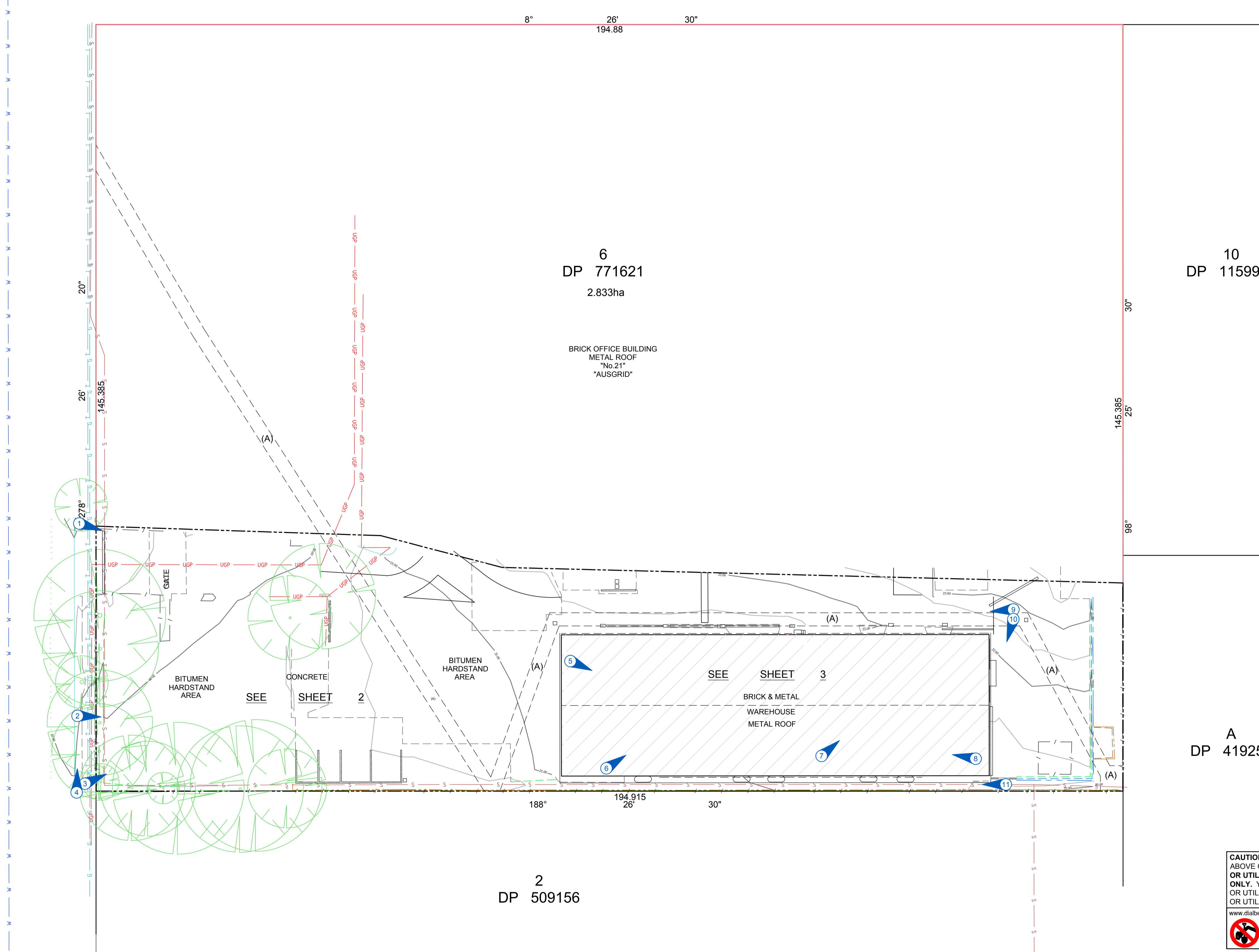


DYMPNA STREET

MGA

ROAD

MIDDLETON



LEGEND:	
	Subject Boundary
	Easement Boundary
	Fence
	UGP
	W
	S
	T
	G
	Stormwater Pipe
	Top of Kerb
	Lip of Kerb
	Crown of Road Formation
	Edge of Bitumen
	Edge of Concrete
	Top of Retaining Wall
	Bottom of Retaining Wall
	Invert of Table Drain
	Top of Table Drain
	Linemark
	Power Pole
	Power Box
	Light Pole
	Tap
	Sewer Maintenance Hole
	Sewer Inspection Opening
	Telecommunications Pit
	Photo Aspect
	Gutter Level
	Ridge Level
	Floor Level
	Tree

(A) EASEMENT TO DRAIN WATER 4.83 AND 2.5 WIDE (VIDE DP 771621)

