

inspec

103 kenny street
 wollongong nsw 2500
 p: 4226 6305
 f: 4226 6306
 e: info@inspec.com.au
 abn: 49 080 593 371

Construction Certificate

and Determination

issued under the Environmental Planning and Assessment
 Act, 1979 Sections 109C(1)(b) and 81A(2)

- Certificate Number:

600014

COUNCIL COPY

Address:

LOT - DP-
 16 MACPHERSON STREET
 WARRIEWOOD

Development Consent:

0161/2002 LAND & ENVIRONMENT COURT

Date of Consent:

This Construction Certificate has been determined as **APPROVED** in accordance with the procedures outlined in Clause 142 of the Environmental Planning and Assessment Regulation 2000. In making this determination I certify that the work if completed in accordance with the plans and specifications referred to in this Certificate will comply with the requirements of the Environmental Planning and Assessment Regulation, 2000 as referred to in Section 81A(5) of the Environmental Planning and Assessment Act, 1979 (as amended).

Michael Shanahan

Accredited Certifier
 BSAP/Planning NSW

2681

N 0161/02

Plans/s

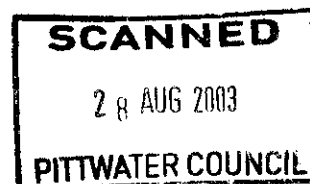
JOB NO 17077, DATED 15/03/01

Specification/s

Other Documents

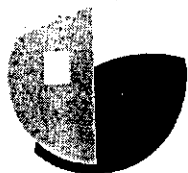
OWNERS CONSENT
 HOME BUILDING INSURANCE

Fire Safety Schedule



9 July, 2003

Date of Determination



inspec

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Australian Bureau of Statistics

OUR REFERENCE

600014

THE AREAS

The Site (m²):
Existing Building (m²):
The Proposal (m²):

THE EXISTING

Location:

LOT - DP-
16 MACPHERSON STREET
WARRIEWOOD NSW 2102
Residential - Inground Pool

Use:

No. of Existing Dwellings:

THE PROPOSAL

Location:

LOT - DP-
16 MACPHERSON STREET
WARRIEWOOD NSW 2102
Residential - Inground Pool

Use:

Dual Occupancy:

No. of Proposed Dwellings:

No. of Storeys:

THE MATERIALS

Walls:

Floors:

Roof:

Frame:



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Application Form

*issued under the Environmental Planning
and Assessment Act, 1979
Sections 109C(1)(b), 81A(2) and 81A(4)*

APPLICANT

NAME: FOLEY
ADDRESS: 16 MACPHERSON STREET
WARRIEWOOD NSW 2102
CONTACT NO./S:
SIGNATURE: SEE ATTACHED CONSENT

OWNER

NAME/S: FOLEY
FOLEY
ADDRESS: 16 MACPHERSON STREET
WARRIEWOOD NSW 2102
CONTACT NO./S:
SIGNATURE/S: SEE ATTACHED CONSENT

LAND TO BE DEVELOPED

LOT - DP-
16 MACPHERSON STREET
WARRIEWOOD NSW 2102

DESCRIPTION OF DEVELOPMENT

RESIDENTIAL INGROUND POOL

BCA CLASSIFICATION

10B

DEVELOPMENT CONSENT

0161/2002 LAND & ENVIRONMENT COURT

VALUE OF WORK

\$28,000

BUILDER/OWNER BUILDER DETAILS

BLUE HAVEN POOLS & SPAS - LANSVALE
5367C

DATE OF RECEIPT

7 JULY, 2003



APPLICATION FORM

Construction Certificate
Complying Development Certificate
Principal Certifying Authority
Occupation Certificate
Compliance Certificate

103 kenny street
wollongong nsw 2500
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f: 4226 6306
e: info@inspec.com.au
abn: 49 080 593 371

21

APPLICATION Date of Application: 4/7/2003

LAND TO BE DEVELOPED

Lot No.: Deposited Plan: Strata Plan:
Volume No.: Folio No.: Area (m²):
Street: 16 MACPHERSON STREET Suburb: WARRIEWOOD

THE DEVELOPMENT

Proposed Building Work: Residential Commercial Industrial
Description of Development: CONCRETE
Value of Work: \$28,000.00 Type of work: CONCRETE
Building Classification: 10B

CONSENTS

Development Consent No.: Date of Issue: 1/7/03
Builder or Owner/Builder Name: BLUE HAVEN POOLS & SPA Licence No.: 5367C

THE APPLICANT

Surname: FOLEY Mr. & Mrs
Address: C/O 68 HUME HIGHWAY, LANSVALE 2166
Contact No's.:

THE OWNER/S

Surname: FOLEY First Name: MR. & MRS
Surname: First Name:
Surname: First Name:
Address: 16 MACPHERSON STREET WARRIEWOOD
Contact No's.: 9979 4858

PRINCIPAL CERTIFYING AUTHORITY

In signing this proposal I/we acknowledge and accept that Inspec NSW Pty Ltd will appoint an Accredited Certifier to fulfil the role of Principal Certifying Authority as outlined in the Environmental Planning and Assessment Act, 1979 (as amended). In providing this authorisation I/we understand that the appointed Accredited Certifier or his/her delegate will carry out 2 inspections during the course of construction. I/we also declare that all documentation presented to the Accredited Certifier for consideration as part of any application for a Construction Certificate has remained unaltered from that issued with the Development Consent or that any changes have been documented and presented to Inspec NSW with this authorisation. I also advise that I have met all of the conditions contained in the Development Consent required to be satisfied before I/we begin work.

LETTER OF CONSENT

With reference to the proposal mentioned above, please be advised, that I/we hereby give consent to lodge all relevant applications (i.e. for Construction Certificate/s, Complying Development Certificate/s, Occupation Certificate/s, Compliance Certificate/s) and documentation to Inspec NSW Pty Ltd for consideration.

SIGNATURES

Applicant Signature: [Signature] Date: [] Owner/s Signature: attached Date: []
Signature: [] Date: []

**Statement of consent to
Lodge Application**

To be signed by all current registered property owners

I/We Mr & Mrs FOLEY
(PRINT NAMES)

hereby certify that I/We are the owner/s of the property known as:

16 MACPHERSON STREET WARRIEWOOD
(PRINT PROPERTY ADDRESS).

and I/We consent to: **MUTUAL POOLS PTY LTD. A.B.N. 60 003 181 682**

to submit an application to Colin Wood & Assoc Council for the erection of:

Inground Swimming Pool on my/our property.

[Signature]
(SIGNED)

[Signature]
(SIGNED)

Date 27/2/01

Date 27.2.01.

**Statement of Consent for Council Officers
To carry out inspections - waiver of
Requirements of section 193
Local Government ACT 1993**

I/We Mr & Mrs FOLEY
(PRINT NAMES)

hereby certify that I/We are the owner/s of the property known as:

16 MACPHERSON STREET WARRIEWOOD
(PRINT PROPERTY ADDRESS)

and waive the requirements of section 193 of the Local Government Act 1993 regarding the notice of entry by Council and instead consent to

Colin Wood & Assoc Council, by its authorised persons entering the premises, without first having given notice, for the purpose of carrying out all or any inspections which it may deem appropriate in connection with the processing of the application for the property and in connection with any inspections during and at the completion of construction of the building.

