

NICK KARAHALIOS - ARCHITECTURAL DRAFTING SERVICES

513 Bourke Street, Surry Hills, NSW 2010 - Email: nick@nkdrafting.com.au - Telephone: (02) 9360 5121 - Mobile: 0407 360512

PROPOSED ALTERATIONS AND ADDITIONS TO THE EXISTING DWELLING

52 INNES ROAD, MANLY VALE

DRAWING SCHEDULE

SHEET 01 - SITE PLAN AND SITE ANALYSIS PLAN
SHEET 02 - EXISTING PLAN GROUND AND FIRST FLOOR
SHEET 03 - DEMOLITION PLAN GROUND AND FIRST FLOOR FLOOR
SHEET 04 - PROPOSED PLAN GROUND AND FIRST FLOOR
SHEET 05 - SECTION A-A AND EAST ELEVATION
SHEET 06 - WEST, SOUTH, NORTH ELEVATIONS
SHEET 07 - LANDSCAPE AREA AND OPEN SPACE PLAN
SHEET 08 - EROSION AND SEDIMENT CONTROL PLAN
SHEET 09 - ROOF AND STORMWATER PLAN
SHEET 10 - BASIX COMMITMENTS

DEVELOPMENT APPLICATION PLAN
JUNE 2021

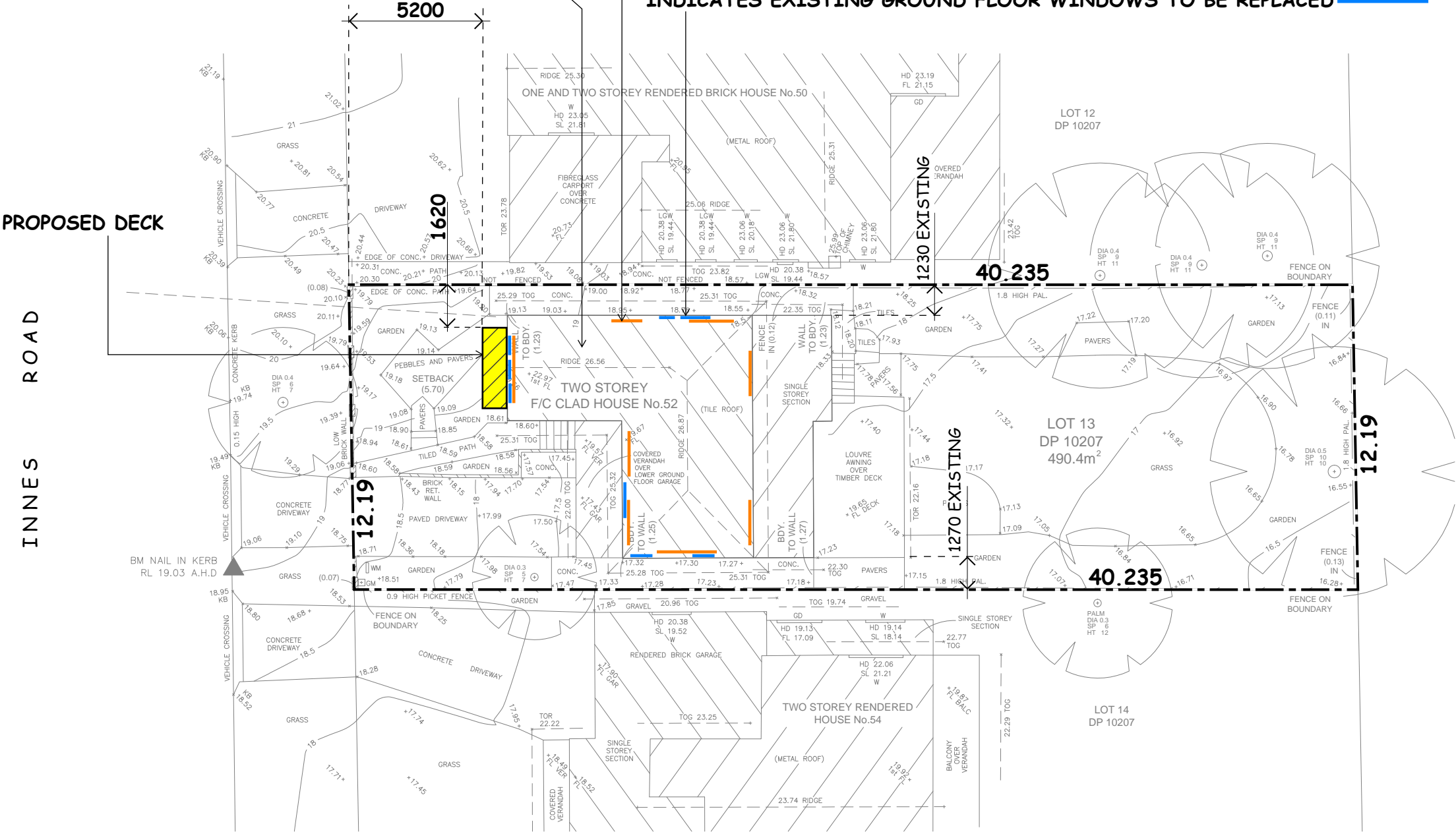


LOCATION PLAN

EXISTING ROOF TILES TO BE REMOVED AND REPLACED WITH NEW CORRUGATED COLORBOND METAL ROOF ROOF GUTTER AND DOWNPIPES TO BE UPGRADED

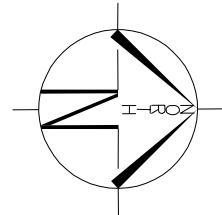
INDICATES EXISTING FIRST FLOOR WINDOWS TO BE REPLACED

