

# DEVELOPMENT APPLICATION:

Manly National, 22 Central Avenue.

**COPYRIGHT**  
This drawing is the copyright of Urbaine Pty Ltd  
It is issued on condition that it is not to be copied or reproduced in any form  
or disclosed to any unauthorised person, either wholly, or in part without  
the express written consent of Urbaine Pty Ltd  
Do not scale from this drawing.  
This drawing is to be read in conjunction with all relevant architect's and  
engineer's drawings and specifications. Contractors must verify all  
dimensions / levels on site prior to construction and preparation of shop  
drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
Scan QR code or follow website link for rating details.  
Assessor name Martin Pinson  
Accreditation No. DMN/19/1921  
Property Address 22 Central Avenue, Manly  
NSW 2095  
hstar.com.au/QR/Generate?r=WzGbmQh



**CLIENT:** Body Corporate -  
ManlyNational

**DRAWING:**

**PROJECT:** Manly National,  
22 Central Avenue

**SCALE:**

**ISSUE:**  
**DWG. NO. URB001**

**urbaine**  
ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



PROPOSED AREA OF DEVELOPMENT WITHIN EXISTING 'MANLY NATIONAL BUILDING' SHOWN IN RED

01 LOCATION PLAN  
NTS

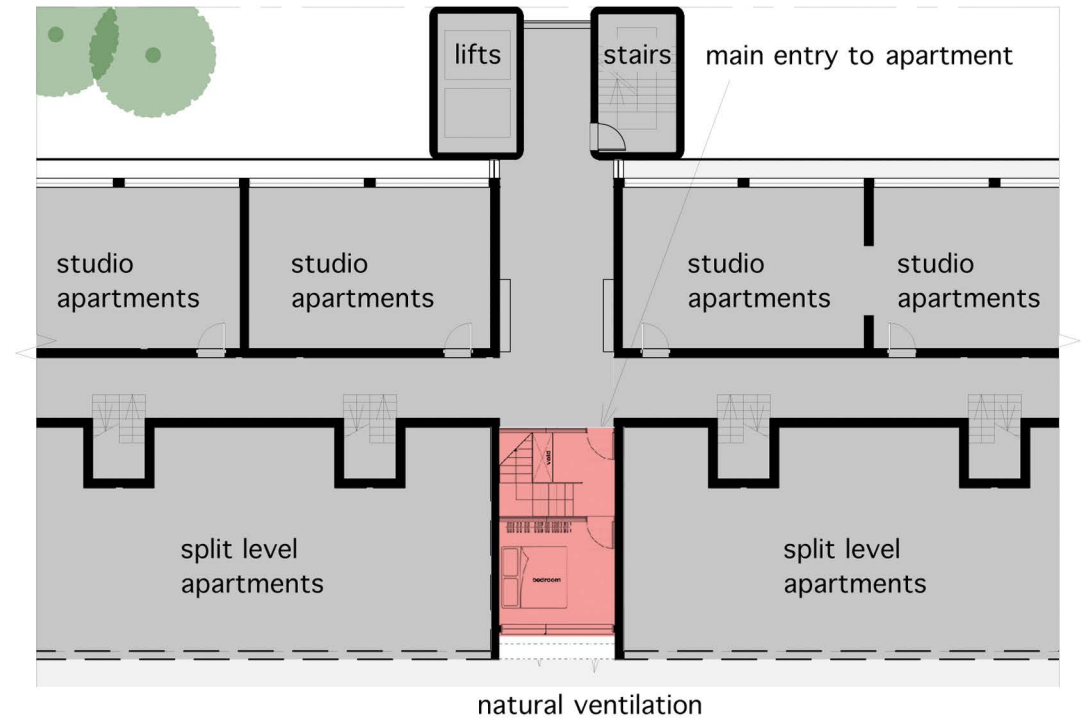
LOCATION OF PROPOSED DEVELOPMENT



02 LOCATION / SITE PHOTO  
VIEW FROM RAGLAN STREET / WEST ELEVATION

LEGEND:

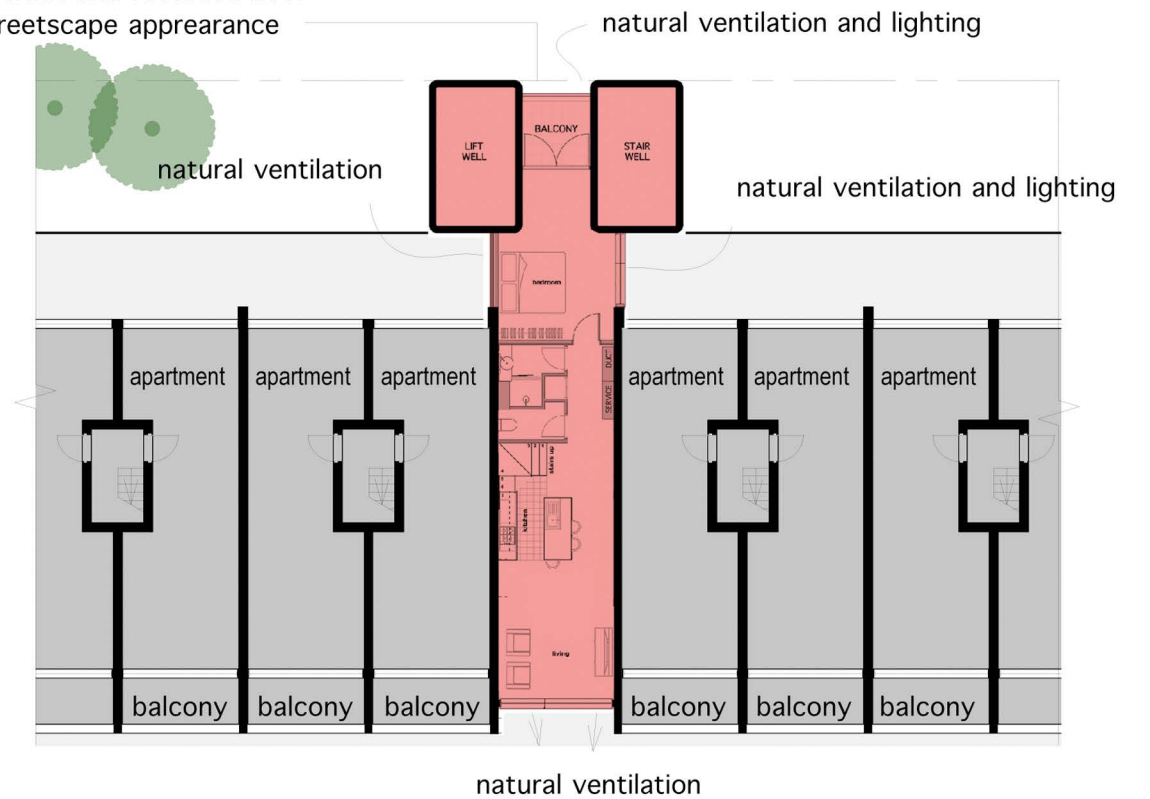
- FOOTPRINT BUILDING PODIUM
- FOOTPRINT BUILDING TOWER
- EXISTING BUILDING ON ADJACENT SITE
- AREA OF ALTS AND ADDS
- EXISTING VEGETATION
- CORRIDOR BEYOND