[Signature]
(SIGNED)

[Signature]
(SIGNED)

Date 27/2/01

Date 27.2.01

COPY ORIGINAL DESTROYED
BY PHOTOCOPIER

Home Owners Warranty

certificate

of insurance

Certificate No PPP 82589
(OWNERS COPY)

Form 1: Home Building Act 1989

Certificate in respect of insurance - Section 92 (2)

Contract Work

A contract of insurance complying with section 92 of the Home Building Act 1989 has been issued by Royal & Sun Alliance Insurance Australia Ltd

in respect of Swimming Pool

at 16 MACPHERSON STREET

WARRIEWOOD

Carried out by **MUTUAL POOLS PTY LIMITED**

A.B.N. **60 003 181 682** Licence No **38227** Class (if applicable)

Beneficiary Mr & Mrs Foley

Current address 16 MACPHERSON STREET

WARRIEWOOD 2102

Subject to the Act and the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

Date 12.3.01

Signed for and on behalf of Royal & Sun Alliance Insurance Australia Ltd.

PLEASE NOTE:

Parnell Cranston & Co Pty Ltd, ABN 45 008 079 712 and Aon Risk Services Australia Ltd ABN 17 000 434 720 are arranging the insurance policy as agents of the insurer:

Royal & Sun Alliance Insurance Australia Ltd
ABN 48 005 297 807

and not as agents for the insured.

They also act as agents for the insurer, and not as agents for the insured, in dealing with or settling any claim.

HIA Insurance Services Pty Ltd has been appointed the agent of Parnell Cranston & Co Pty Ltd and Aon Risk Services Australia Ltd.

The builder has been appointed a sub-agent of HIA Insurance Services Pty Ltd.

HOME OWNERS WARRANTY

A DIVISION OF HIA INSURANCE

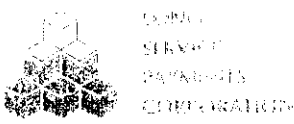
SERVICES PTY LTD ABN 84 076 460 967

89 Blaxland Road Ryde NSW 2112
(PO Box 241, Ryde NSW 2112)

Telephone: 02) 9808 7222

Facsimile: 02) 9808 7233





Ground Floor, Corner Donnison & Baker Streets Gosford NSW 2250
Telephone: 13 14 41 Facsimile: (02) 9287 5685
All correspondence to: Locked Bag 3000, CCDS, Lisarow NSW 2252

LEVY PAYMENT FORM

0246803

PLEASE PRINT ALL DETAILS USING CAPITALS

Part A - DETAILS OF PERSONS/COMPANY/ORGANISATIONS LIABLE FOR THE LEVY

Surname (if person) or Company/Organisation Name **BLUE HAVEN POOLS + SPAS**

Given Names (if person)

ABN (if applicable)

POSTAL ADDRESS No. and Street or P.O. Box **68 HUME HWY**

Town/Suburb **LANSVALE**

State **NSW** Postcode **2166** Business Hours Phone No. **97280444**

Part B - ADDRESS OF BUILDING/CONSTRUCTION WORK

No. and Street **16 MACPHERSON ST**

Town / Suburb **WARRIEWOOD**

State **NSW** Postcode

Estimated Start Date **16/07/2003** Estimated Finish Date **16/10/2003**

Part C - DETAILS OF WORK - To be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area **PITTWATER**

D.A.C./C.D.C. No. (circle which) **016112000**

Estimated value of work \$ **28,000:00** Levy Payable \$ **56:00**

Signature of Officer/Private Certifier *M. Shanahan* Date **21/7/03**

Name of Officer/Private Certifier **M. SHANAHAN** Business Hours Phone No. (Private Certifier)

NOTE: If CC approved by Private Certifier, council DA number required above.

Part D - DETAILS - To be completed by Dept./authority where applicable - see reverse

Dept./Authority

Contract No. Contract Amount: \$



GUILDFORD NSW

Pay Long Service Payments Corp or bearer

The sum of Fifty six dollars only

28/7/03

\$ 56.00

K. Kelly

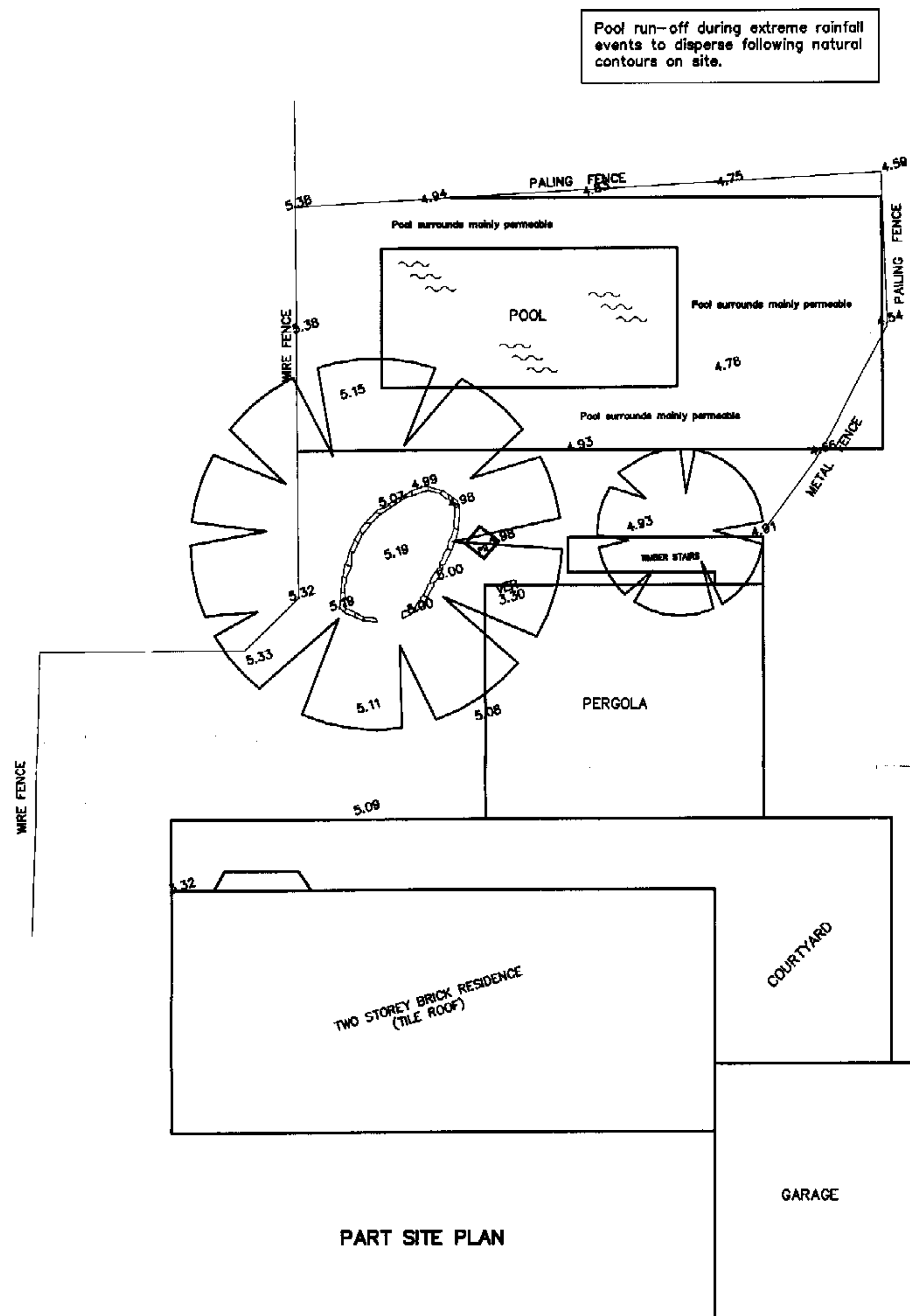
BLUE HAVEN POOLS & SPAS PTY LIMITED
- INSPEC ACCOUNT
A.C.N. 050 069 193

402420 03200731 153469



BOUNDARY 232.94

BOUNDARY 237.24



COUNCIL COPY

This information relates to Construction/Complying Development Certificate
 --- 600014