INDICATES EXISTING GROUND FLOOR WINDOWS TO BE REPLACED



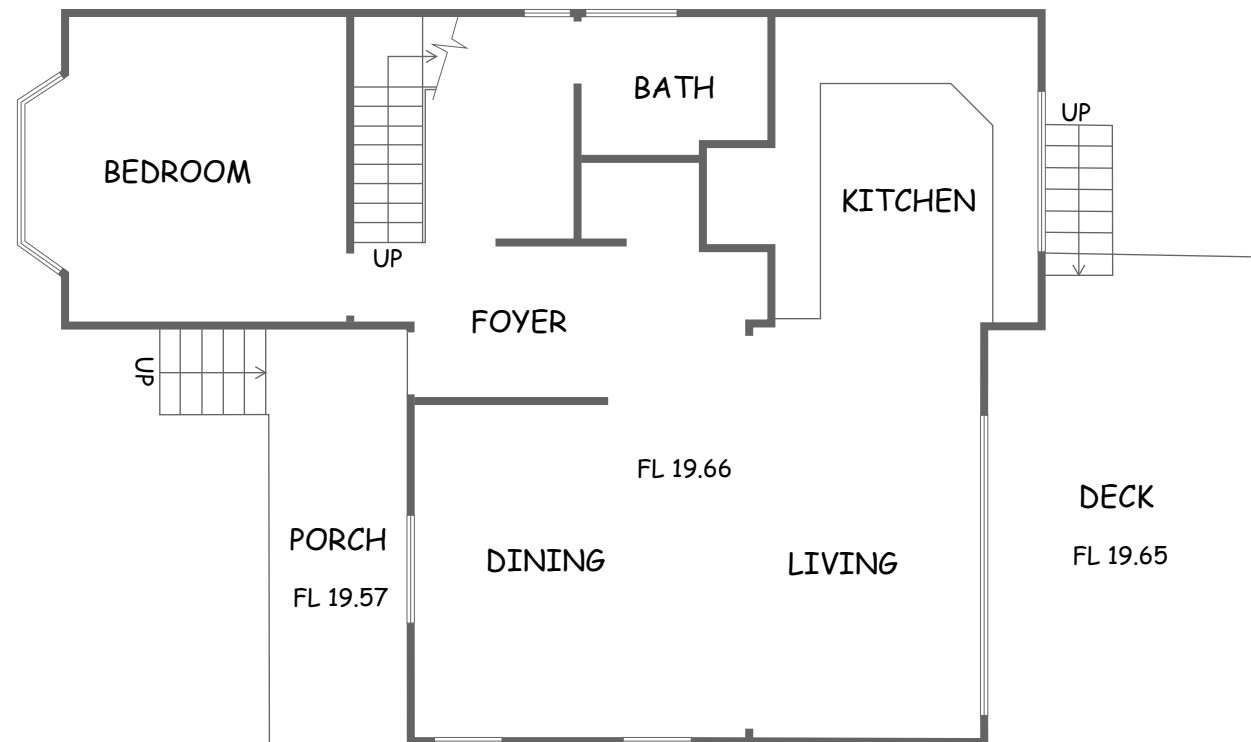
SITE PLAN AND SITE ANALYSIS PLAN

SCALE 1 : 200

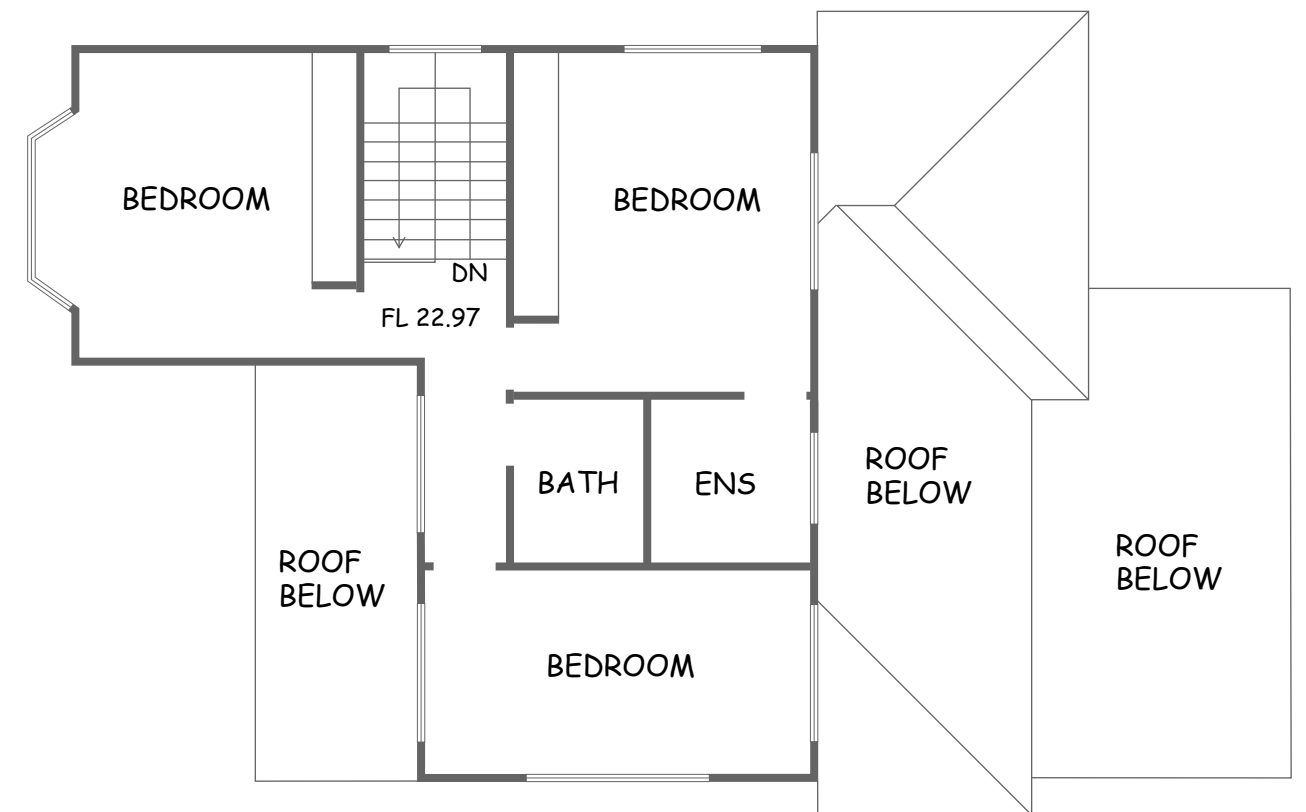


SCALE 1:200 @ A3

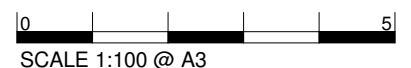
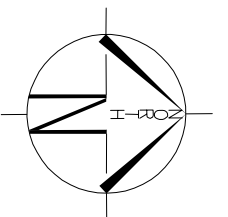
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|-------------|-------------------------|--|--------------------------------------|----------|---------|-----------|--|
| ISSUE | DESCRIPTION | | | | | | NICK KARAHALIOS ARCHITECTURAL DRAFTING SERVICES |
| A | DEVELOPMENT APPLICATION | | | | | | 513 BOURKE STREET, SURRY HILLS 2010 |
| | | | | | | | MOBILE - 0407 360512 |
| | | | | | | | EMAIL - nick@nkdrafting.com.au |
| | | LOCATION: 52 INNES ROAD, MANLY VALE | DATE | DRAWN BY | JOB No. | SHEET No. | NOTE: |
| | | | JUNE 2021 | NICK. K | 211699 | 01 | THIS DRAWING IS THE COPYRIGHT OF NICK KARAHALIOS ARCHITECTURAL DRAFTING SERVICES AND SHALL NOT BE REPRODUCED IN PART OR WHOLE WITHOUT THEIR WRITTEN APPROVAL |