03 SITE ANALYSIS PLAN - UPPER LEVEL  
NTS



glass balustrade and recessed door to keep streetscape appearance



04 SITE ANALYSIS PLAN - LOWER LEVEL  
NTS



**COPYRIGHT**  
This drawing is the copyright of urbane pty ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of urbane pty ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**  
Scan QR code or follow website link for rating details.  
Assessor name: Martin Pinson  
Accreditation No. DMN/19/1921  
Property Address: 22 Central Avenue, Manly NSW, 2095  
hstar.com.au/QR/Generate?ip=WzGtbnQh

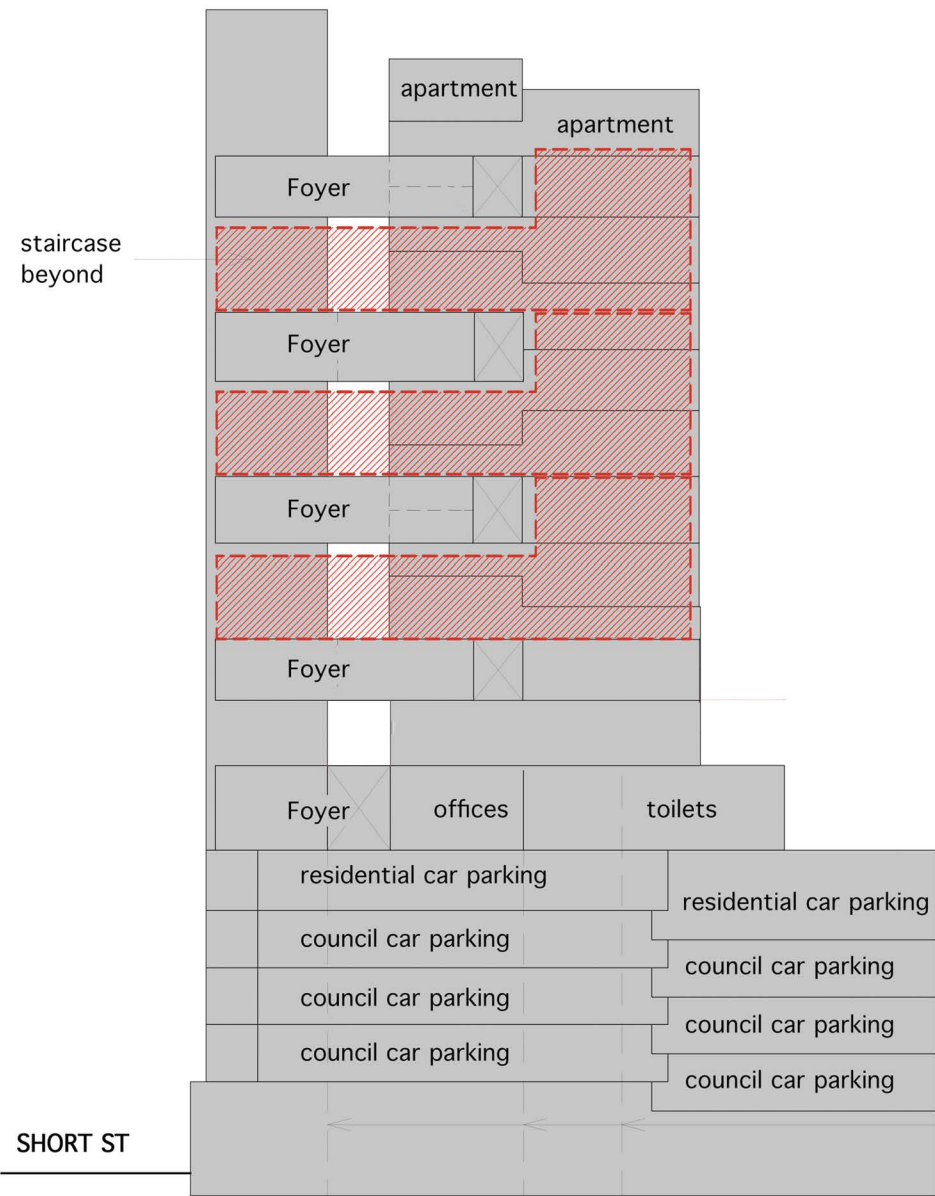
**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Location and Site Analysis

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

**ISSUE:** URB002  
**DWG. NO.:**

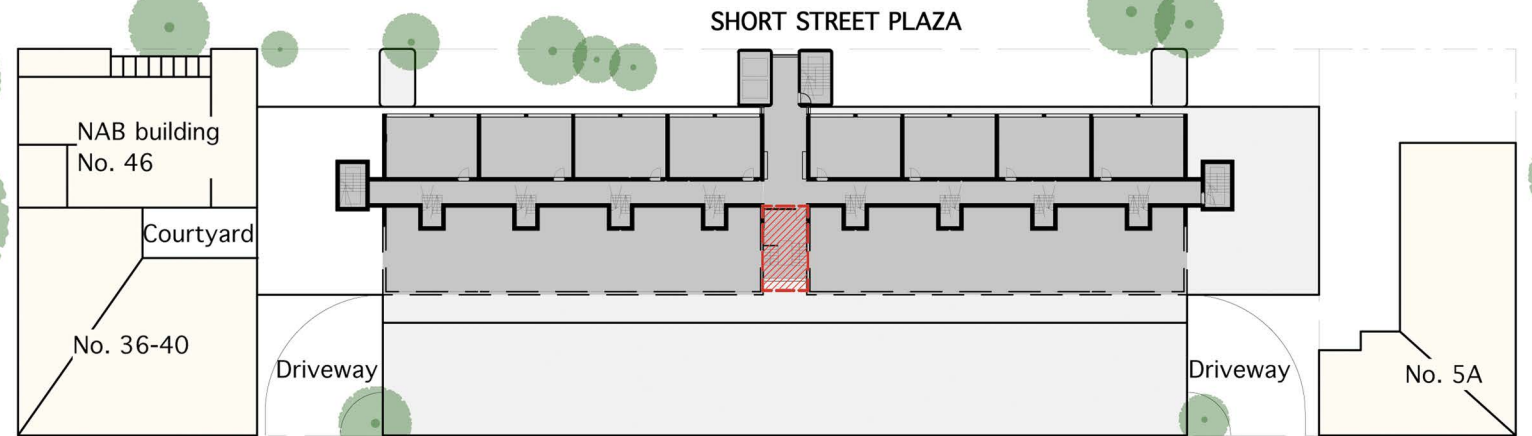
**urbaine**  
ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770