PLAN OR DOCUMENT CERTIFICATION
 I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
 I hold the following qualifications or licence No.....M.Eng.Sc.....
F.I.E.Aust.....Nper3.....Struct.Civl.No.149788.....
 Further I am appropriately qualified to certify this component of the project.
 I hereby state that these plans or details comply with the conditions of
 development consent, the provisions of the Building Code of Australia,
 A.S.1170, A.S.1170.1, A.S.1170.2, A.S.1884, A.S.2870.1,A.S.3600, A.S.3700
 A.S.4100
 Jack D. Hodgson *[Signature]*
 Name Date Signature

No.	Amendment	Drawn	Date

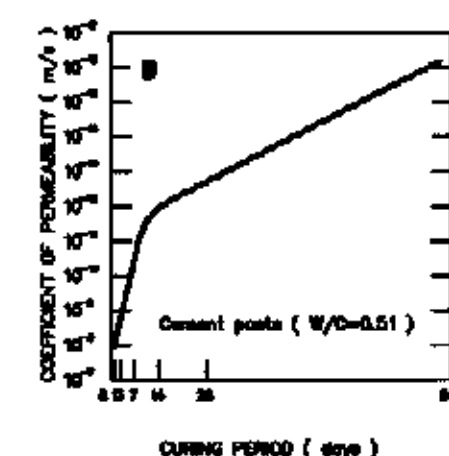
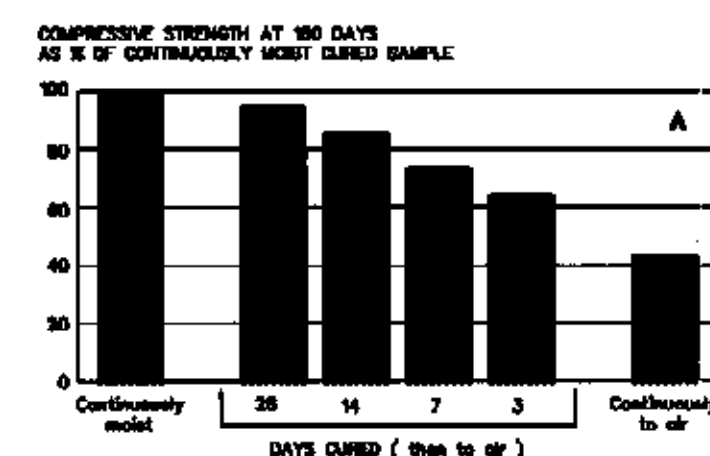
STORMWATER MANAGEMENT PLAN
PROPOSED POOL
16 MACHPHERSON STREET
WARREWOOD

The Structural Details shown on this Drawing are Not to change under any circumstances. No Certificate will be issued for work Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
 Consulting Civil, Geotechnical, and Structural Engineers.
 11 Bungen Street, MONA VALE, NSW, 2103; P.O. Box 388, NSW, 1890.
 Telephone (02) 9979 8733. Facsimile (02) 9979 8928. A.C.N. 993 408 911

Designed	JDH	Drawn	ARC	Job No.		Drawing No.	
Checked	JDH	Scale	1:100,2D only				
Date	02 APRIL 2003						20679-1

IMPORTANCE OF CURING CONCRETE

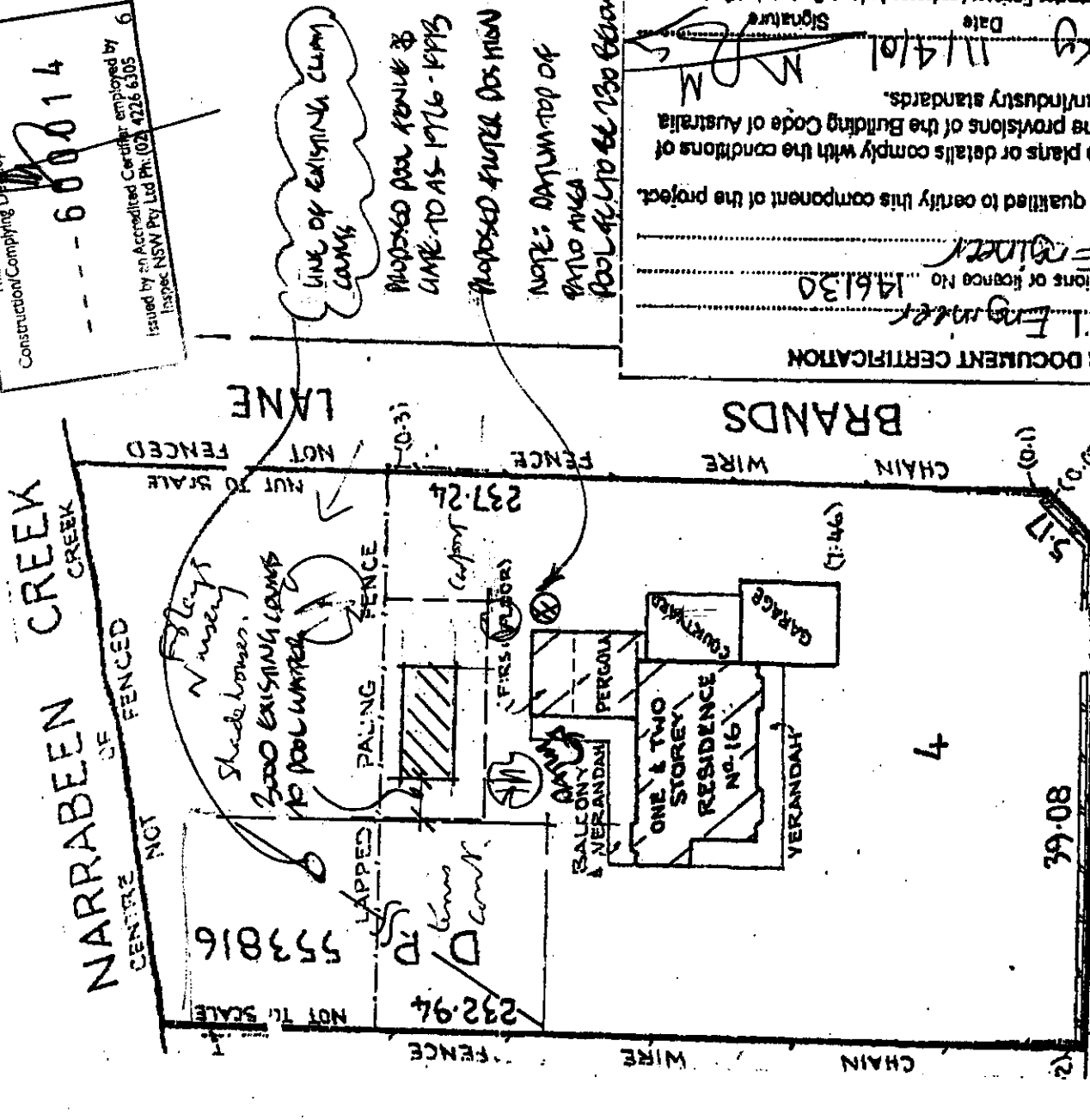


Effect of curing duration on : (A) compressive strength; and (B) concrete permeability
 Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/1884:1990)

COUNCIL COPY

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 ---600014
 Issued by an Accredited Certifier employed by
 Inspic NSW Pty Ltd Ph: (02) 4226 6305

LEGEND:
 DE - DEEP END SE - SHALLOW END
 HRV - HYDROSTATIC RELIEF VALVE
 SI - STEPS S - SKIMMER BOX
 B - BEACH AREA LI - LIGHT
 RTP - RETURN TO POOL LINE
 SL - SWIMMOT LEDGE