EXISTING GROUND FLOOR PLAN
SCALE 1 : 100

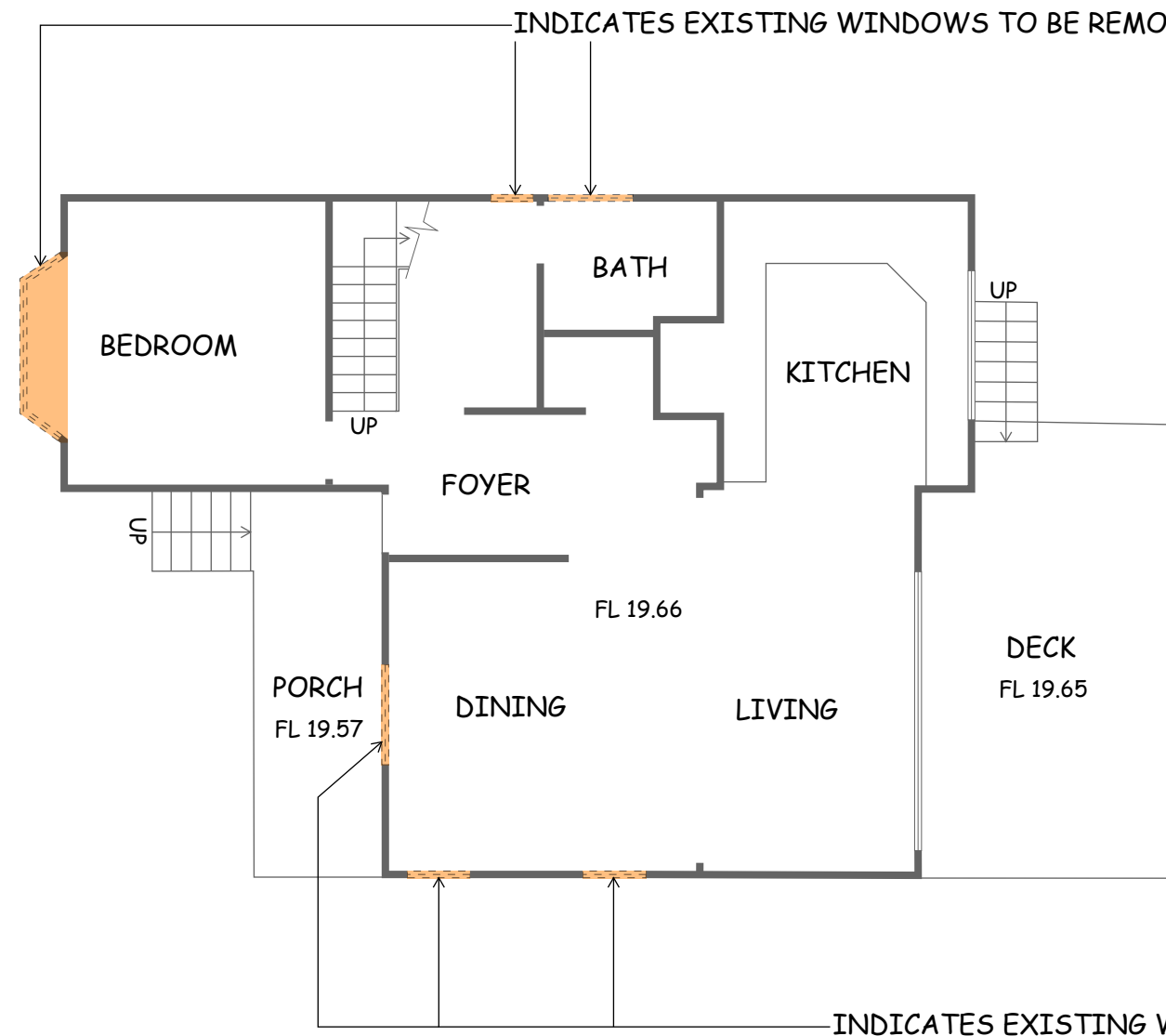


EXISTING FIRST FLOOR PLAN
SCALE 1 : 100



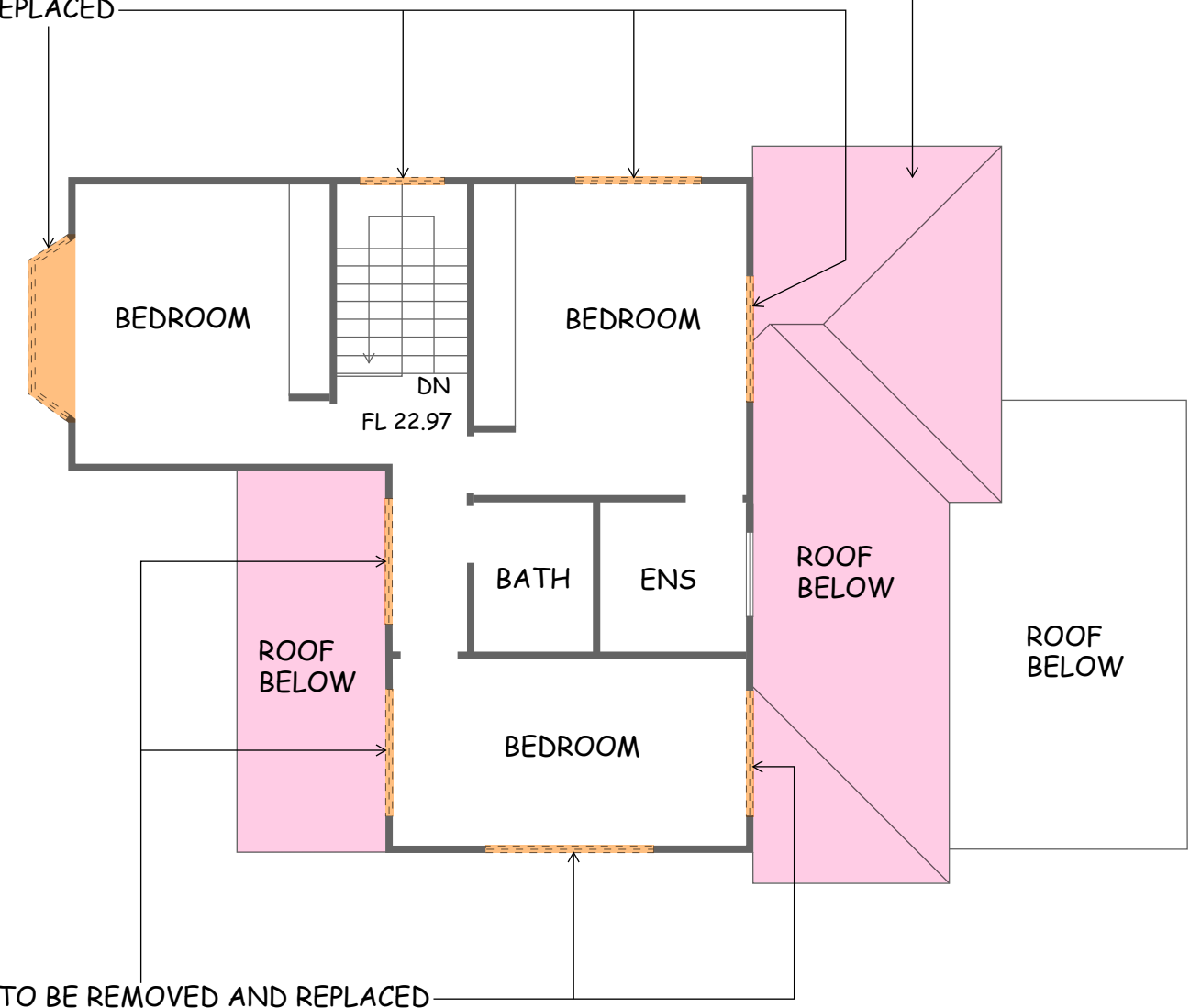
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| | | | | | | | |

INDICATES EXISTING ROOF TILES TO BE REMOVED AND REPLACED WITH NEW CORRUGATED COLORBOND METAL ROOF EXISTING ROOF GUTTERS AND DOWNPIPES TO BE UPGRADED



GROUND FLOOR DEMOLITION PLAN

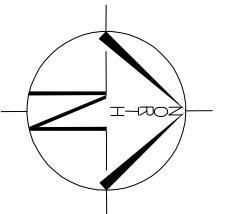
SCALE 1 : 100



FIRST FLOOR DEMOLITION PLAN

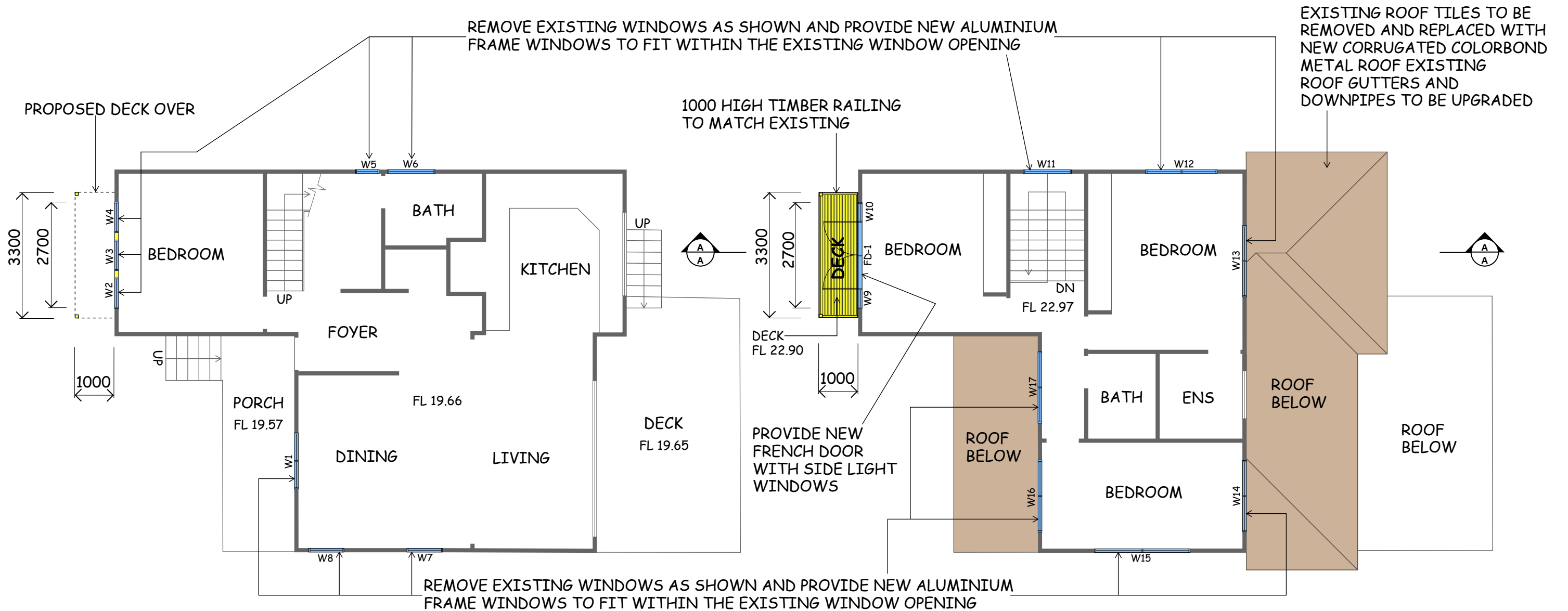
SCALE 1 : 100

ALL DEMOLITION WORK IS TO
COMPLY WITH AS2601 - 2001



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SCALE 1:100 @ A3

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PROPOSED GROUND FLOOR PLAN

SCALE 1 : 100

WINDOW AND DOOR SCHEDULE

| WINDOW No. | WIDTH | HEIGHT | NOTES |
|------------|-------|--------|-------------------|
| W.1 | 1400 | 1300 | |
| W.2 | 780 | 1800 | |
| W.3 | 780 | 1800 | |
| W.4 | 780 | 1800 | |
| W.5 | 600 | 1200 | TRANSLUCENT GLASS |
| W.6 | 1200 | 740 | TRANSLUCENT GLASS |
| W.7 | 880 | 1300 | |
| W.8 | 880 | 1300 | |
| W.9 | 600 | 1800 | |
| W.10 | 600 | 1800 | |
| W.11 | 1200 | 2100 | TRANSLUCENT GLASS |
| W.12 | 1810 | 600 | |
| W.13 | 1810 | 1200 | |
| W.14 | 1810 | 1200 | |
| W.15 | 2420 | 1200 | |
| W.16 | 1810 | 1200 | |
| W.17 | 1810 | 1200 | |
| FD.1 | 1500 | 2150 | |

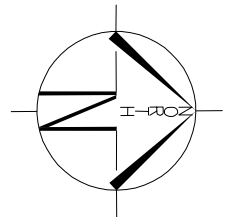
ALL WINDOWS TO FIT WITHIN THE EXISTING WINDOW OPENING BUILDER IS TO CHECK AND CONFIRM ALL WINDOW SIZES ON SITE

PROPOSED FIRST FLOOR PLAN

SCALE 1 : 100

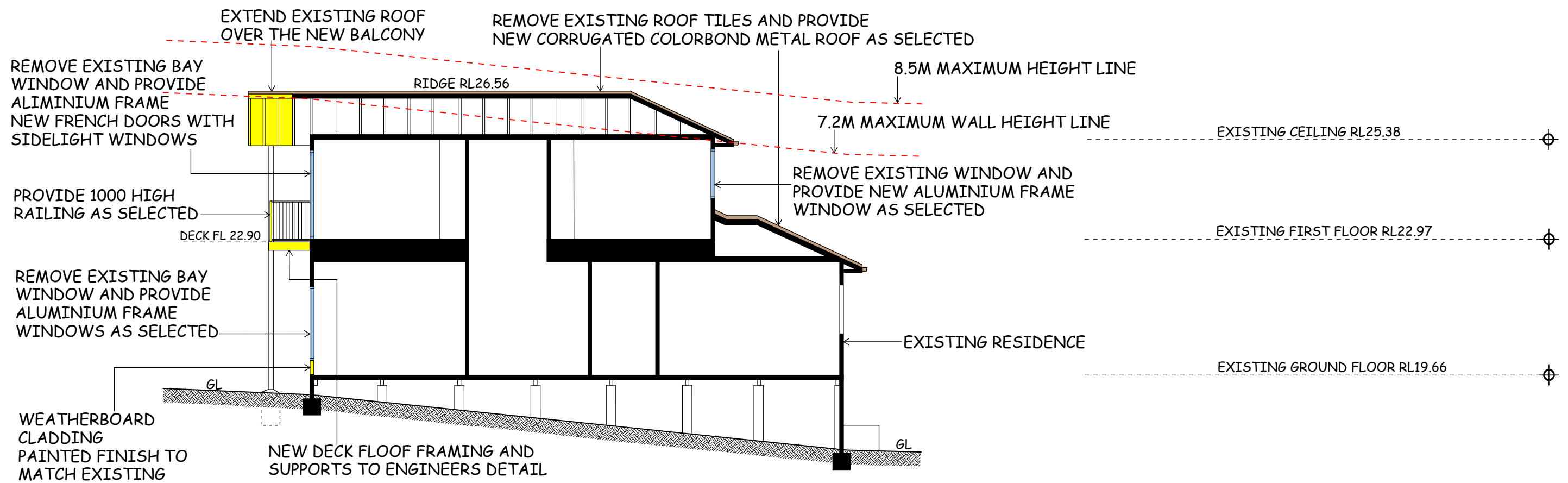
NOTE:
ALL DIMENTIONS AND LEVELS
TO BE CONFIRMED ON-SITE

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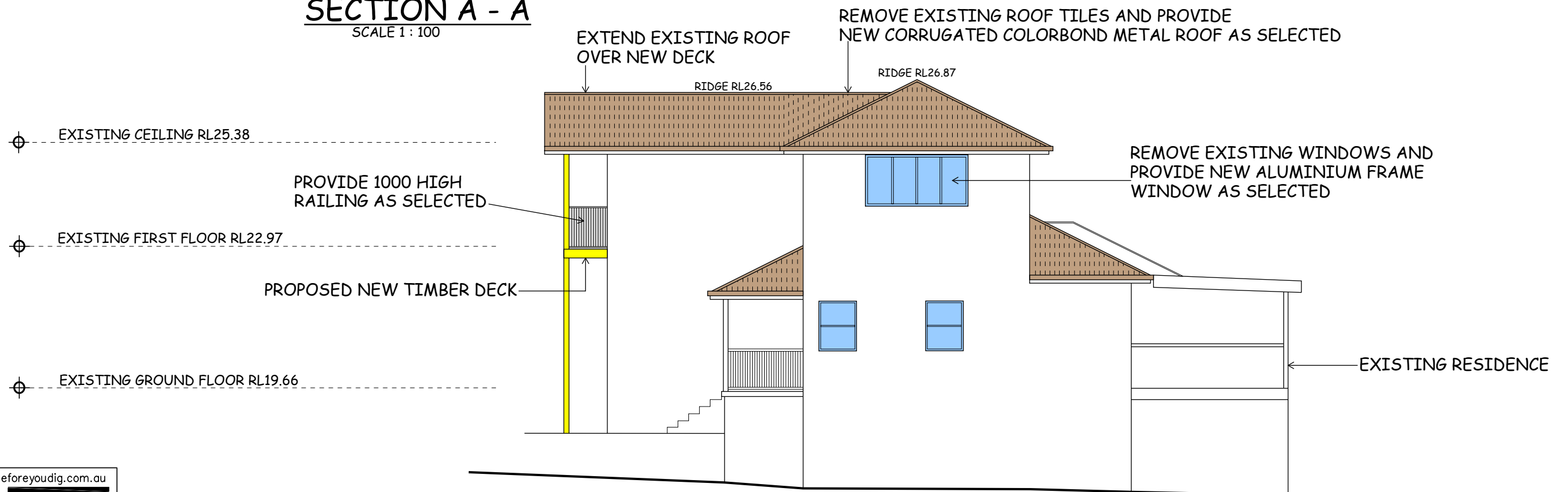


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SCALE 1:100 @ A3

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SECTION A - A
SCALE 1 : 100

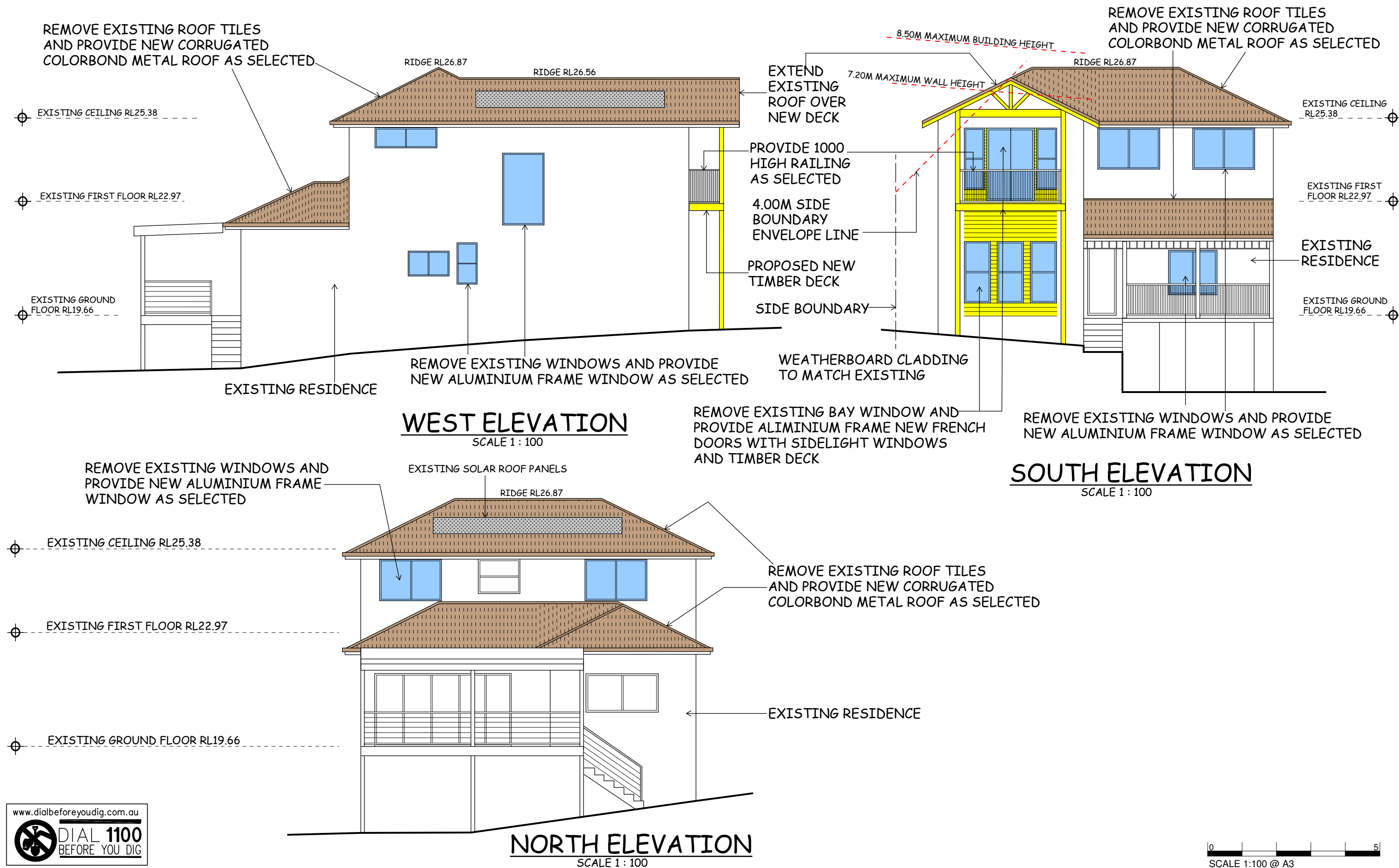


EAST ELEVATION
SCALE 1 : 100

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SCALE 1:100 @ A3

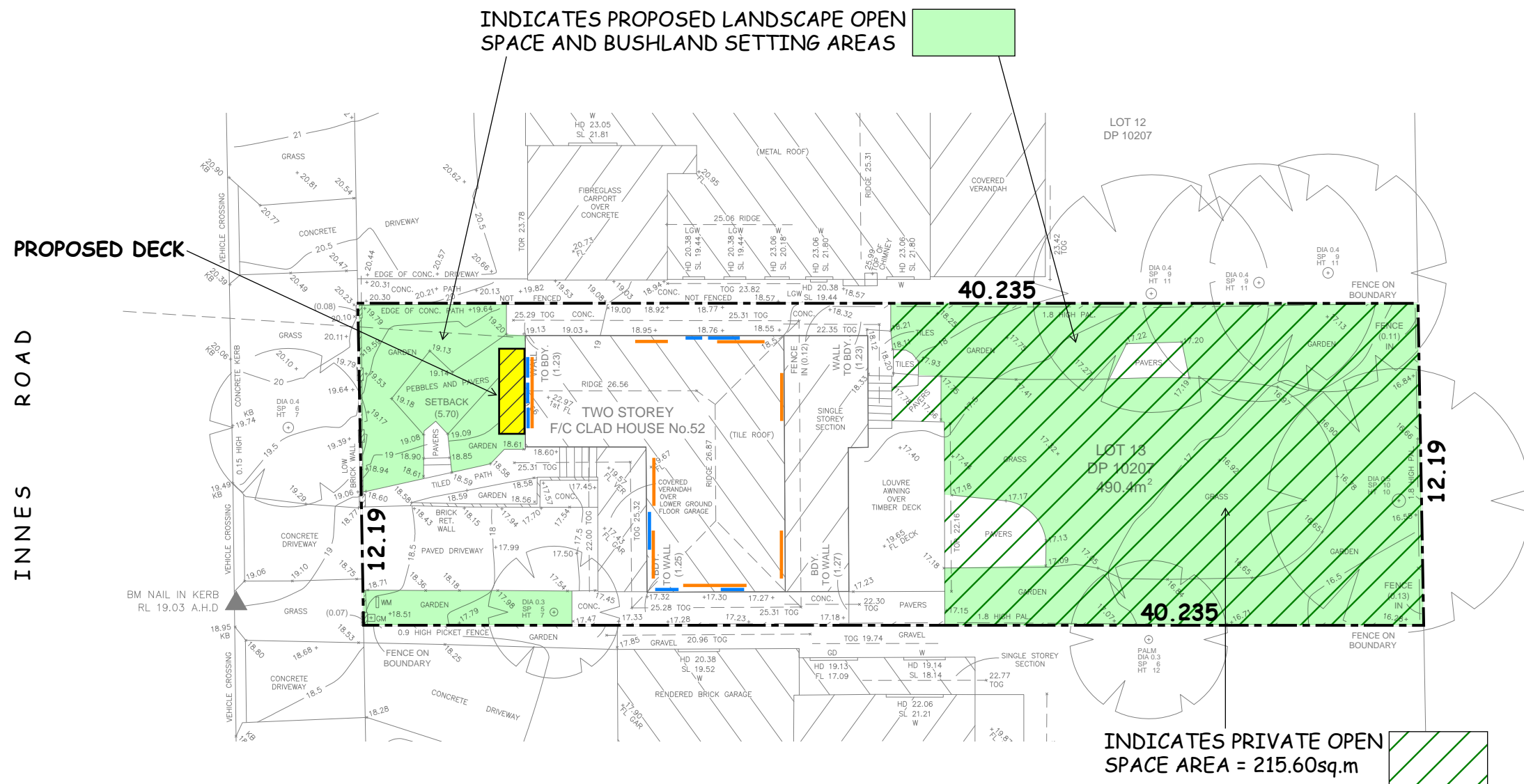


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SCALE 1:100 @ A3

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LANDSCAPE OPEN SPACE AND PRIVATE OPEN SPACE CALCULATION PLAN

SCALE 1 : 200

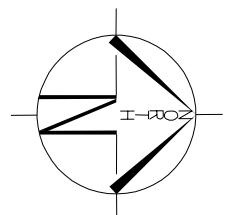
CALCULATIONS

SITE AREA = 490.40sq.m

MINIMUM REQUIRED LANDSCAPED OPEN SPACE AND BUSHLAND SETTING
40% OF SITE AREA = 196.16sq.m

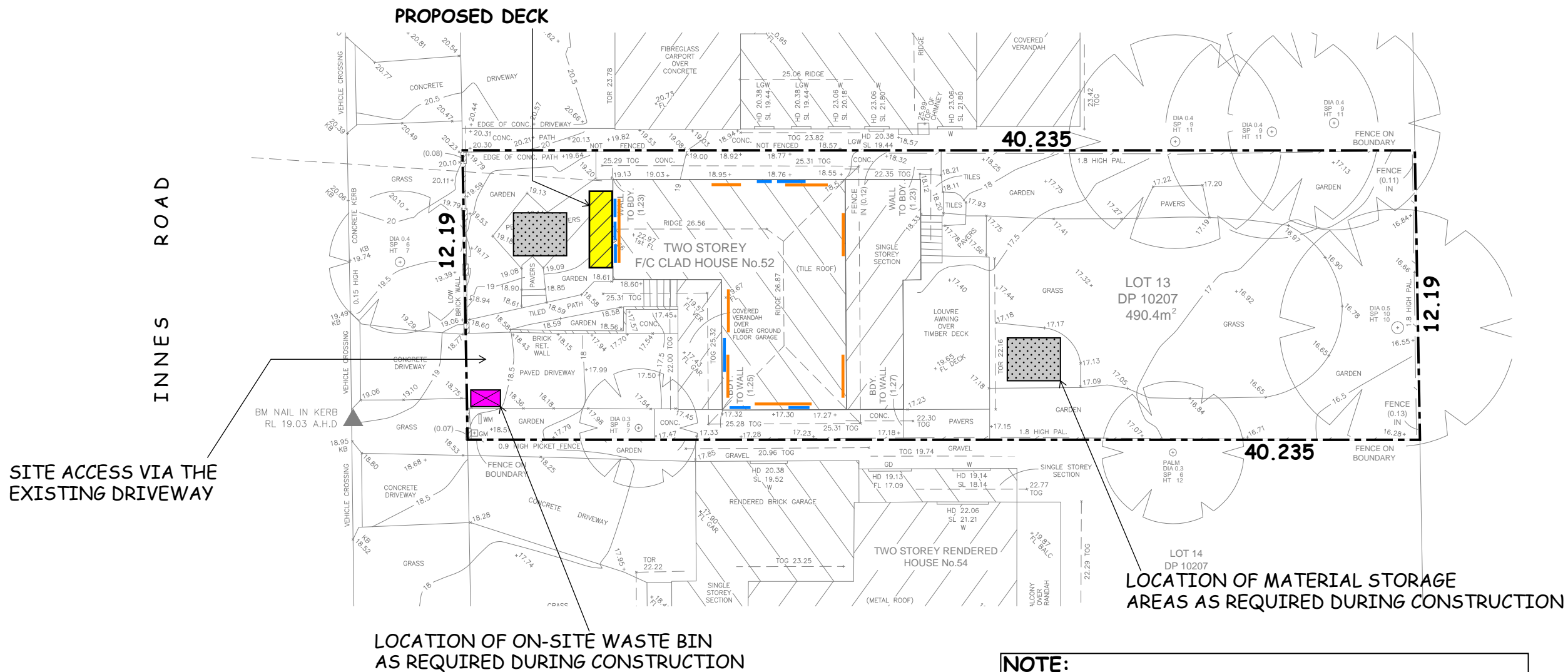
PROPOSED LANDSCAPED OPEN SPACE AND BUSHLAND SETTING = 244.60sq.m = 49.87%

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SCALE 1:200 @ A3

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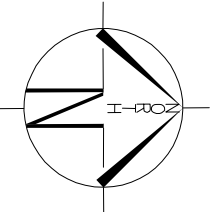


EROSION AND SEDIMENT CONTROL PLAN

SCALE 1 : 200



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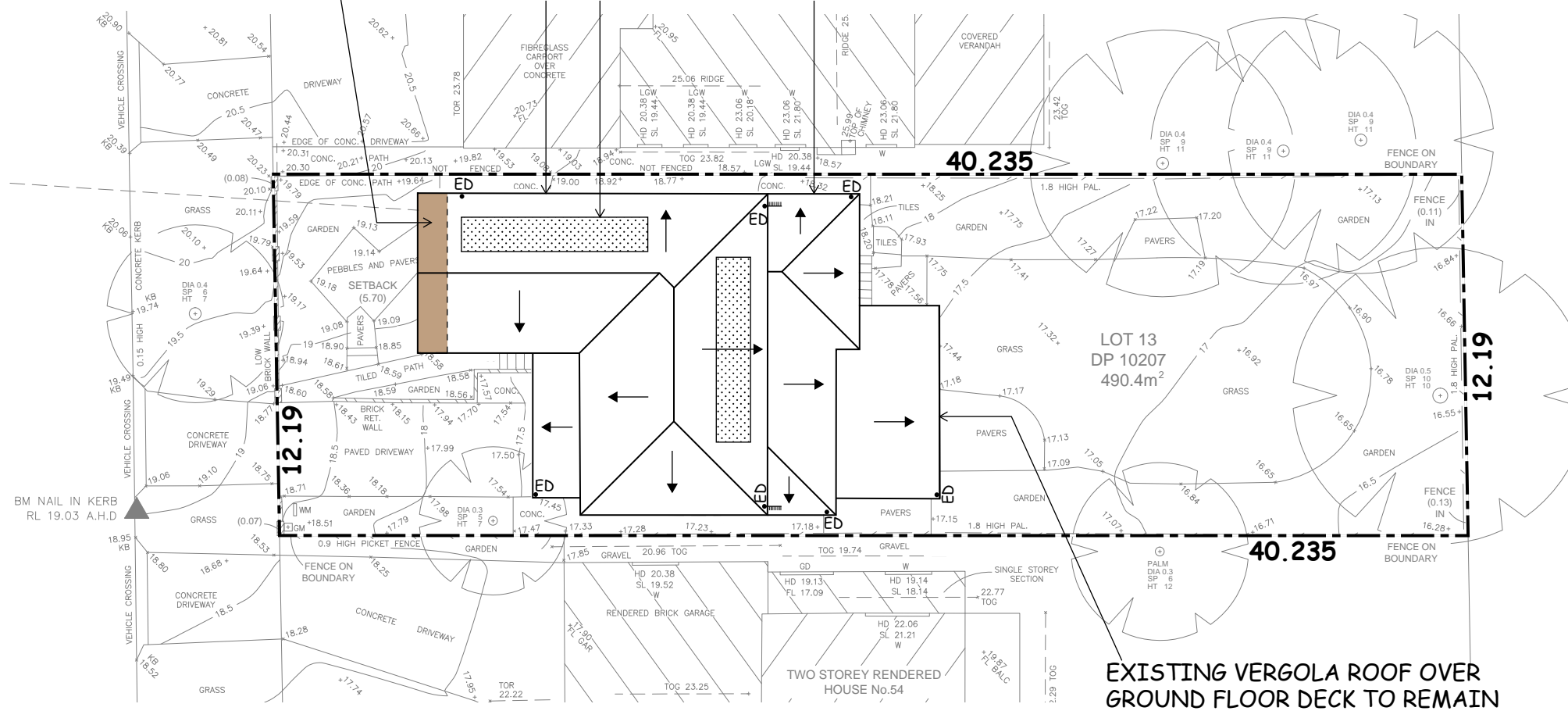


SCALE 1:200 @ A3

INNES ROAD

ADDITIONAL 5sq.m OR ROOF
AREA OVER NEW DECK

EXISTING ROOF TILES TO BE REMOVED AND
REPLACE WITH NEW CORRUGATED COLORBOND METAL DECK
ROOF EXISTING SOLAR ROOF PANELS TO BE REINSTATED



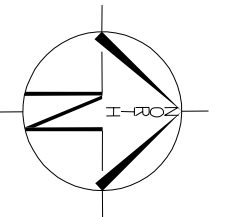
NOTE:
ALL NEW WORKS TO BE IN ACCORDANCE
WITH AS3500-2003 NATIONAL PLUMBING
DRAINAGE CODE PART 3 - STORMWATER

PLAN LEGEND:
ED - DENOTES EXISTING DOWNPIPE
INDICATES ROOF FALL

NOTE:
THE EXISTING STORMWATER SYSTEM IS TO
REMAIN THE DRAINAGE CONTRACTOR IS TO
ENSURE THE EXISTING STORMWATER SYSTEM
IS CLEAR OF BLOCKAGES AND IN GOOD WORKING
ORDER OR REPLACE/REPAIR AS REQUIRED

ROOF AND STORMWATER PLAN

SCALE 1 : 200



SCALE 1:200 @ A3

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BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A420280

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 15, June 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.

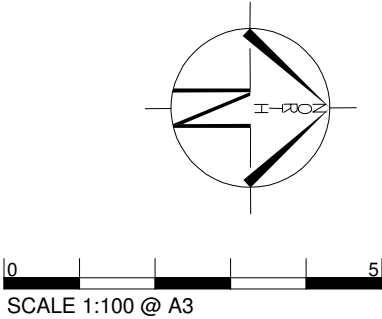


Description of project

| Project address | |
|---------------------------------|---|
| Project name | CAMBOURNE |
| Street address | 52 Innes Road Manly Vale 2093 |
| Local Government Area | Northern Beaches Council |
| Plan type and number | Deposited Plan 10207 |
| Lot number | 13 |
| Section number | |
| Project type | |
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |

Windows and glazed doors glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|---------------|--------------|---|---|
| | | | Height (m) | Distance (m) | | |
| W1 | S | 1.82 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W2 | S | 1.4 | 0 | 0 | projection/height above sill ratio >=0.43 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W3 | S | 1.4 | 0 | 0 | projection/height above sill ratio >=0.43 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W4 | S | 1.4 | 0 | 0 | projection/height above sill ratio >=0.43 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W5 | W | 72 | 0 | 0 | external louvre/blind (adjustable) | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W6 | W | 88 | 0 | 0 | external louvre/blind (adjustable) | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W7 | E | 1.14 | 0 | 0 | external louvre/blind (adjustable) | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W8 | E | 1.14 | 0 | 0 | external louvre/blind (adjustable) | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W9 | S | 1.08 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W10 | S | 1.08 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W11 | W | 2.52 | 0 | 0 | projection/height above sill ratio >=0.43 | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W12 | W | 1.08 | 0 | 0 | eave/verandah/ pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W13 | N | 2.17 | 0 | 0 | eave/verandah/ pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W14 | N | 2.17 | 0 | 0 | eave/verandah/ pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W15 | E | 2.9 | 0 | 0 | eave/verandah/ pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W16 | S | 2.17 | 0 | 0 | eave/verandah/ pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W17 | S | 2.17 | 0 | 0 | eave/verandah/ pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| FD1 | S | 3.22 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |



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