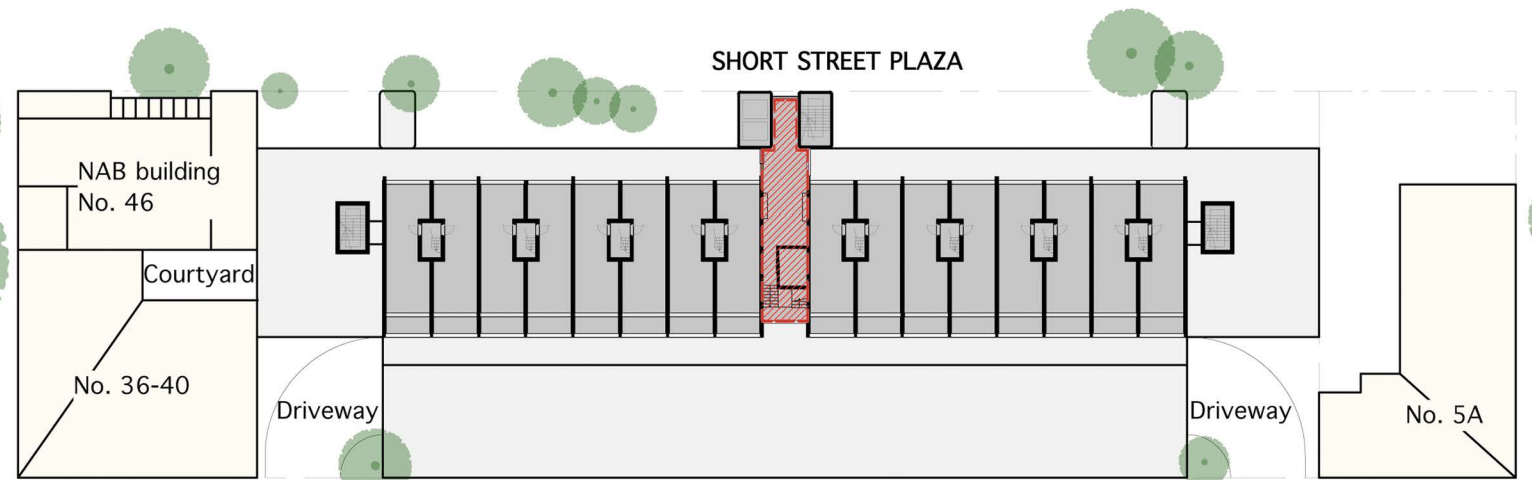


01 SITE SECTION THROUGH BUILDING  
NTS

outline of lift shaft  
shown dotted  
CENTRAL AVE



02 SITE PLAN - UPPER LEVEL  
NTS



03 SITE PLAN - LOWER LEVEL  
NTS

LEGEND:

- FOOTPRINT BUILDING PODIUM
- FOOTPRINT BUILDING TOWER
- EXISTING BUILDING ON ADJACENT SITE
- AREA OF ALTS AND ADDS
- EXISTING VEGETATION
- CORRIDOR BEYOND

**COPYRIGHT**  
This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
  
 Scan QR code or follow website link for rating details.  
 Assessor name: Martin Pinson  
 Accreditation No.: DMN/19/1921  
 Property Address: 22 Central Avenue, Manly, NSW, 2095  
 hstar.com.au/QR/Generate?r=WzG5bnQh

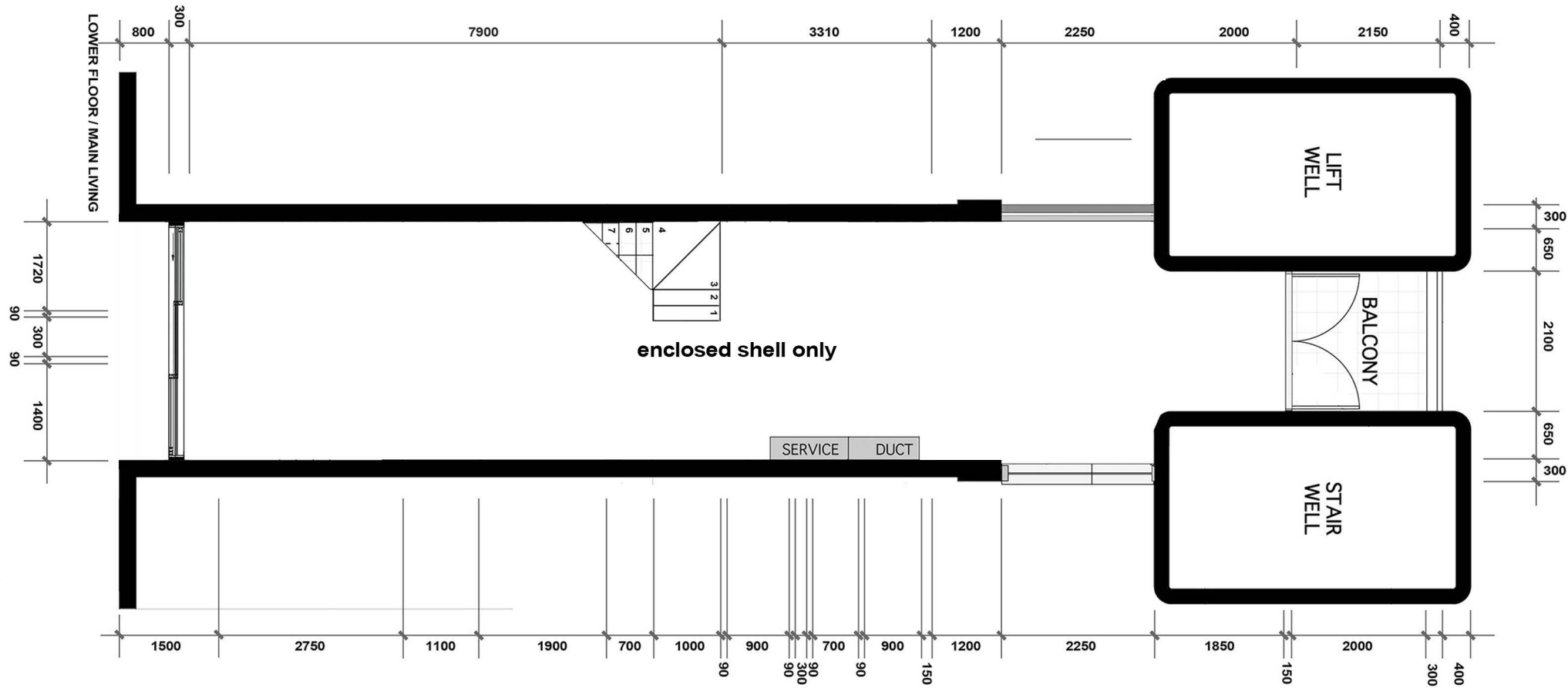
**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Site Plan and Section

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:** NTS @ A3

**ISSUE:** June 2024  
**DWG. NO.:** URB003

CENTRAL AVENUE

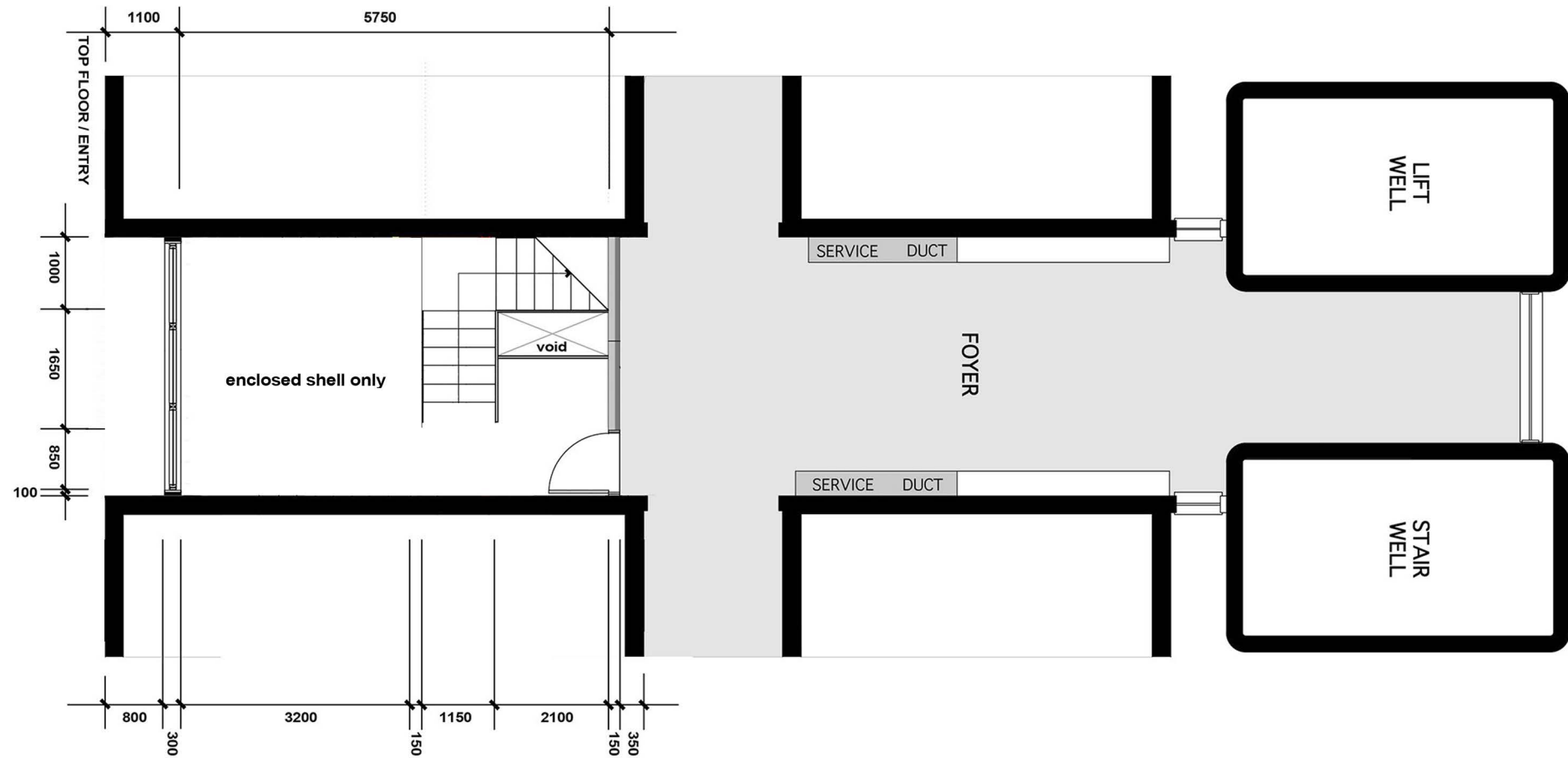
SHORT STREET



01 floor plan level 4

CENTRAL AVENUE

SHORT STREET



02 floor plan level 3

Lower Level Internal Area: 55.05sqm  
 Upper Level Internal Area: 19.8sqm  
 TOTAL Internal Area: 74.85sqm

**COPYRIGHT**  
 This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Martin Pinson  
 Accreditation No.: DMN/19/1921  
 Property Address: 22 Central Avenue, Manly NSW, 2095  
 hstar.com.au/QR/Generate?pr=WxGbnQR

**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:** 1:100 @ A3

**ISSUE:** June 2024  
**DWG. NO.:** URB004A

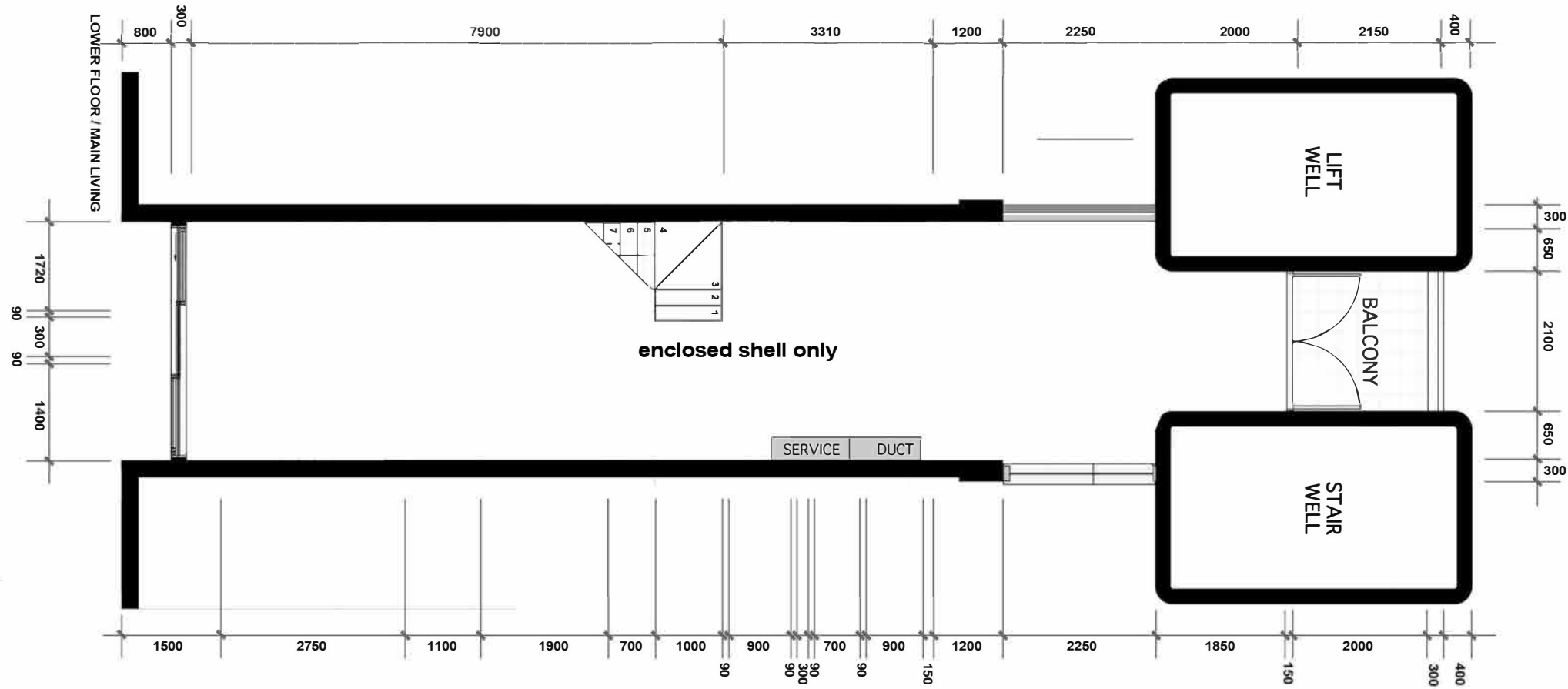
**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770