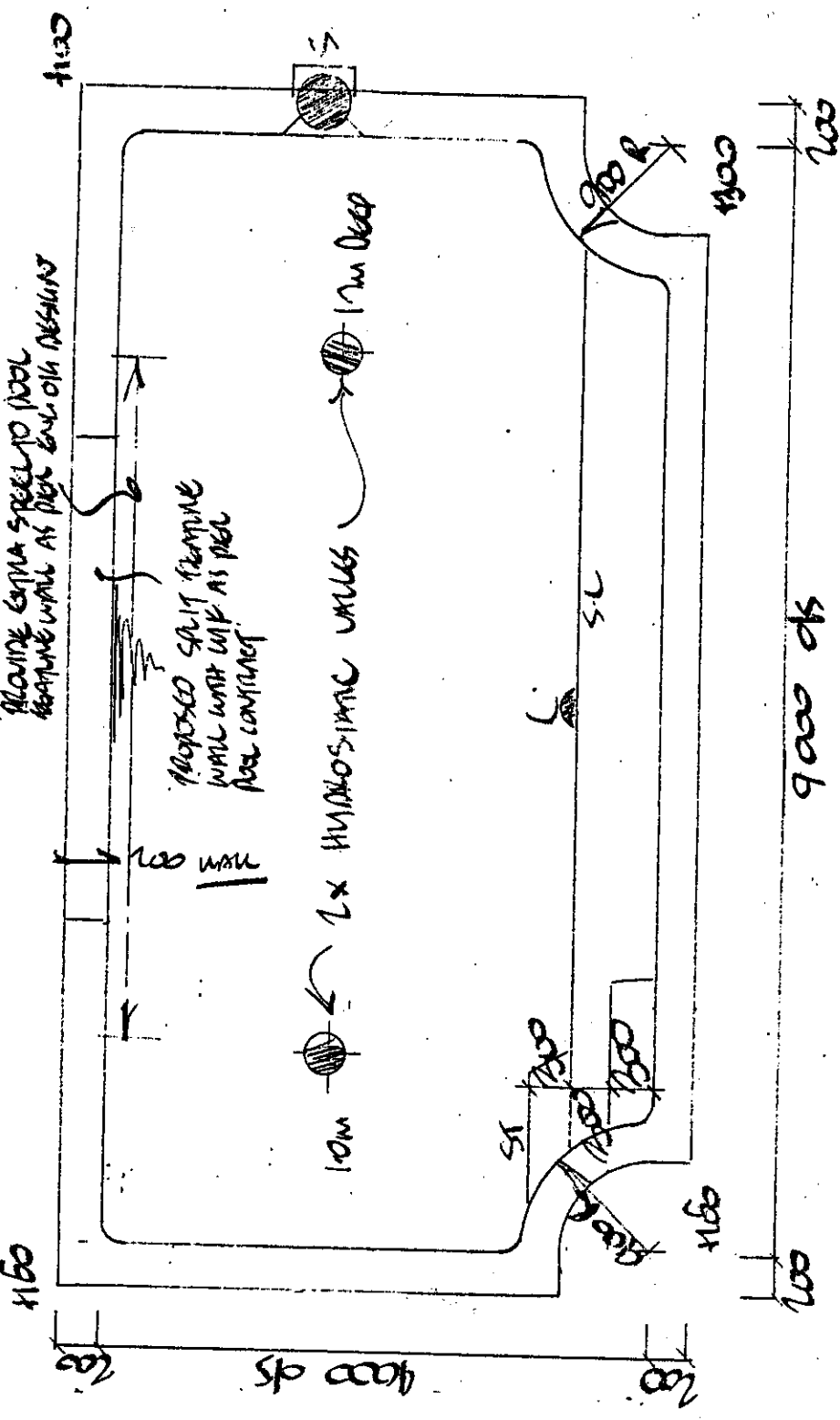


PLAN OR DOCUMENT CERTIFICATION
 I am a qualified: **Civil Engineer**
 I hold the following qualifications or licence No: **146130**
 I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian industry standards.
 Further I am appropriately qualified to certify this component of the project.
 Name: **Michael Meshreky**
 Date: **11/14/01**
 Signature: [Signature]
 eg. Licensed Builder, Electrical Contractor, Engineer, Landscape Architect, Geotechnical Engineer, etc.

G8. CALCIUM CHLORIDE SHALL NOT BE USED AS AN ADMIXTURE
 G9. NO INTERNAL FINISHES SHALL BE APPLIED FOR AT LEAST 28 DAYS AFTER SPRAYING OF THE CONCRETE SHELL.
REINFORCEMENT
 R1. ALL REINFORCEMENT SHALL COMPLY WITH AS1300 AND AS 1304.
 R2. REINFORCEMENT TO BE SUPPORTED ON APPROVED CHAIRS SPACED AT 1000mm MAXIMUM.
 R3. MIN LAP FOR S12 BARS 500mm UNLESS NOTED OTHERWISE.
 R4. REINFORCEMENT IS REPRESENTED DIAGRAMMATIC. IF IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
FOUNDATION
 F1. REQUIRED MINIMUM SAFE BEARING CAPACITY OF FOUNDATION MATERIAL SHALL BE AT LEAST 150 Kpa. THE UNDERSIDE OF THE POOL.
 F2. FOUNDATION MATERIAL TO BE APPROVED BY THE ENGINEER FOR SAFE BEARING CAPACITY BEFORE SHELL-CONSTRUCTION.
 F3. POOL DESIGN IS SUITABLE FOR SITE CLASSIFIED A1 OR M AS PER AS2870, OTHERWISE ENGINEER SHALL BE NOTIFIED.
 F4. EXCAVATIONS SHALL BE KEPT FREE OF WATER, & SCARING SURFACE DETERRIATES, ALL LOOSE SOFT MATERIAL SHALL BE CLEARED OUT BEFORE CONCRETE IS POURED.

G10. WALL THICKNESSES SHOWN HAVE NO NEGATIVE TOLERANCES
 G11. POOL CONSTRUCTION SHALL CONFORM TO AS2783
 G12. BUILDER PLEASE NOTE THAT RECORDS MUST BE KEPT AS OUTLINED IN CLAUSE 6.4 OF AS2783
 G13. ALL DESIGN DETAILS COMPLY WITH AS1170, AS3600, AS2783
CONCRETE
 C1. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH AS3600.
 C2. ALL CONCRETE SHALL BE GRADE 25(MPa) MIN. WITH A MAX. AGGREGATE SIZE OF 10mm AND A MAXIMUM SLUMP OF 80mm, GRADE 32(MPa) IF SITE LOCATION WITHIN ONE KILOMETRE OF SEA.
 C3. CONCRETE SHALL BE PLACED PNEUMATICALLY AND TO BE CURED FOR A MINIMUM OF 7 DAYS BY KEEPING ALL EXPOSED SURFACES WET WITH WATER.
 C4. CLEAR CONCRETE COVER TO REINFORCEMENT SHALL BE AS SHOWN IN TABLE 16.3 OF AS2783, MIN 65mm TO WATER FACE.
 C5. SIZE OF CONCRETE DO NOT INCLUDE APPLIED FINISHES.
 C6. CONSTRUCTION JOINTS LOCATED TO THE APPROVAL OF THE ENGINEER.
 C7. IN NO CASE, POOL CONCRETE BODY BE IN DIRECT CONTACT WITH ANY EXISTING STRUCTURE ELEMENTS. A JOINT OF 10mm THICK BITUMINOUS FILLER TO BE PROVIDED.
 C8. NO CONCRETE SHALL BE PLACED UNTIL THE ENGINEER HAS INSPECTED AND APPROVED THE PLACED REINFORCEMENT.

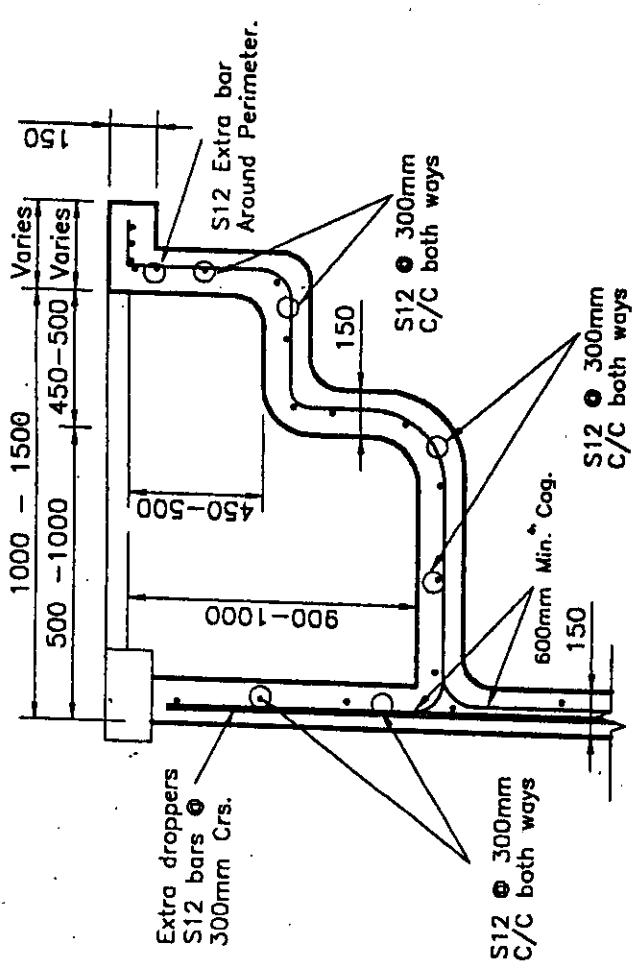
SWIMMING POOL NOTES:
GENERAL
 G1. SETTING OUT DIMENSIONS OR MEMBER SIZES SHALL NOT BE SCALED FROM THE DRAWINGS.
 G2. THE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT BUT NOT FORM PART OF THE CONTRACT.
 G3. THESE DRAWINGS ARE PREPARED WITH LIMITED SITE KNOWLEDGE AND UNFORESEEN SITE CONDITIONS THAT MAY AFFECT THE DESIGN MUST IMMEDIATELY BE NOTIFIED TO THE ENGINEER.
 G4. ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE RELEVANT CODES AND ORDINANCES.
 G5. POOL SHELL IS NOT DESIGNED FOR SURCHARGE LOADING FROM OTHER STRUCTURES.
 G6. WALKWAYS AND COPINGS ARE NOT DESIGNED TO SUPPORT MASONRY WALLS UNLESS NOTED OTHERWISE.
 G7. THE POOL IS NOT DESIGNED AS A DIVING BOWL.
 G8. POOL MUST NOT BE EMPLOYED UNTIL ALL EXTERNAL-GROUND WATER HAS BEEN REMOVED FROM BASE & WALLS.
 G9. POOL SAFETY FENCE IS TO BE COMPLY WITH AS 1926 AND TO BE COUNCIL APPROVED PRIOR TO THE POOL BEING FILLED.
 G10. UPON COMPLETION OF CONCRETING THE HYDROSTATIC VALVE IS TO BE CLEARED AND CHECKED TO ENSURE CORRECT OPERATION.



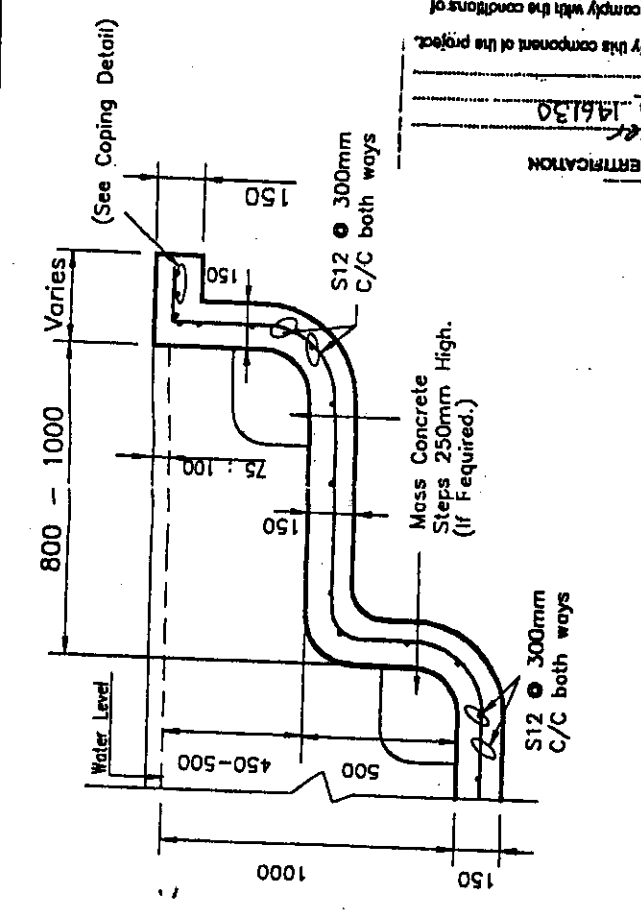
LEVELS SHOWN INDICATE FINISHED STRUCTURAL LEVEL.
 ABOVE ⊕ OR BELOW ⊖ EXISTING GROUND LEVELS

PROJECT:	PROPOSED CONCRETE POOL	DATE:	28 JUL 2001
AT NO.	16 MACPHERSON STREET WARRIEWOOD	CLIENT:	MR & MRS FOLEY
JOB NO.	17077	SCALE:	AS NOTED 1:50
DRAWN:	S	APPROVED:	[Signature]
MUTUAL POOLS PTY LIMITED A.B.N. 60 003 181 682 826, Hume Highway (Cnr Hecto St.) Bass Hill N.S.W. 2197 Australia Telephone: (02) 9738 5566 Facsimile: (02) 9738 5522		C.P. ENG. M.I.E. AUST. 10 STOUT RD. MT. DRUITT PH: 96252122 MOB: 0414 622518 DATE: 15/3/01	
ISSUE	DATE	REVISION	DATE
COPYRIGHT: THIS SET OF DRAWINGS SHALL NOT BE COPIED WHOLLY OR IN PART WITHOUT PERMISSION FROM M. MESHREKY			
NOTE: THIS DRAWING DOES NOT FORM ANY PART OF POOL CONTRACT.			

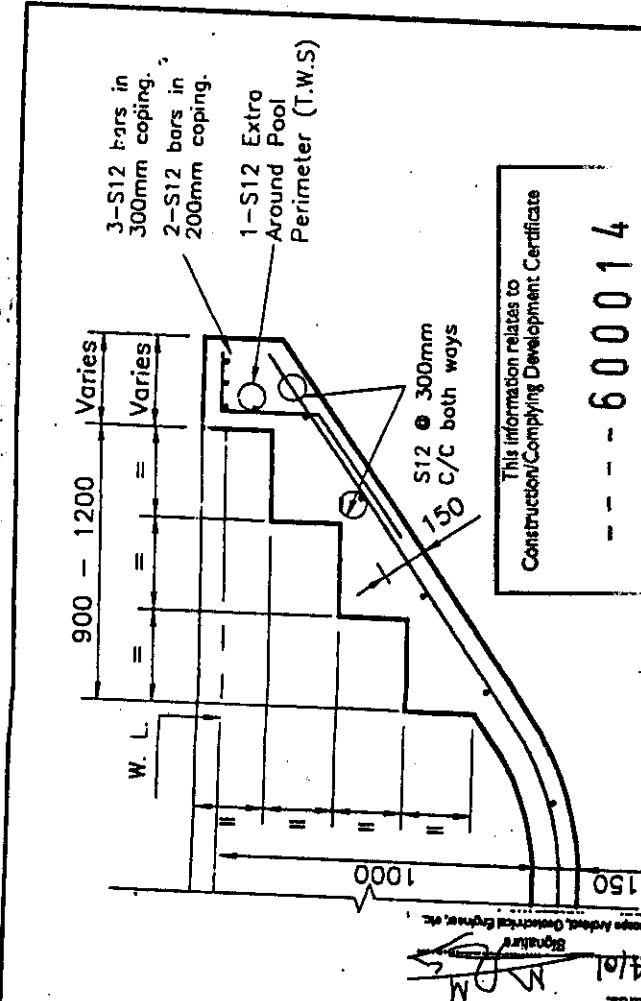
TITLE: SWIMMING POOL DETAILS 1/73



SPA DETAILS 1 : 25



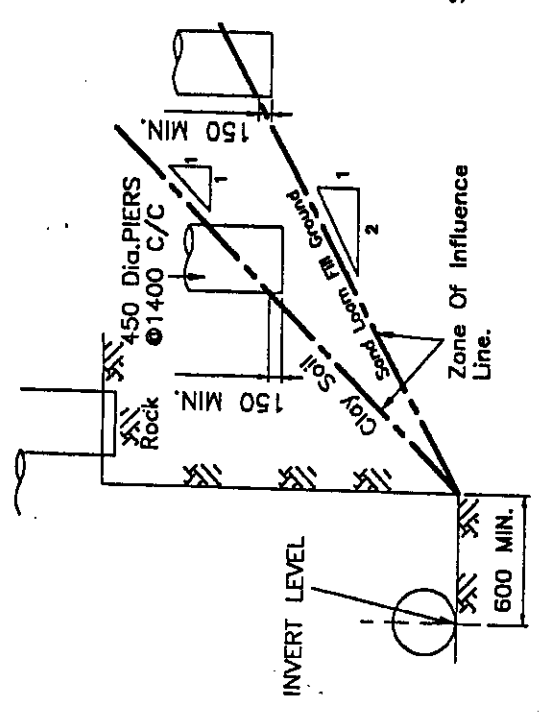
BEACH AREA DETAILS 1:25



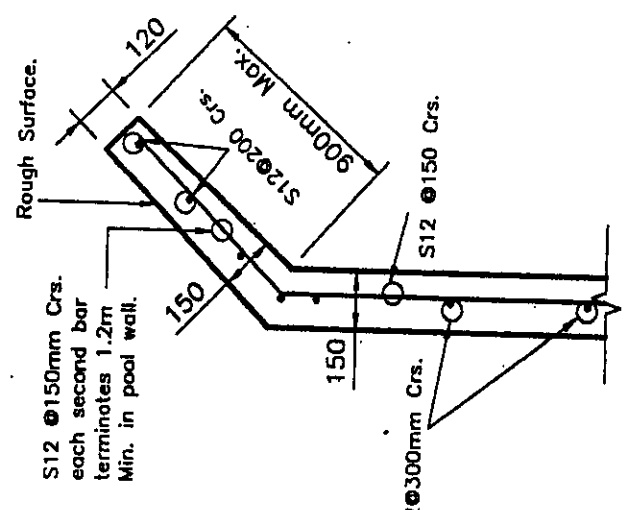
STAIRS DETAIL 1 : 25

This information relates to Construction/Complying Development Certificate
 --- 600014
 Issued by an Accredited Certifier
 P.O. Box 14101
 Tel: 02 4226 6305

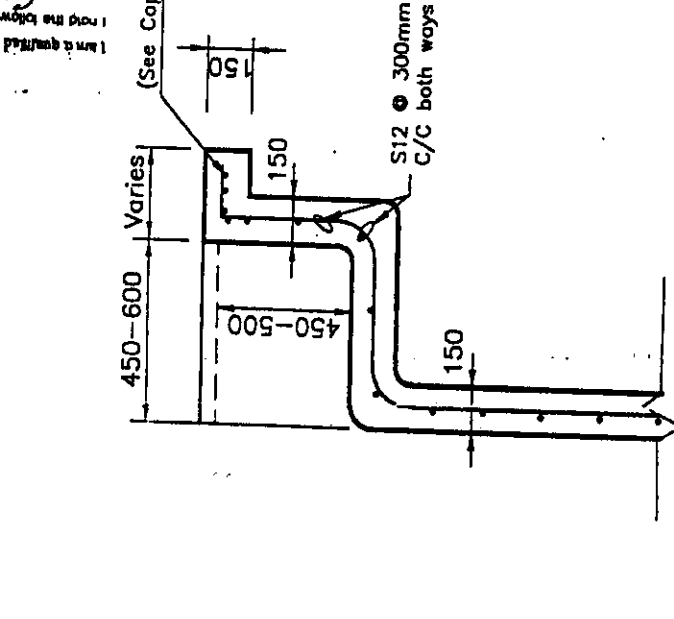
PLAN OR DOCUMENT CERTIFICATION
 I am a qualified: Civil Engineer No. 146130
 I hold the following qualifications or licences No. 146130
 I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and relevant Australian Industry standards.
 Name: Mohab Meshreky M.A. M.Eng.
 Signature: [Signature]
 Date: 11/11/01
 I, the undersigned, am appropriately qualified to certify this component of the project.



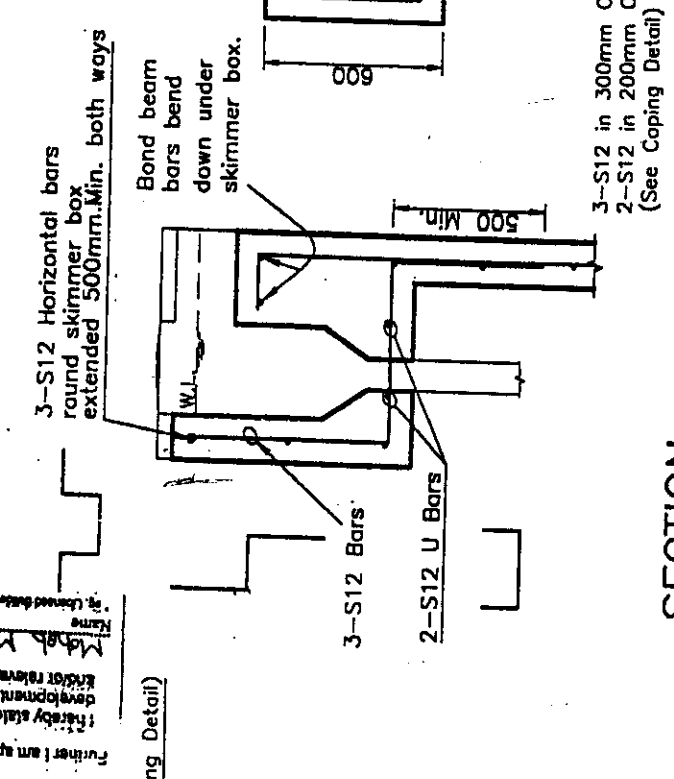
TYPICAL SEWER DETAIL



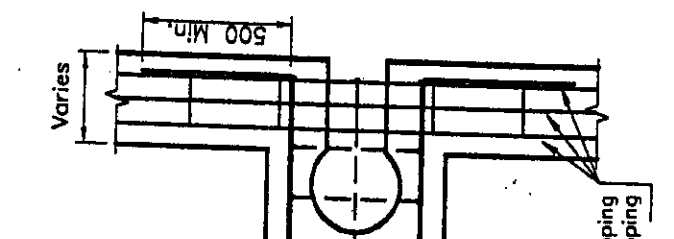
WATERFALL DETAILS 1:25



LEDGE DETAILS 1:25



SECTION SKIMMER DETAILS 1:25



PLAN SKIMMER DETAILS 1:25

SCANNED
 29 JUL 2001
 PITTSWATER COUNCIL

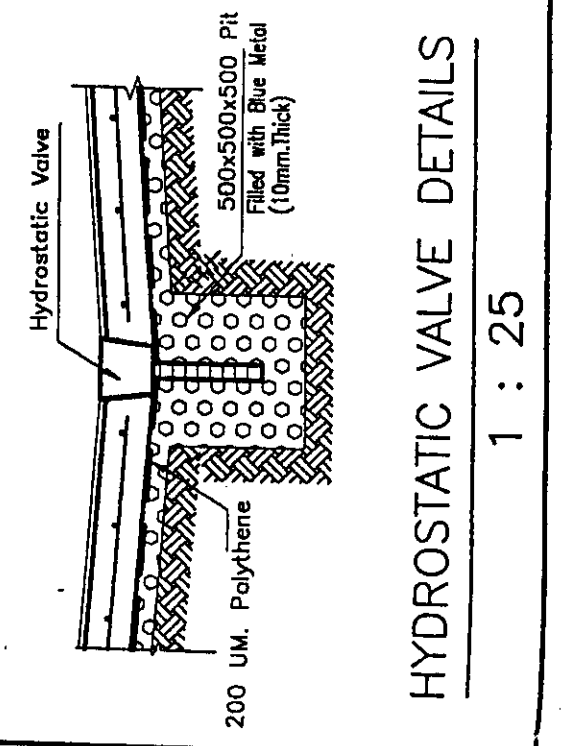
COPYRIGHT
 THIS SET OF DRAWINGS SHALL NOT BE COPIED WHOLLY OR IN PART WITHOUT PERMISSION FROM M. MESHREKY
 NOTE:
 THIS DRAWING DOES NOT FORM ANY PART OF POOL CONTRACT.

MUTUAL POOLS PTY LIMITED
 A.B.N. 66 963 181 682
 826, Hume Highway (cnr Hector St.)
 Bass Hill N.S.W. 2197 Australia
 Telephone: (02) 9738 5566
 Facsimile: (02) 9738 5522

DOMESTIC & COMMERCIAL SWIMMING POOLS
 RENOVATIONS
 SOLAR HEATING
 CONSULTANCY
 BUILDERS LIC. NO. 34227
 ADN 50 003 181 682

PROJECT: PROPOSED CONCRETE POOL
 AT NO. 16 MACPHERSON STREET WARRIEWOOD
 CLIENT: MR & MRS FOLEY
 JOP NO. 17077
 DRAWN: S

MOHEB MESHREKY
 C.P. ENG. M.I.E. AUST.
 10 STOUT RD. MT. DRUITT
 PH: 96252122 MOB: 0414 622518
 DATE: 15/3/01
 SCALE: AS NOTED
 APPROVED: [Signature]
 TITLE: SWIMMING POOL DETAILS 3/3



HYDROSTATIC VALVE DETAILS 1 : 25

NORTH

LANE

This information relates to Construction/Complying Development Certificate
-----500014
Issued by an Accredited Certifier employed by Inspex NSW Pty Ltd Ph: (02) 4226 6305

SCANNED
26 JUL 2001
PITTWATER COUNCIL

PROPOSED PLANTING OF:
Archontophoenix cunninghamiana
Howea forsteriana and
Livistona australis
TO CONTINUE EXISTING GARDEN THEME
UNDERSTOREY OF:
Dietes vegeta

EASTERN BOUNDARY

EXISTING DENSE PLANTING
BETWEEN HOUSE YARD AND
LANEWAY

FILTER AND GAS
HEATER UNDER EXISTING
TIMBER STEPS

NURSERY

EXISTING 1800 PALING FENCE

FEATURE WALL

EXISTING *Eucalyptus*
robusta TO REMAIN

VERANDAH

3000

9000

1000

TENNIS COURT

1000

4000

1000

1700 deep

1800 deep

RL 9.77

1200mm CHILDPROOF FENCING WITH
SELF-LOCKING GATE AS PER THE
SWIMMING POOL ACT 1992

EXISTING *Eucalyptus*
robusta TO REMAIN

DATUM: EXISTING VERANDAH
TOP OF COPING TO BE 230
BELOW THE DATUM

COVERED

Trish Carpenter Pty Ltd
Pool and Landscape Design

19 Brookier Avenue
BEACON HILL NSW 2100
Ph (02) 9452 2924
(02) 9331 5100
Fax (02) 9331 2963
Mob 0417 242 017

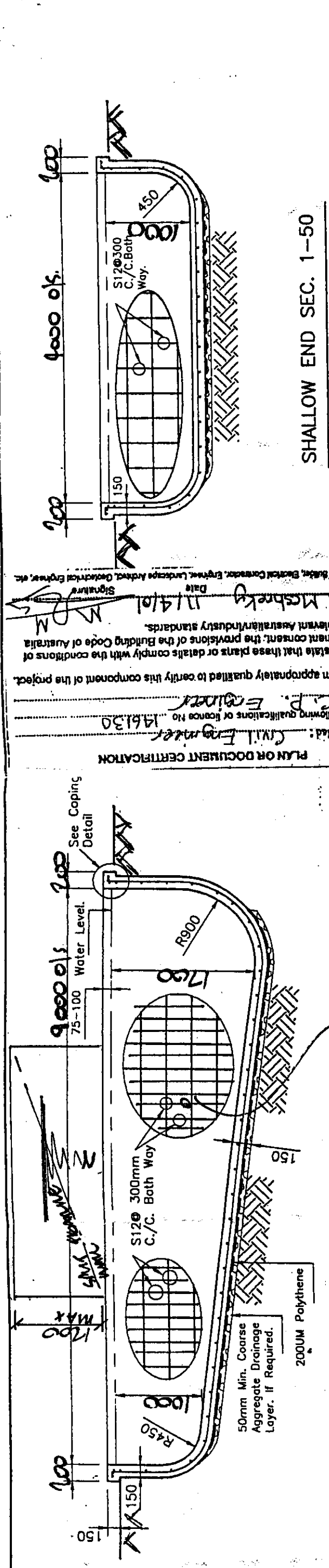


EXISTING 2 STOREY RESIDENCE

LANDSCAPE PLAN
1:100

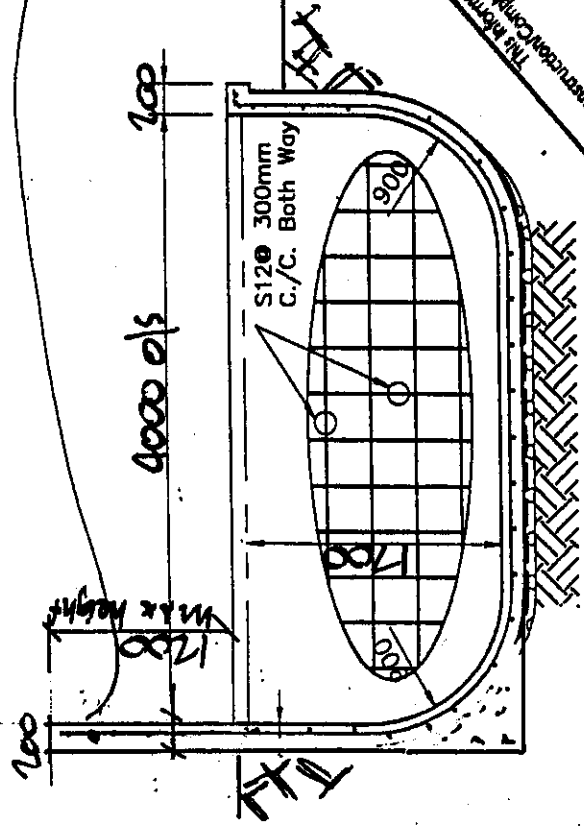
LANDSCAPE PLAN FOR
PROPOSED SWIMMING POOL FOR
LYNDON AND ANGELA FOLEY
16 MACPHERSON STREET WARRIEWOOD
DATE: JULY 2001 Dwg No: SA 284

PITTWATER COUNCIL CERTIFICATE
This landscape plan has been prepared to comply with and therefore interprets
Pittwater Councils Landscape Policy as at.....
Signed.....
Trish CARPENTER Adip Sc L'scape (Kyde)



LONGITUDINAL SEC. 1 - 50

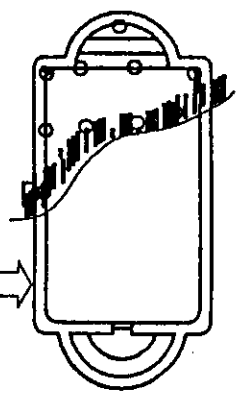
Provide extra steel to pool wall where split feature wall adopted + square pool cast as per each elev design



DEEP END SEC. 1-50

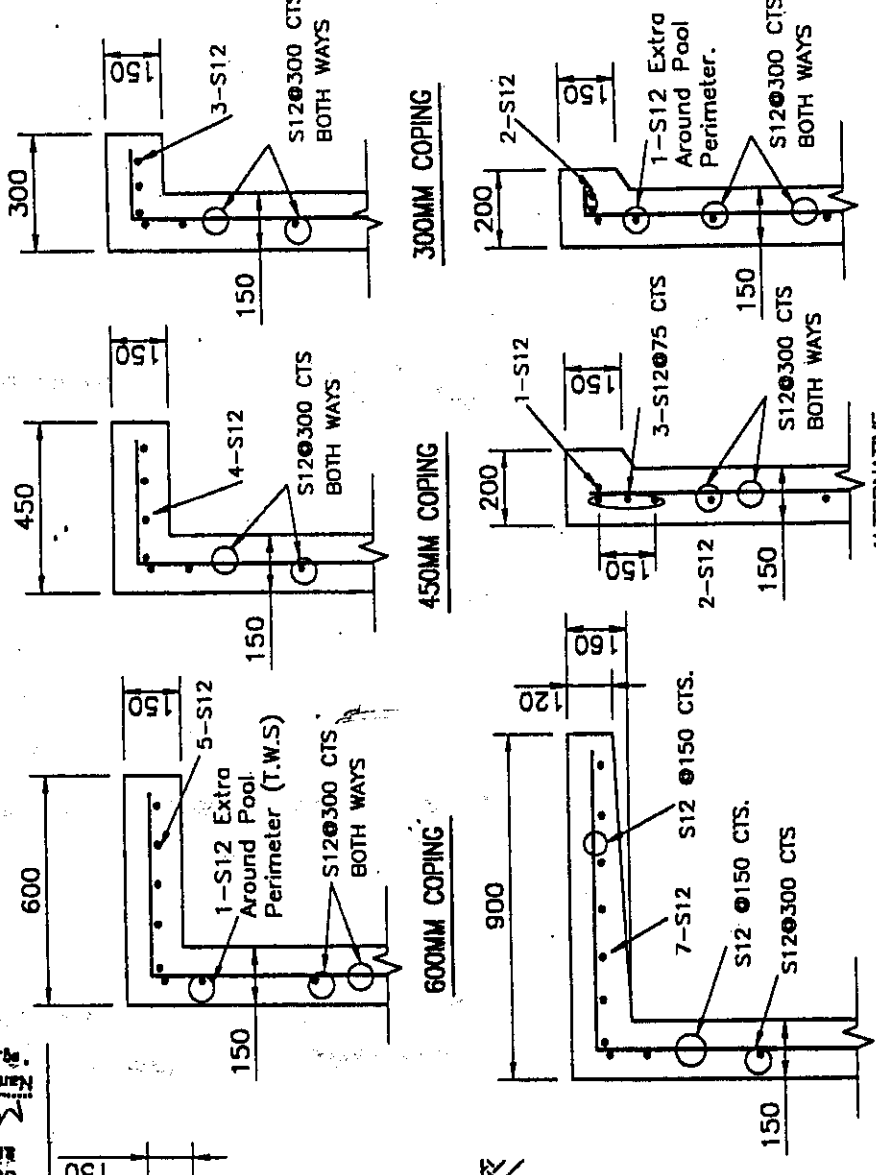
ALTERNATIVE IF REQUIRED

450mm Dia. PIERS @ 1.5m C/C Max. FOUNDED ON ROCK
 800 Kpa BEARING CAPACITY.
 A) WHERE POOL IS PARTIALLY ON ROCK.
 B) WHERE POOL IS ON FILLED GROUND.
 C) PIERS GREATER THAN 1.0m IN GROUND SHALL BE REINFORCED WITH 6-S12 VERTICAL BARS WITH R10 HOOPS



PLAN OR DOCUMENT CERTIFICATION
 I am a qualified: Civil Engineer Licence No. 146130
 I hold the following qualifications or licence No. 146130
 Further I am appropriately qualified to certify this component of the project.
 I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian industry standards.
 Name: Mohab Meshreky Date: 11/11/01
 Signature: [Signature]
 Reg. Licensed Under: Structural Engineer, Landscape Architect, Geotechnical Engineer, etc.

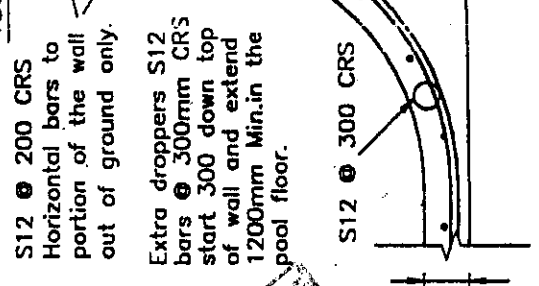
SHALLOW END SEC. 1-50



COPING DETAILS 1 - 20

POOL WALL DETAILS 1 - 25

- 1- WHERE POOL WALL 600MM OR MORE OUT OF GROUND
- 2- WHERE POOL WALL ADJACENT TO MAIN SEWER TRENCH
- 3- WHERE POOL WALL SUPPORT FILL OR LOOSE MATERIALS.



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NOTE:
 THIS DRAWING DOES NOT FORM ANY PART OF POOL CONTRACT.

MUTUAL POOLS PTY LIMITED
 A.B.N. 60 003 181 682
 826. Hume Highway (cnr Hector St.)
 Bass Hill N.S.W. 2197 Australia
 Telephone: (02) 9738 5566
 Facsimile: (02) 9738 5522

DOMESTIC & COMMERCIAL SWIMMING POOLS
 RENOVATIONS
 SOLAR HEATING
 CONSULTANCY
 BUILDERS LIC. No. 38227
 A.D.N. 60 003 181 682

PROJECT: **PROPOSED CONCRETE POOL**
 AT NO. **16 MACPHERSON STREET WARRIEWOOD**
 CLIENT: **MR & MRS FOLEY**
 JOP NO. **17077**
 DRAWN: **5**

PROPOSED CONCRETE POOL
 16 MACPHERSON STREET WARRIEWOOD
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 DRAWN: 5

MOHEB MESHREKY
 C.P. ENG. M.I.E. AUST.
 10 STOUT RD. MT. DRUITT
 PH: 96252122 MOB: 0414 622518
 DATE: 15/3/00

PIT/WATER COUNCIL
 MOHEB MESHREKY
 C.P. ENG. M.I.E. AUST.
 10 STOUT RD. MT. DRUITT
 PH: 96252122 MOB: 0414 622518
 DATE: 28 JUL 2001

SCALE: AS NOTED
 APPROVED: [Signature]
 TITLE: **SWIMMING POOL DETAILS** 2/3