A
DP 419256

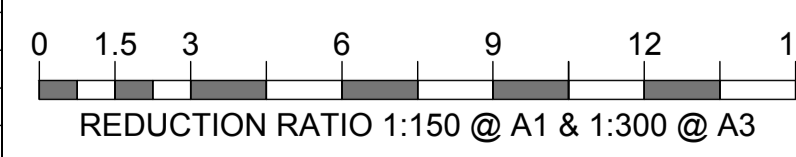
NOTE
INDICATIVE OUTLINE OF HARDSTAND AREA (FOR LICENSE)
(AS DETERMINED BY ARIAL PHOTO PDF - COLLIER'S
INTERNATIONAL) DENOTED THUS

CAUTION: ONLY CLEARLY VISIBLE SERVICES OR UTILITY STRUCTURES, ON OR ABOVE GROUND LEVEL, HAVE BEEN SURVEYED. THE LOCATION OF ALL SERVICES OR UTILITY LINES/STRUCTURES SHOWN IN THIS DIAGRAM ARE APPROXIMATE ONLY. YOU ARE ADVISED TO SEEK INFORMATION FROM THE RELEVANT SERVICE OR UTILITY AUTHORITY FOR ALL DETAILS OF DEPTH AND/OR LOCATION OF SERVICE OR UTILITY LINES/ STRUCTURES WHICH SUPPLY THE SUBJECT PROPERTY. THE SURVEY INFORMATION SHOWN IS FOR THE SPECIFIC PURPOSE AS INSTRUCTED BY THE CLIENT ONLY. IT SHOULD NOT BE USED FOR ANY OTHER PURPOSE WITHOUT PERMISSION OF INTRAX.

DIAL 1100 BEFORE YOU DIG

J. Clarke
11/12/2020
AUTHORISED OFFICER
THIS PLAN TO BE READ IN CONJUNCTION WITH INTRAX REPORT WITH REFERENCE: S#155986
155986_SUR_DE_21 MIDDLETON ROAD CROMER

REV	REVISION DETAILS	DATE



CLIENT: COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No. 6	CONTOUR INTERVAL: 0.5m
REF: S#155986	SECTION -	DATUM: AHD
SURVEY FILE: 155986_JC_201201_DE	PLAN No. DP 771621	AUSTRALIAN HEIGHT DATUM
SURVEYED BY: J CLEASBY	SUBURB CROMER	ORIGIN OF LEVELS: SSM 10941
DATE OF SURVEY: 01/12/20	LGA NORTHERN BEACHES	R.L.: 18.581
DRAWN BY: E LAZZARINI	PARISH MANLY COVE	
CHECKED BY: J CLARKE	COUNTY CUMBERLAND	



PLAN SHOWING LEVELS, FEATURES & CONTOURS FOR PART OF LOT 6 IN DP 771621 "No.21" MIDDLETON ROAD, CROMER

SHEET No. 1
No. of SHEETS: 6
REFERENCE No: S#155986
REV: -

LEGEND:

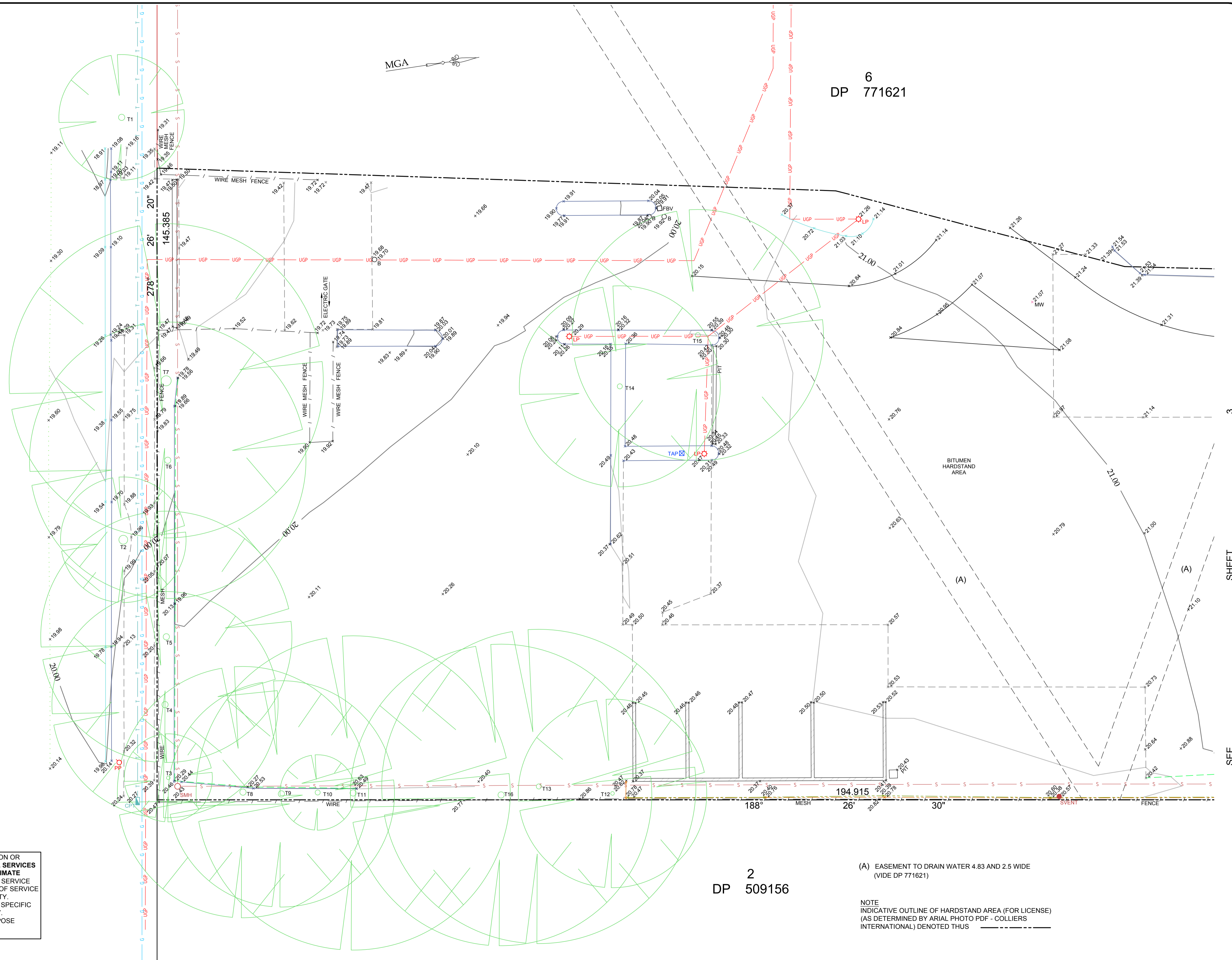
- Subject Boundary
- Easement Boundary
- Fence
- UGP
- UGP
- W
- W
- S
- S
- T
- T
- G
- G
- Stormwater Pipe
- Top of Kerb
- Lip of Kerb
- Crown of Road Formation
- Edge of Bitumen
- Edge of Concrete
- Top of Retaining Wall
- Bottom of Retaining Wall
- Invert of Table Drain
- Top of Table Drain
- Linemark
- Q PP Power Pole
- PB Power Box
- LP Light Pole
- TAP Tap
- SMH Sewer Maintenance Hole
- SIO Sewer Inspection Opening
- CPT Telecommunications Pit
- G19.53+ Gutter Level
- R20.82+ Ridge Level
- FL17.15+ Floor Level
- B Bollard
- FBV Fire Booster Valve
- MW Monitoring Well
- T10 Tree

TREE SCHEDULE			
NO.	DIAMETER	SPREAD	HEIGHT
T1	0.5	10	12
T2	0.7	10	12
T3	0.3	7	8
T4	0.5	18	20
T5	0.5	20	20
T6	0.5	22	20
T7	0.8	25	20
T8	0.5	20	20
T9	0.5	18	22
T10	0.4	6	18
T11	0.5	25	25
T12	0.3	15	20
T13	0.4	25	22
T14	0.4	16	15
T15	0.4	20	20
T16	0.5	24	25

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MIDDLETON ROAD



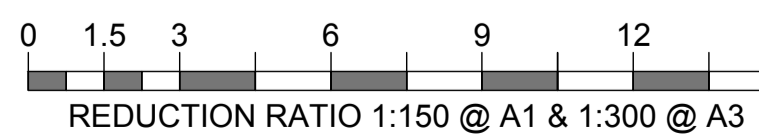
6
DP 771621

2
DP 509156

(A) EASEMENT TO DRAIN WATER 4.83 AND 2.5 WIDE (WIDE DP 771621)

NOTE INDICATIVE OUTLINE OF HARDSTAND AREA (FOR LICENSE) (AS DETERMINED BY ARIAL PHOTO PDF - COLLIERIES INTERNATIONAL) DENOTED THUS

REV	REVISION DETAILS	DATE
1	11/12/2020	



CLIENT:	COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No.	6
REF:	S#155986	SECTION	-
SURVEYED BY:	J CLEASBY	PLAN No.	DP 771621
DRAWN BY:	E LAZZARINI	SUBURB	CROMER
CHECKED BY:	J CLARKE	LGA	NORTHERN BEACHES
		PARISH	MANLY COVE
		COUNTY	CUMBERLAND

CONTOUR INTERVAL:	0.5m
DATUM:	AHD
AUSTRALIAN HEIGHT DATUM	
ORIGIN OF LEVELS:	SSM 10941
R.L.:	18.581



PLAN SHOWING LEVELS, FEATURES & CONTOURS FOR PART OF LOT 6 IN DP 771621 "No.21" MIDDLETON ROAD, CROMER

SHEET No.	2
No. of SHEETS:	6
REFERENCE No.:	S#155986
REV:	-

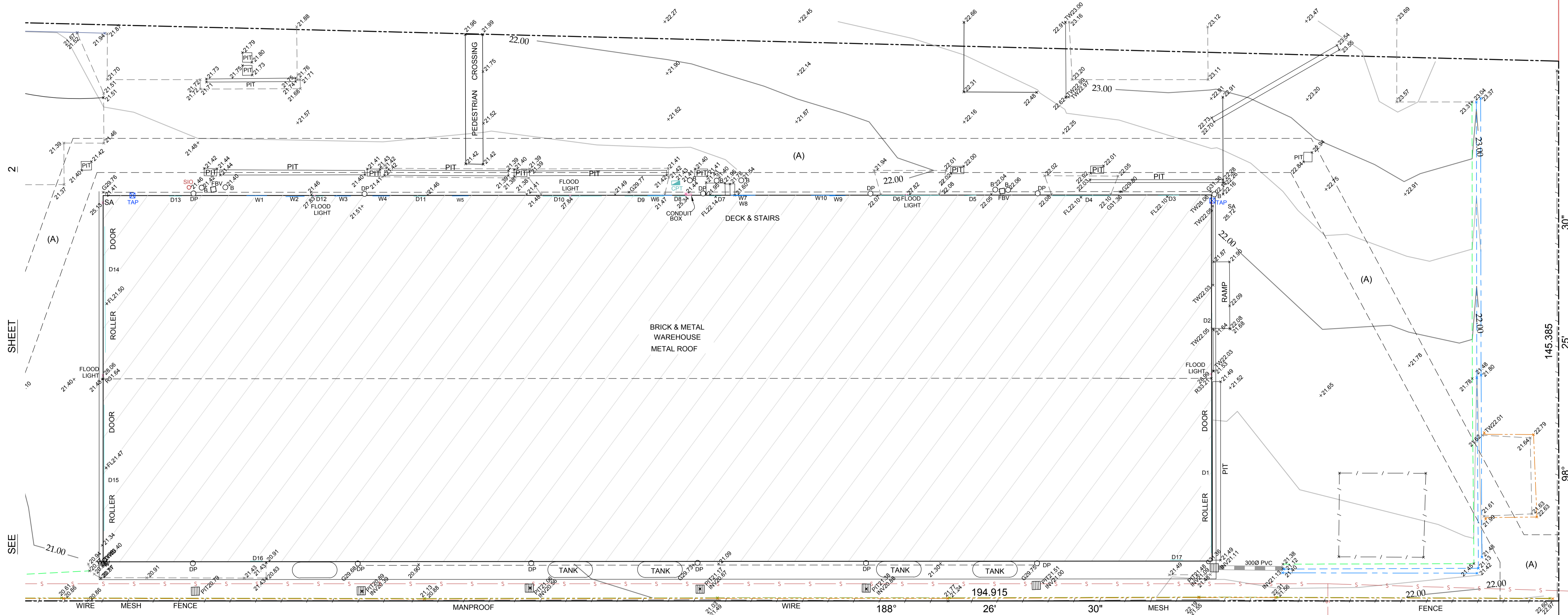
6
DP 771621

WINDOW / DOOR SCHEDULE		
NO.	HEAD RL	SILL RL
W1	23.40	22.72
W2	23.40	22.72
W3	23.40	22.72
W4	23.40	22.73
W5	23.58	22.69
W6	27.07	26.03
W7	24.56	23.95
W8	27.07	26.05
W9	24.39	23.78
W10	27.07	26.05

DOOR SCHEDULE		
NO.	HEAD RL	SILL RL
D1	29.20	21.50
D2	24.41	22.15
D3	24.21	22.11
D4	25.07	22.10
D5	24.17	22.11
D6	25.07	22.10
D7	24.21	22.14
D8	23.60	21.49
D9	24.30	21.49
D10	24.46	21.49
D11	23.60	21.51
D12	23.59	21.51
D13	23.55	21.52
D14	26.22	21.50
D15	26.23	21.47
D16	23.50	21.43
D17	23.55	21.49

LEGEND:

- Subject Boundary
- Easement Boundary
- Fence
- UGP - Approx. Location Underground Power Supply
- W - Approx. Location Underground Water Mains
- S - Approx. Location Underground Sewer Mains
- T - Approx. Location Telecommunications Line
- G - Approx. Location Underground Gas Mains
- Stormwater Pipe
- Top of Kerb
- Lip of Kerb
- Crown of Road Formation
- Edge of Bitumen
- Edge of Concrete
- Top of Retaining Wall
- Bottom of Retaining Wall
- Invert of Table Drain
- Top of Table Drain
- Linemark
- Power Pole
- Power Box
- Light Pole
- TAP - Tap
- SMH - Sewer Maintenance Hole
- SIO - Sewer Inspection Opening
- CPT - Telecommunications Pit
- Gutter Level
- Ridge Level
- Floor Level
- Security Alarm
- Tree



188° 26' 30" 188° 26' 30" 188°

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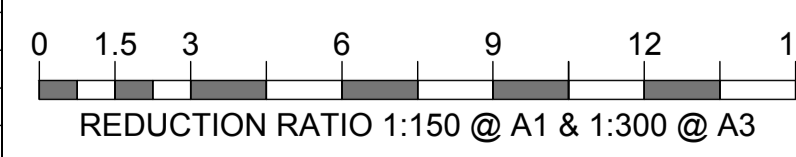
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NOTE
 INDICATIVE OUTLINE OF HARDSTAND AREA (FOR LICENSE)
 (AS DETERMINED BY ARIAL PHOTO PDF - COLLIER'S INTERNATIONAL) DENOTED THUS

2
 DP 509156

J. Clarke
 AUTHORIZED OFFICER
 THIS PLAN TO BE READ IN CONJUNCTION WITH INTRAX REPORT WITH REFERENCE: S#155986
 155986_SUR_DE_21 MIDDLETON ROAD CROMER

REV	REVISION DETAILS	DATE



CLIENT:	COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No.	6
REF:	S#155986	SECTION	-
SURVEY FILE:	155986_JC_201201_DE	PLAN No.	DP 771621
SURVEYED BY:	J CLEASBY	SUBURB	CROMER
DATE OF SURVEY:	01/12/20	LGA	NORTHERN BEACHES
DRAWN BY:	E LAZZARINI	PARISH	MANLY COVE
CHECKED BY:	J CLARKE	COUNTY	CUMBERLAND

CONTOUR INTERVAL:	0.5m
DATUM:	AHD
ORIGIN OF LEVELS:	AUSTRALIAN HEIGHT DATUM
R.L.:	SSM 10941
	18.581



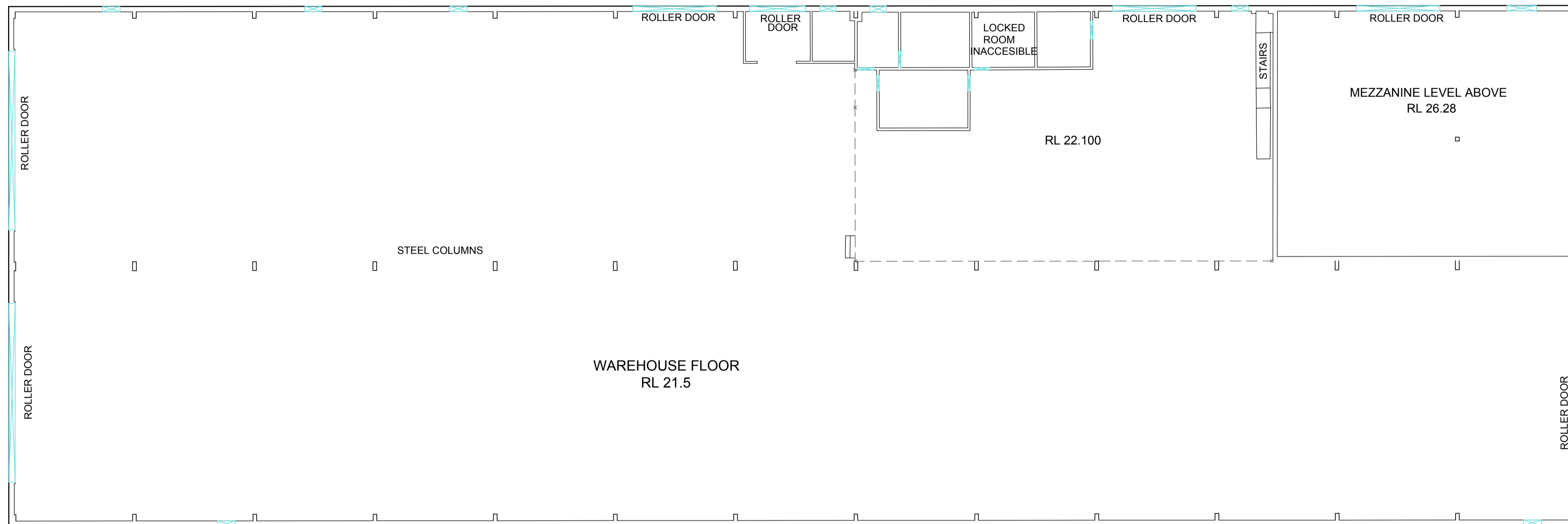
PLAN SHOWING LEVELS, FEATURES & CONTOURS FOR PART OF LOT 6 IN DP 771621 "No.21" MIDDLETON ROAD, CROMER

SHEET No.	3
No. of SHEETS:	6
REFERENCE No.:	S#155986
REV:	-

98°
 DP 1159977

30'
 25'
 A

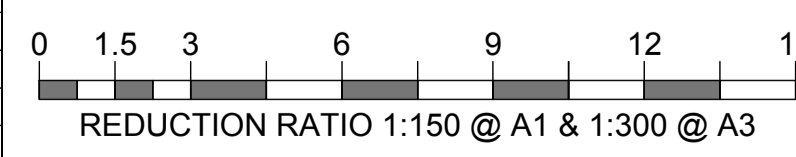
145.385
 98°
 DP 419256



**BRICK & METAL WAREHOUSE
INTERNAL LAYOUT**

J. Clarke
 11/12/2020
 AUTHORIZED OFFICER
 THIS PLAN TO BE READ IN CONJUNCTION
 WITH INTRAX REPORT WITH REFERENCE: S#155986
 155986_SUR_DE_21 MIDDLETON
 ROAD CROMER

REV	REVISION DETAILS	DATE

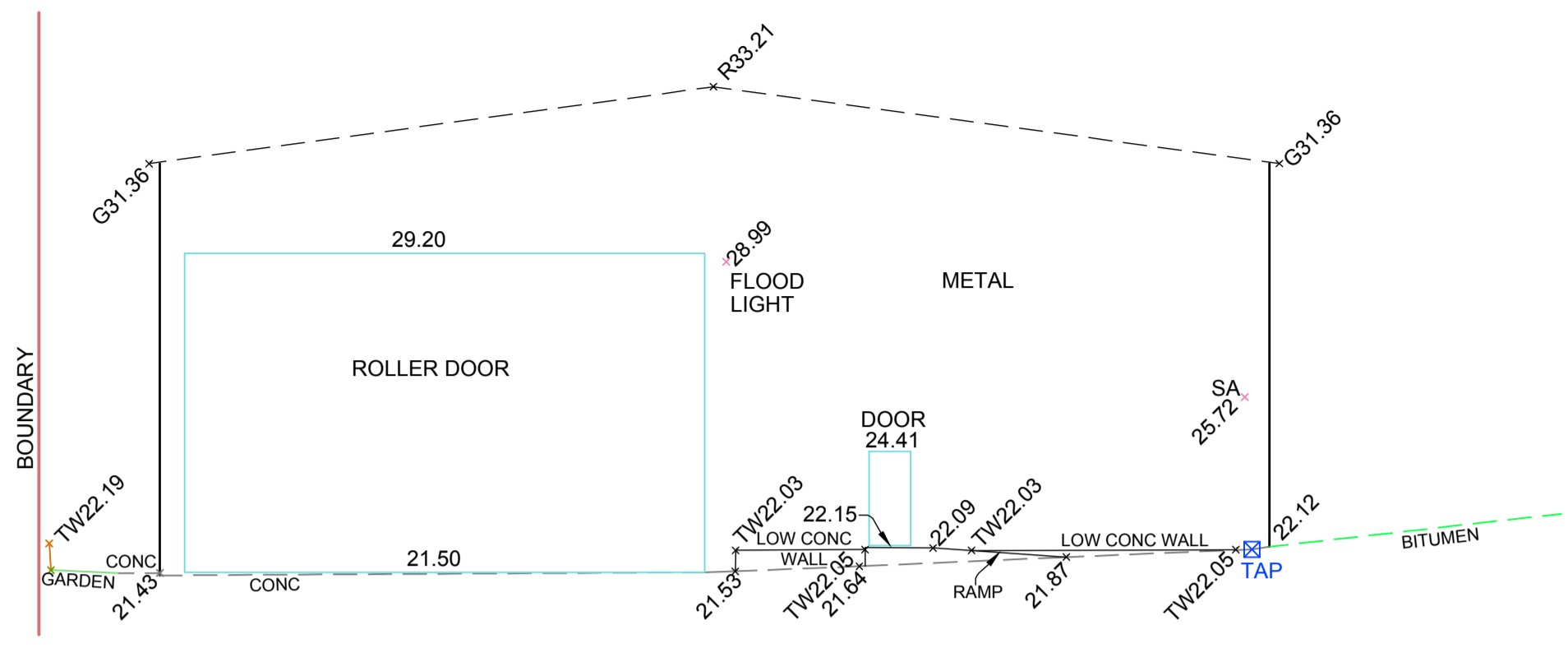


CLIENT: COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No. 6	CONTOUR INTERVAL: 0.5m
REF: S#155986	SECTION -	DATUM: AHD
SURVEY FILE: 155986_JC_201201_DE	PLAN No. DP 771621	AUSTRALIAN HEIGHT DATUM
SURVEYED BY: J CLEASBY	SUBURB CROMER	ORIGIN OF LEVELS: SSM 10941
DATE OF SURVEY: 01/12/20	LGA NORTHERN BEACHES	RL: 18.581
DRAWN BY: E LAZZARINI	PARISH MANLY COVE	
CHECKED BY: J CLARKE	COUNTY CUMBERLAND	

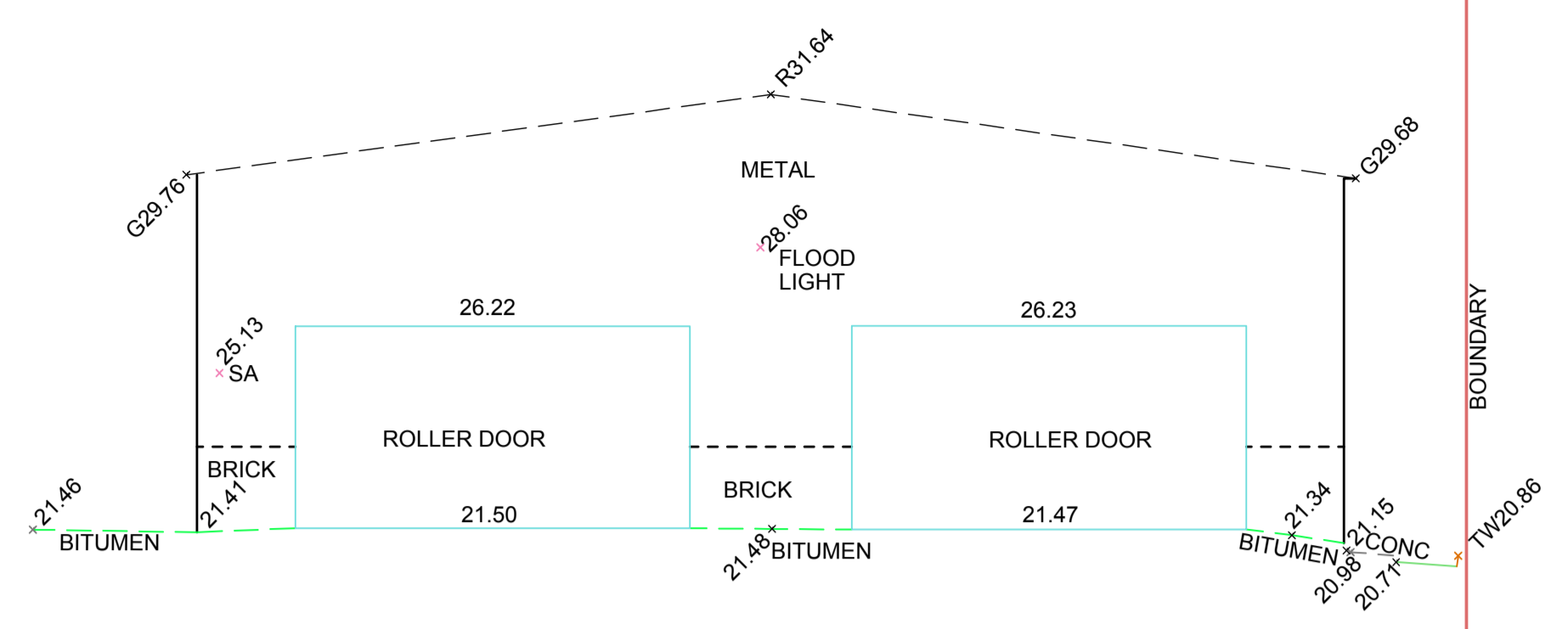


PLAN SHOWING LEVELS,
 FEATURES & CONTOURS
 FOR PART OF LOT 6 IN DP 771621
 "No.21" MIDDLETON ROAD,
 CROMER

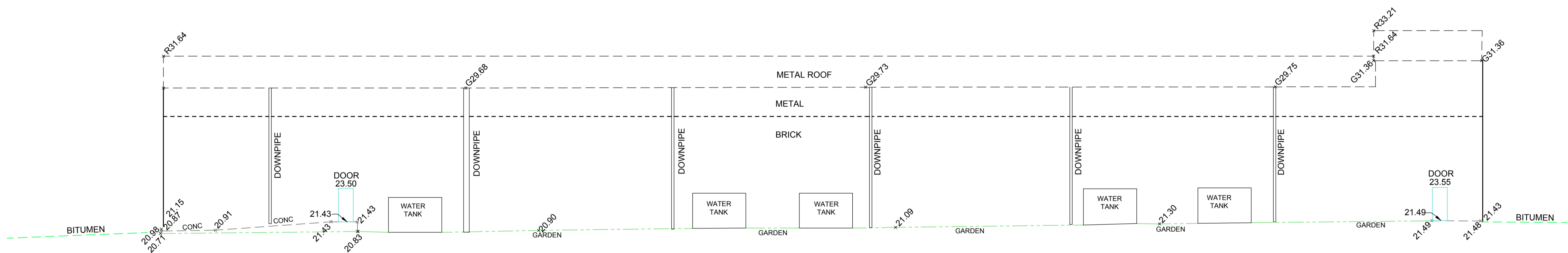
SHEET No.	4
No. of SHEETS:	6
REFERENCE No:	S#155986
REV:	-



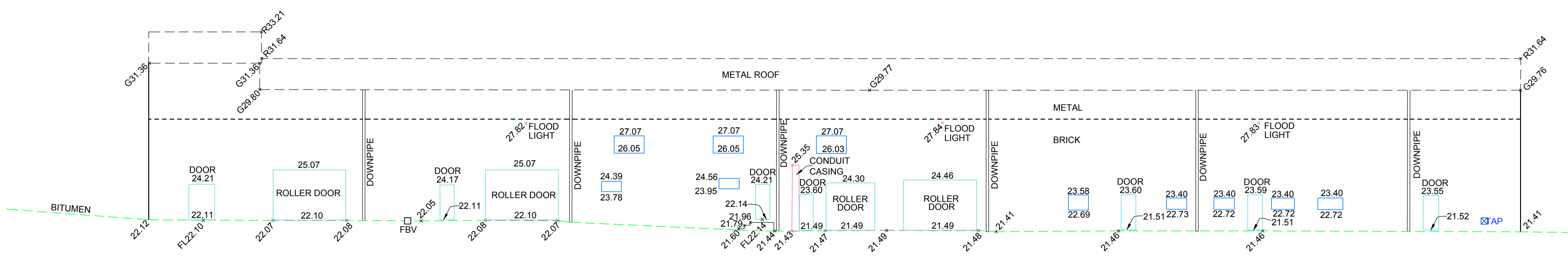
NORTHERN ELEVATION



SOUTHERN ELEVATION



EASTERN ELEVATION

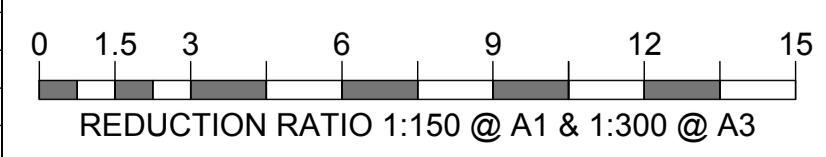


WESTERN ELEVATION

BRICK & METAL WAREHOUSE ELEVATIONS

J. Clarke
 11/12/2020
 AUTHORIZED OFFICER
 THIS PLAN TO BE READ IN CONJUNCTION WITH INTRAX REPORT WITH REFERENCE: S#155986
 155986_SUR_DE_21 MIDDLETON ROAD CROMER

REV	REVISION DETAILS	DATE



CLIENT: COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No. 6	CONTOUR INTERVAL: 0.5m
REF: S#155986	SECTION -	DATUM: AHD
SURVEY FILE: 155986_JC_201201_DE	PLAN No. DP 771621	AUSTRALIAN HEIGHT DATUM
SURVEYED BY: J CLEASBY	SUBURB CROMER	ORIGIN OF LEVELS: SSM 10941
DATE OF SURVEY: 01/12/20	LGA NORTHERN BEACHES	R.L.: 18.581
DRAWN BY: E LAZZARINI	PARISH MANLY COVE	
CHECKED BY: J CLARKE	COUNTY CUMBERLAND	



PLAN SHOWING LEVELS, FEATURES & CONTOURS FOR PART OF LOT 6 IN DP 771621 "No.21" MIDDLETON ROAD, CROMER

SHEET No. 5
No. of SHEETS: 6
REFERENCE No: S#155986
REV: -

MIDDLETON ROAD

MIDDLETON ROAD

6
DP 771621

2
DP 509156

PROPOSED LICENCE AREA
6131m²
(HARDSTAND)

PROPOSED LEASE AREA
2408m²
(BUILDING A)

PROPOSED LEASE & LICENCE AREA

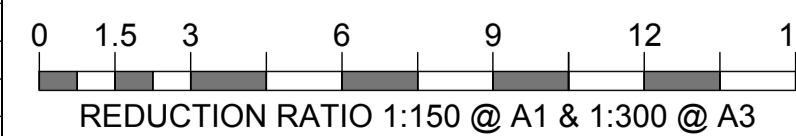
MGA

145.385
25'
98°
30'

DP 1159977 10

DP 419256 A

REV	REVISION DETAILS	DATE



CLIENT: COMFORTDELGRO CORPORATION AUSTRALIA PTY LTD	LOT No. 6	CONTOUR INTERVAL: 0.5m
REF: S#155986	SECTION -	DATUM: AHD
SURVEY FILE: 155986_JC_201201_DE	PLAN No. DP 771621	AUSTRALIAN HEIGHT DATUM
SURVEYED BY: J CLEASBY	SUBURB CROMER	ORIGIN OF LEVELS: SSM 10941
DATE OF SURVEY: 01/12/20	LGA NORTHERN BEACHES	R.L.: 18.581
DRAWN BY: E LAZZARINI	PARISH MANLY COVE	
CHECKED BY: J CLARKE	COUNTY CUMBERLAND	



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Intrax Consulting Group
VIC | NSW | SA | QLD

PLAN SHOWING LEVELS,
FEATURES & CONTOURS
FOR PART OF LOT 6 IN DP 771621
"No.21" MIDDLETON ROAD,
CROMER

SHEET No.	6
No. of SHEETS:	6
REFERENCE No:	S#155986
REV:	-

J Clarke
11/12/2020
AUTHORISED OFFICER
THIS PLAN TO BE READ IN CONJUNCTION
WITH INTRAX REPORT WITH REFERENCE: S#155986
155986_SUR_DE_21 MIDDLETON
ROAD CROMER