CENTRAL AVENUE

SHORT STREET

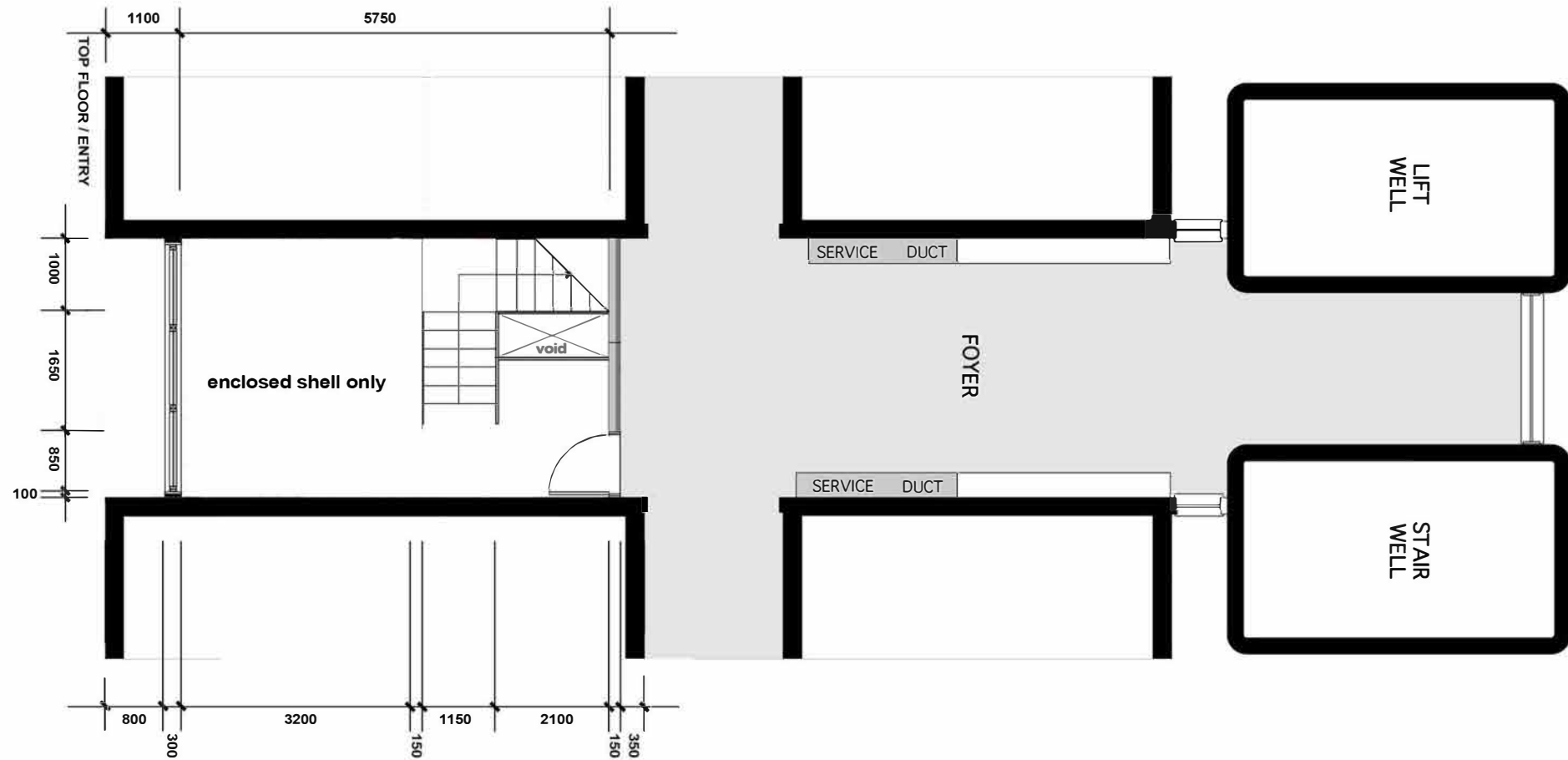
01 floor plan level 7



CENTRAL AVENUE

SHORT STREET

02 floor plan level 8



Lower Level Internal Area: 55.05sqm  
 Upper Level Internal Area: 19.8sqm  
 TOTAL Internal Area: 74.85sqm

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly NSW, 2095  
 /star.com.au/QR/Generate?ip=WzGt8nQh

**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:** 1:100 @ A3

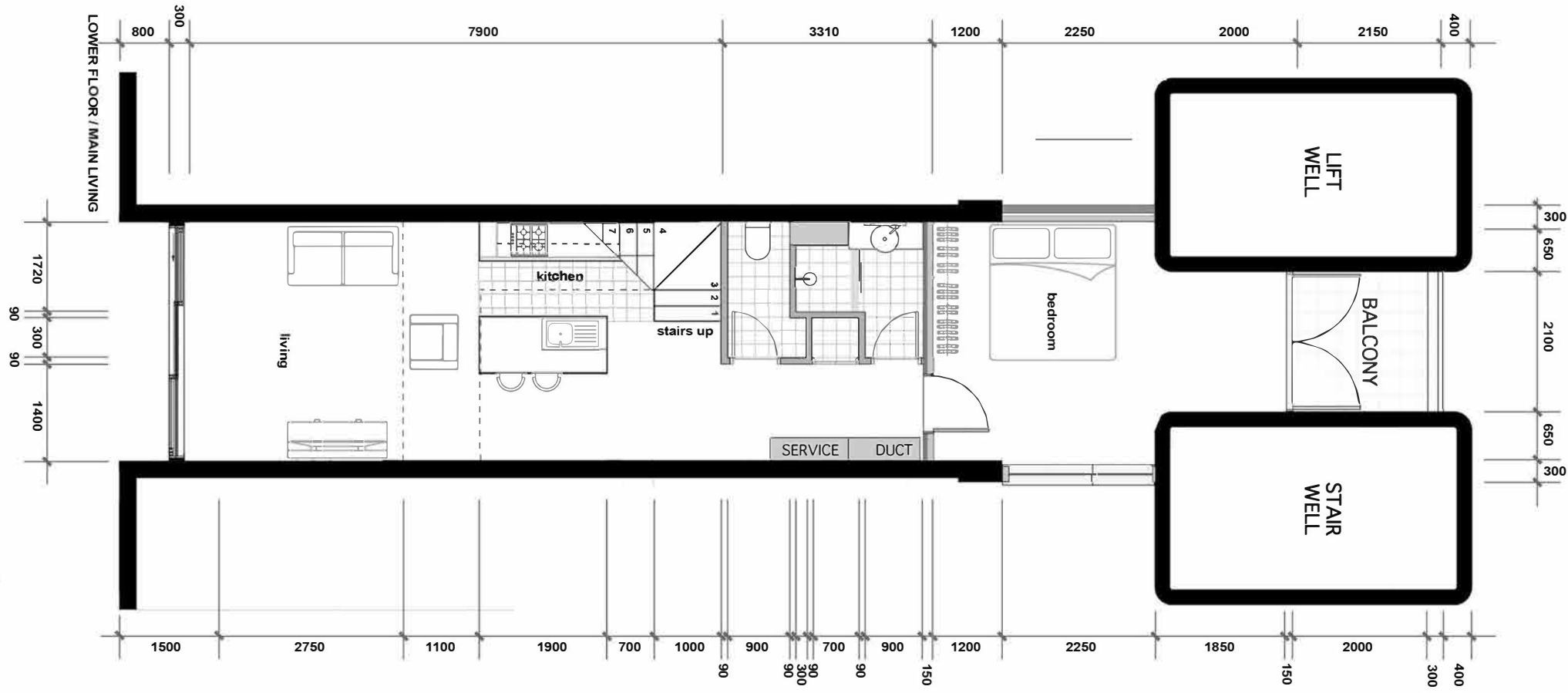
**ISSUE:** June 2024  
**DWG. NO.:** URB004B

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770

CENTRAL AVENUE

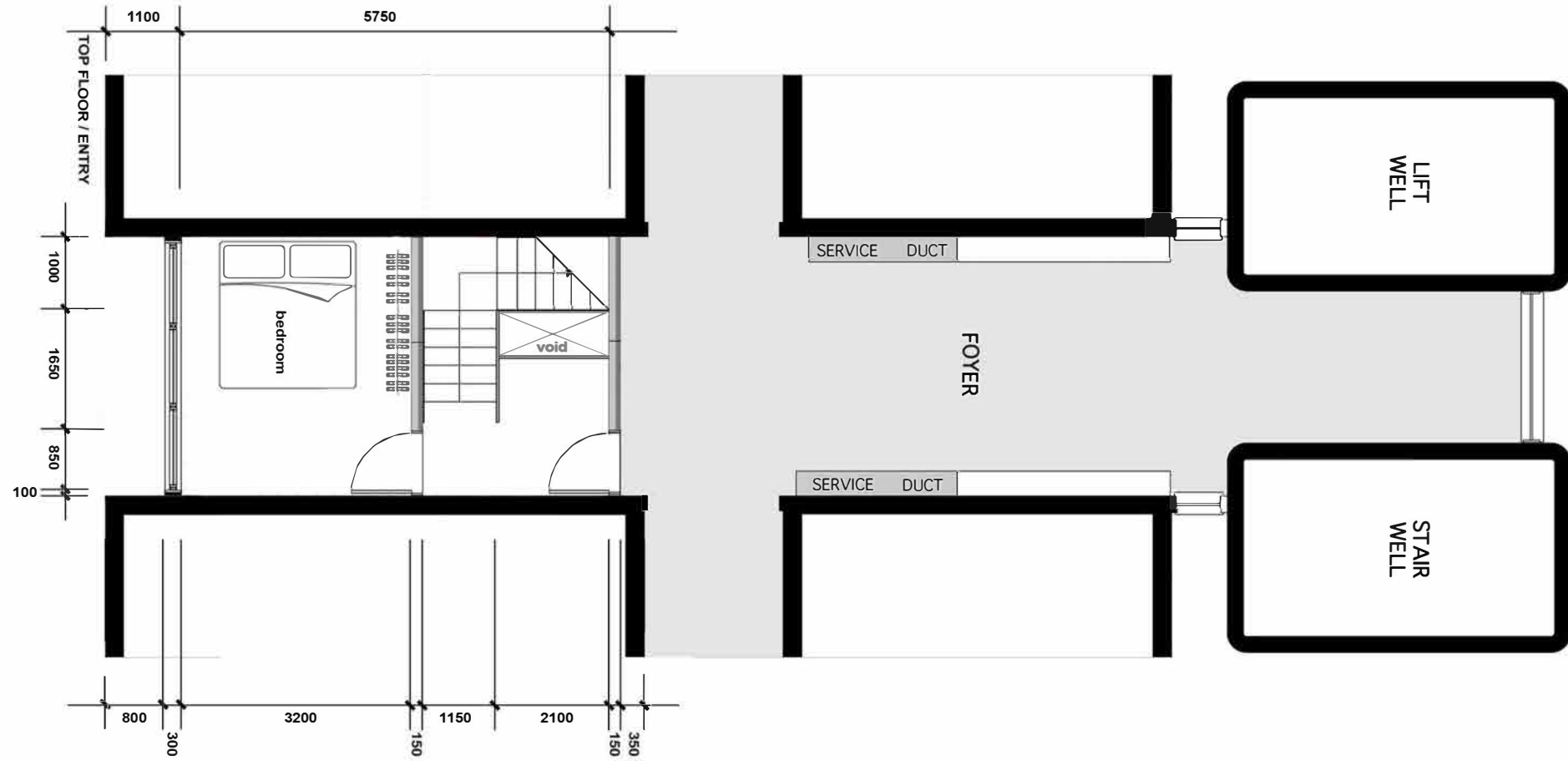
SHORT STREET



01 floor plan level 5

CENTRAL AVENUE

SHORT STREET



02 floor plan level 6

Lower Level Internal Area: 55.05sqm  
 Upper Level Internal Area: 19.8sqm  
 TOTAL Internal Area: 74.85sqm

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly NSW, 2095  
 hstar.com.au/QR/Generate?r=WzWzG5bnQh

**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:** 1:100 @ A3

**ISSUE:** June 2024  
**DWG. NO.:** URB004C

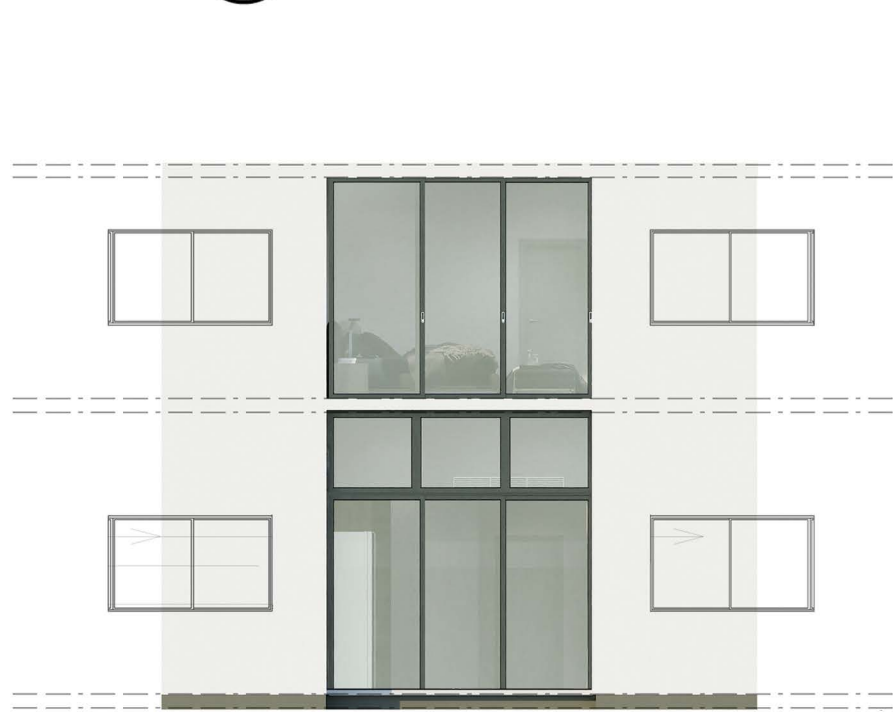
**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770

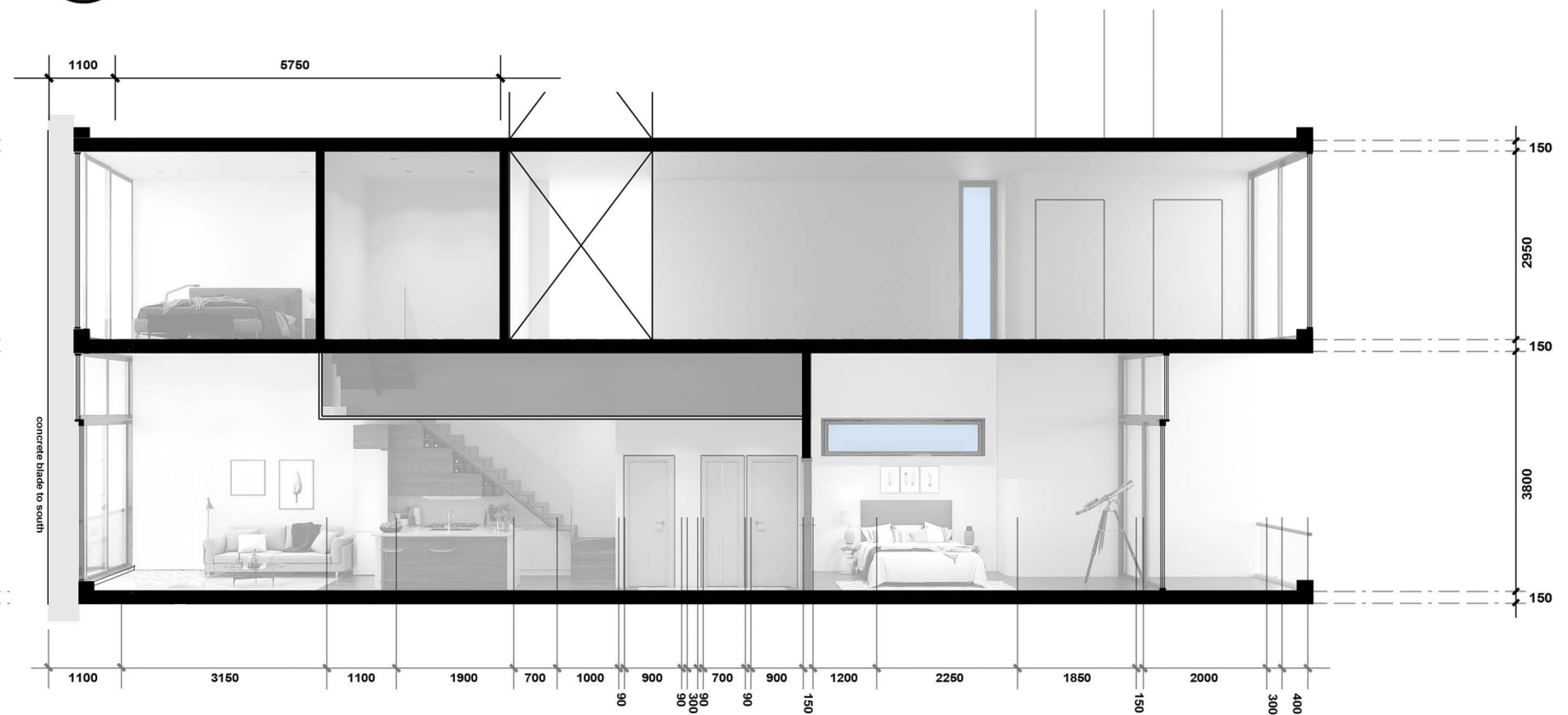


01 elevation west

03 section a-a



02 elevation east



04 section b-b

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorized person, either wholly, or in part without the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly NSW, 2095  
 hstar.com.au/QR/Generate?p=Wz:GlnbQh

**CLIENT:** Body Corporate - ManlyNational  
**Elevations and Sections**

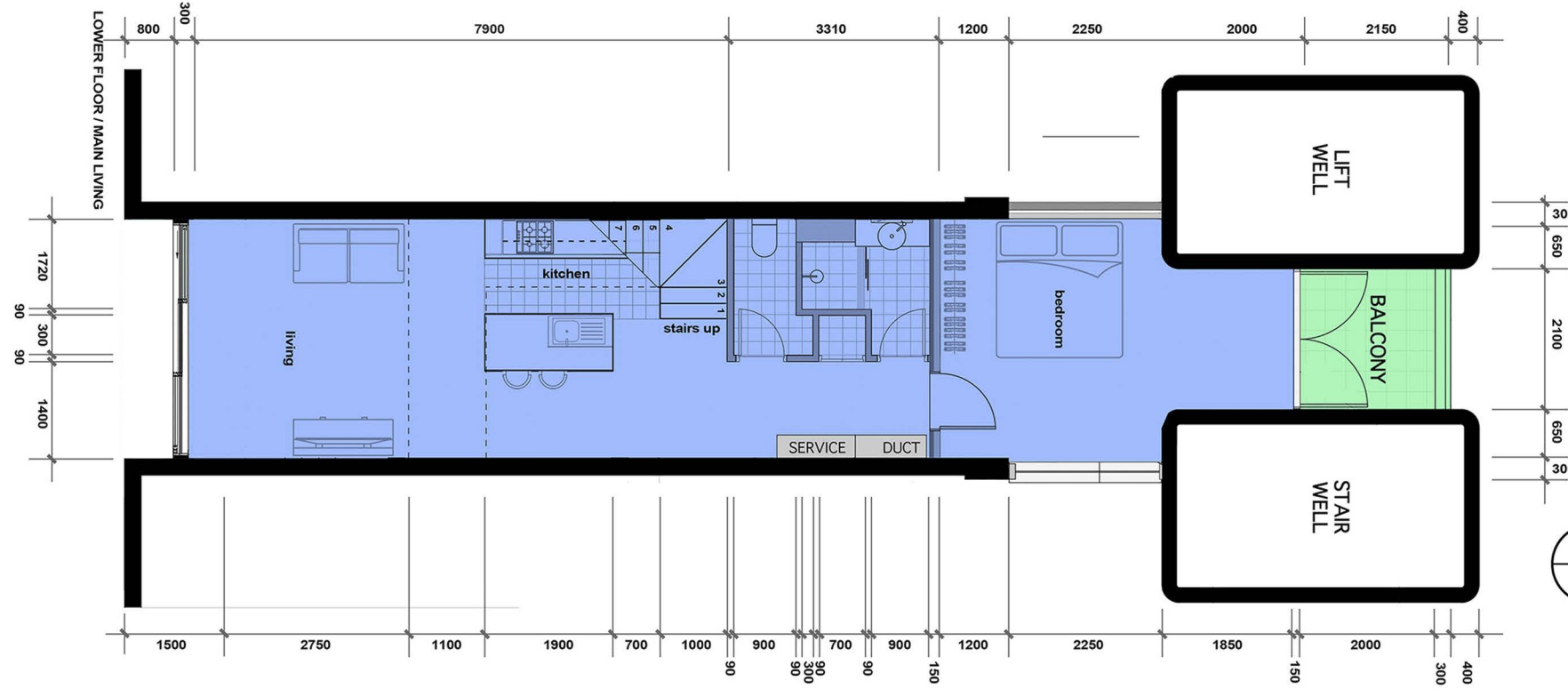
**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:** 1:100 @ A3

**ISSUE:** June 2024  
**DWG. NO.:** URB005

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770

CENTRAL AVENUE



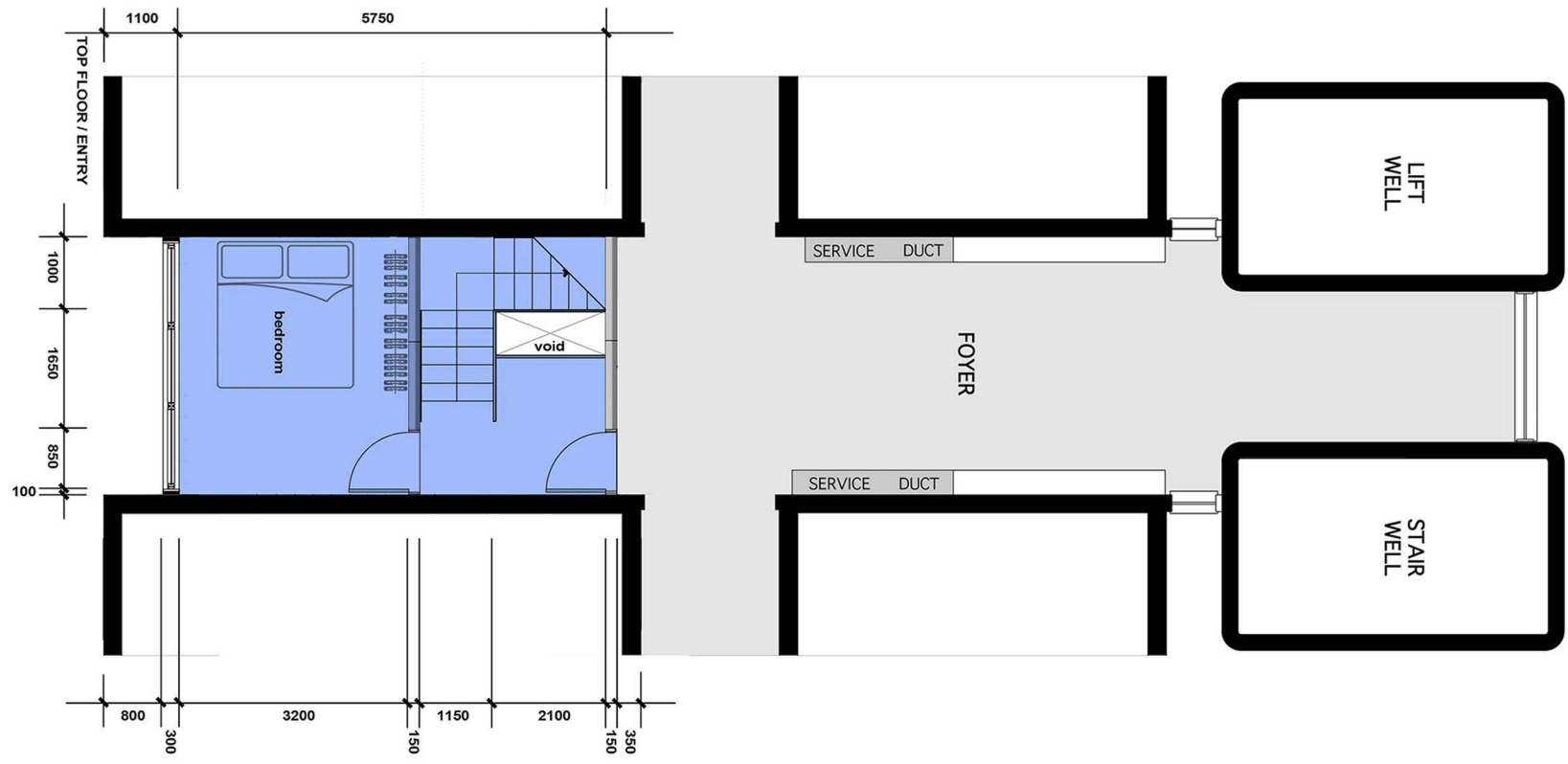
Lower Level Internal Area: 55.05sqm  
 Upper Level Internal Area: 19.8sqm  
 TOTAL Internal Area: 74.85sqm

Lower Level Balcony Area: 9.8sqm

01 floor plan lower level

BASIX Item - Water	Proposed Specifications
Rainwater Tank	No extra facilities are added
Rainwater Tank use	n/a
Stormwater Tank	None
Blackwater/Greywater reuse	None
Other reticulated water reuse	None
Fire Sprinklers	No extra facilities are added
Fire Sprinkler Test Water	No extra facilities are added
Showers	3 stars ≤ 9.0 L/min (higher flow in BASIX)
Toilets	4 stars
Kitchen Taps	4 stars
Bathroom Taps	4 stars
On demand hot recirculation	No
Clothes washers	4 stars WELS
Dishwashers	4 stars WELS
Planting & lawn (respectively)	No extra facilities are added
Planting – low water species	No extra facilities are added
Pools (no spa)	No extra facilities are added

CENTRAL AVENUE



02 floor plan upper level

BASIX Item - Energy	Proposed Specifications
Cooling for Living	1 phase AC – EER = 3.0 or better
Cooling for Beds	1 phase AC – EER = 3.0 or better
Heating for Living	1 phase AC – EER = 3.5 or better
Heating for Beds	1 phase AC – EER = 3.5 or better
AC zoning (day or night)	Not assessed with BASIX now
Bathroom Exhaust	Fan to façade/roof, manual on/off
Laundry Exhaust	Fan to façade/roof, manual on/off
Kitchen Exhaust	Fan to façade/roof, manual on/off
Lighting for Apartments – all rooms	80% of fittings in unit rooms are CFLs, fluorescent, LEDs
Cooking	Induction cooktop & electric oven
Vented fridge-spaces	Not assessed with BASIX
Fridges	Not assessed with BASIX
Dishwashers	4 stars energy
Dryers	7 stars energy
Hot Water	Instant electric individual systems
Hot Water Pipe Insulation	R1.0 to ringmain + supply risers (if central pipes)
PV Solar Power	Optional
BMS	Optional
PF, Power Factor Correction	Optional
Lifts	No extra facilities are added
Common washing	None
Common drying	None
Clothes lines private	No extra facilities are added

NATHERS - Thermal Comfort	Proposed Specifications
External Walls 1	Concrete wall with R2.5 added (main walls)
External Walls 2	FC/metal cladding with R2.5 added
Wall thermal breaks	R0.2 added thermal break for all steel studs near external walls
Party walls 1	Concrete walls, lined plasterboard + optional insulation
Party walls 2	Framed walls, lined plasterboard + optional insulation
Unit Walls next to halls/lobbies	Plasterboard + R2.0 acoustic insulation
Walls next to lifts	Concrete ≥150mm and plasterboard + optional acoustic insulation
Walls next to stairs	Concrete ≥150mm and plasterboard + optional acoustic insulation
Internal Walls (Units)	Plasterboard on Studs
Internal Floors	Concrete floors, with plasterboard below
External Floors	Concrete slab – 3 units are above units or lobbies
Floor Finishes (defaults used)	Tiles – wet areas, timber - bedrooms, timber – living/dining
Roofs - below neighbour	Concrete roof / ceiling and some drop ceiling
Roof Colour	Light colour
Skylights	Not applicable
Ceilings fans – main zones	Add to main living and beds 1400 diam or more (3 total)
Window Openings	Openings as shown (and assume fixed if hidden)
Window Shading	Eaves and overhangs + Screens as shown
Weather Stripping	Used for all external doors and windows
Ceiling Penetrations Lights	LED downlights: generic holes, as per NATHERS protocol (TBC at CC)
Ceiling Penetrations Fans	Wet area fans: generic holes as per NATHERS protocol (TBC at CC)
Windows (see types below)	Aluminium frames and double-glazing (medium/light tint)
1. Window (AWNING/HINGE)	Aluminium frames and double-glazed with tinting
Windows - U-value	≤ 3.0 for awning/hinge
Windows – SHGC	0.26 to 0.28 awning/hinge
2. