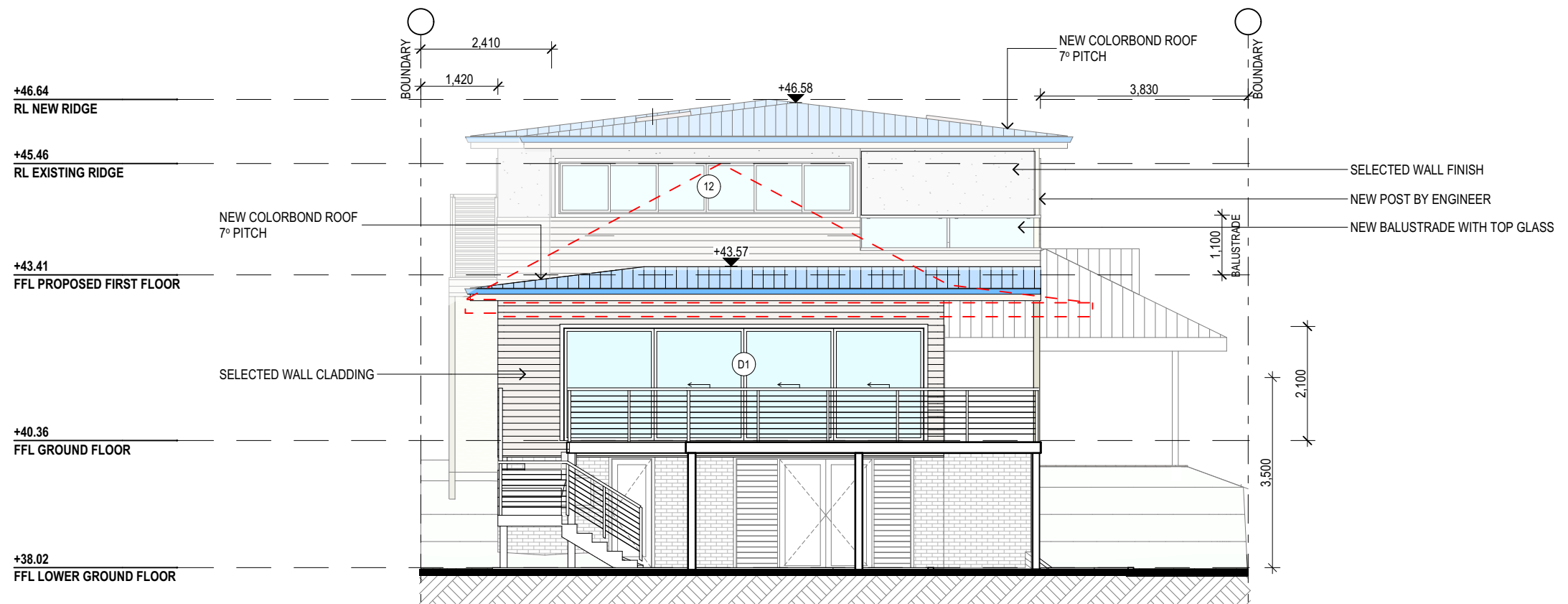
PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 23 Park Avenue - Avalon Beach NSW 2107
DRAWING TITLE: NORTH EAST AND NORTH WEST ELEVATIONS

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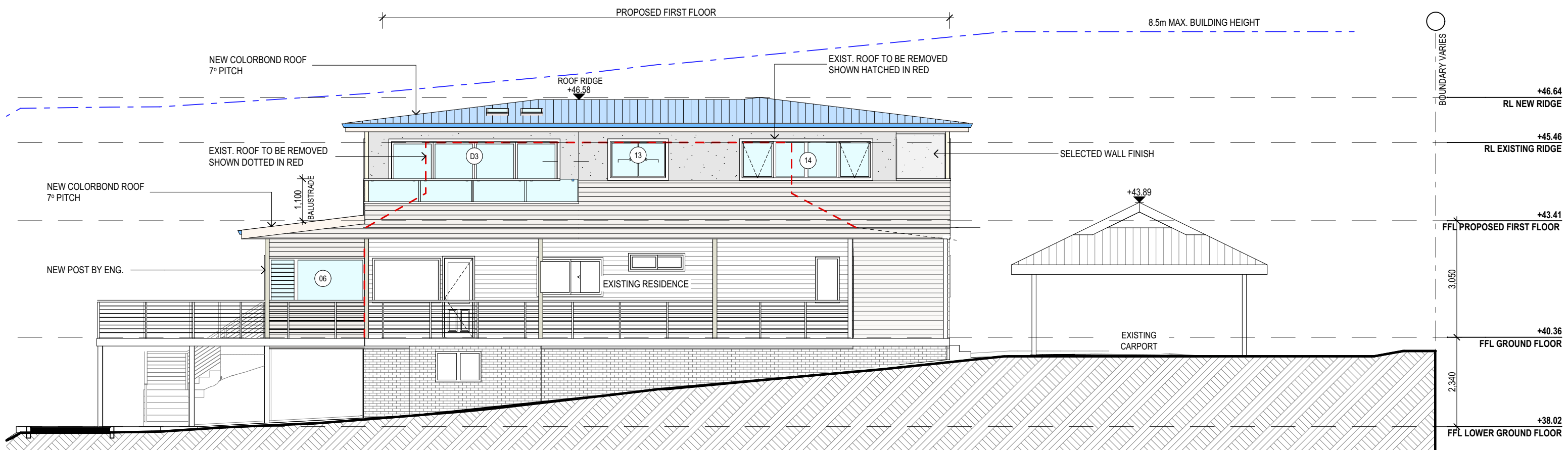




DA2023/0116



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

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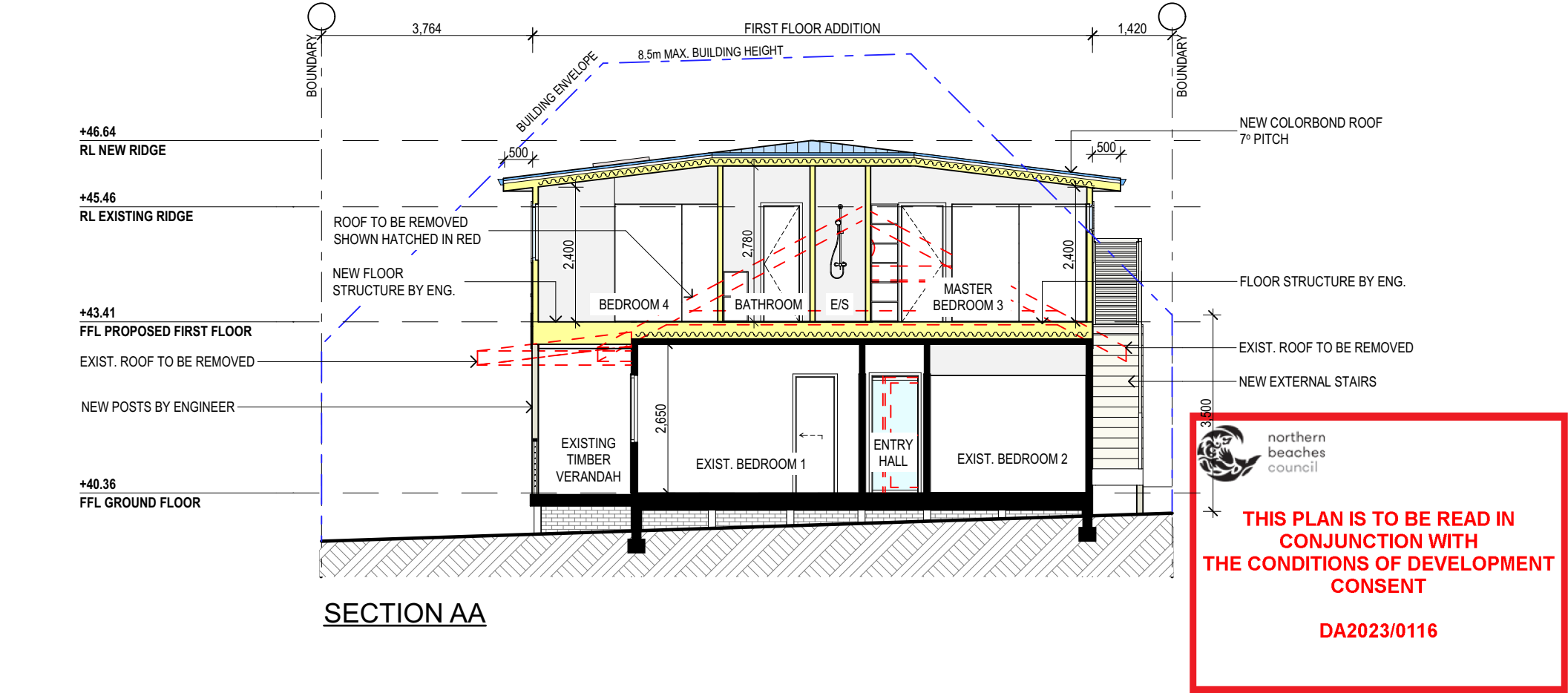
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DRAWING TITLE:  
SOUTH WEST AND SOUTH EAST ELEVATIONS

JOB No: 923/21

DRAWING No:

**DA.10**



<b>BASIX REQUIREMENT:</b> BASIX Inclusions for 23 PARK Avenue - Avalon Beach	
<b>LIGHTING REQUIREMENTS</b> 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS	
<b>WATER</b> - SHOWER RATING _____ MINIMUM 3 STAR - TAP RATING _____ MINIMUM 3 STAR - WC'S RATING _____ MINIMUM 3 STAR	
<b>INSULATION REQUIREMENTS</b>	
CONSTRUCTION	ADDITIONAL INSULATION REQUIREMENT (R-VALUE)
SUSPENDED FLOOR with ope subfloor: FRAMED (R0.7)	R 0.80 (down) (OR R 1.50 INCLUDING CONSTRUCTION)
FLOOR ABOVE EXISTING DWELLING OR BUILDING	NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R 1.30 (OR R 1.70 INCLUDING CONSTRUCTION)
RAKED CEILING, PITCHED/SKILLION ROOF:FRAMED	Ceiling: R2.24 (up), roof: foil backed blanket (55 mm)
<b>GLAZING DOORS / WINDOWS:</b> D1 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) D2 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) D3 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) W4 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) W5 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) W6 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) W7 - Standard aluminium, SINGLE PYROLYTIC LOW-E, (U-value: 5.7, SHGC: 0.47) W8 - Standard aluminium, SINGLE PYROLYTIC LOW-E, (U-value: 5.7, SHGC: 0.47) W9 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) W10 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) W11 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) W12 - Standard aluminium, SINGLE CLEAR, (U-value: 7.63, SHGC: 0.75) W13 - Standard aluminium, SINGLE PYROLYTIC LOW-E, (U-value: 5.7, SHGC: 0.47) W14 - Standard aluminium, SINGLE PYROLYTIC LOW-E, (U-value: 5.7, SHGC: 0.47) S1 - Timber, LOW-E internal/ argon FILL CLEAR EXTERNAL, (or U-value: 2.5, SHGC: 0.456) S2 - Timber, LOW-E internal/ argon FILL CLEAR EXTERNAL, (or U-value: 2.5, SHGC: 0.456) S3 - Timber, LOW-E internal/ argon FILL CLEAR EXTERNAL, (or U-value: 2.5, SHGC: 0.456) S4 - Timber, LOW-E internal/ argon FILL CLEAR EXTERNAL, (or U-value: 2.5, SHGC: 0.456) S5 - Timber, LOW-E internal/ argon FILL CLEAR EXTERNAL, (or U-value: 2.5, SHGC: 0.456)	

SPECIFICATION NOTES

- INTERNAL LINING**  
- PROVIDE PLASTERBOARD LINING.  
- INSTALL TO MANUFACTURERS SPECIFICATIONS & AS 2589
- EXTERNAL WALLS:**  
- LIGHTWEIGHT TIMBER CLADDING OR SIMILAR.
- FLOOR:**  
- TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.
- WET AREAS:**  
- ALL WATERPROOFING TO AS 3740  
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS
- BEARERS AND JOISTS:**  
- SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGTHWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.
- ANT CAPS:**  
- SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.
- PROFILED STEEL ROOF:**  
- NCC VOL.2 PART 3.5.1.  
- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.
- ROOFING:**  
- COLORBOND ROOF CLADDING
- CONCRETE:**  
- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

- FOOTINGS:**  
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.  
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5  
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.
- BRICK AND BLOCKWORK:**  
- CONSTRUCTION OF MASONRY BUILDINGS SHALL BE AS PER AS3700 OR AS4773.
- CARPENTRY:**  
- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.
- TIMBER FRAMING:**  
- TO COMPLY WITH NCC VOL.2 PART 3.4  
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.  
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.  
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.  
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.  
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.  
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.  
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684  
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684  
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.
- TERMITE CONTROL:**  
- TO BE IN ACCORDANCE WITH TO AS3660.1  
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.
- FLASHING AND CAPPINGS:**  
- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180  
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.  
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.
- LIGHTING:**  
- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS
- DOOR & WINDOWS:**  
- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.  
- ALUMINIUM FRAMED WINDOWS AND DOORS.  
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.
- STAIRS, HANDRAILS AND BALUSTRADES:**  
- NCC VOL.2 PARTS 3.9.1 AND 3.9.2  
- RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN AS1657.  
- BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.  
- THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.  
- THE HEIGHT OF BALUSTRADE TO THE NEW STAIR CASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.
- SLIP RESISTANCE:**  
- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.
- STORMWATER:**  
**EAVES GUTTERS, VALLEY GUTTERS AND DOWPIPES**  
- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.  
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE  
- COLORBOND GUTTERS AND DOWNPIPES  
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

- GLAZING:**  
- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6
- SMOKE DETECTORS/ALARMS:**  
- NCC VOL.2 PART 3.7.2. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.  
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.  
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.
- WASTE MANAGEMENT:**  
- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.
- SEDIMENT CONTROL:**  
- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.
- NOTE:**  
**ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.**

	<div>NOTES (E &amp; OE)</div> <div><ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards &amp; local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul></div>	<div><div>JJ Drafting</div><div>Australia P/L.</div><div>26/90 Mona Vale Road, Mona Vale, NSW, 2103</div><div>PO Box 687, Dee Why, NSW, 2099</div><div>Mob. 0414 717 541   Email. jjdraft@tpg.com.au</div><div>www.jjdrafting.com.au</div><div>ACN 651 693 346</div></div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>B</td><td>01.10.21</td><td>PRELIM. DRAWINGS UPDATED</td></tr><tr><td>C</td><td>11.10.21</td><td>PRELIM. DRAWINGS UPDATED</td></tr><tr><td>D</td><td>17.08.22</td><td>DA DRAWINGS</td></tr><tr><td>E</td><td>30.09.22</td><td>DA DRAWINGS UPDATED</td></tr><tr><td>F</td><td>02.11.22</td><td>DA DRAWINGS UPDATED - SECTION BB</td></tr><tr><td>G</td><td>16.12.22</td><td>STORMWATER PLAN UPDATED</td></tr><tr><td>H</td><td>06.02.23</td><td>DA DRAWINGS UPDATED</td></tr></table>	REV:	DATE:	DESCRIPTION:	B	01.10.21	PRELIM. DRAWINGS UPDATED	C	11.10.21	PRELIM. DRAWINGS UPDATED	D	17.08.22	DA DRAWINGS	E	30.09.22	DA DRAWINGS UPDATED	F	02.11.22	DA DRAWINGS UPDATED - SECTION BB	G	16.12.22	STORMWATER PLAN UPDATED	H	06.02.23	DA DRAWINGS UPDATED	<table><tr><td>PROJECT DETAILS:</td></tr><tr><td>PROPOSED ALTERATIONS AND ADDITIONS</td></tr><tr><td>23 Park Avenue - Avalon Beach NSW 2107</td></tr></table>	PROJECT DETAILS:	PROPOSED ALTERATIONS AND ADDITIONS	23 Park Avenue - Avalon Beach NSW 2107	<table><tr><td>DATE:</td></tr><tr><td>JULY/21</td></tr></table>	DATE:	JULY/21	<table><tr><td>DRAWN BY:</td></tr><tr><td>LB</td></tr></table>	DRAWN BY:	LB	<table><tr><td>SCALE:</td></tr><tr><td>1:100 @ A3</td></tr></table>	SCALE:	1:100 @ A3
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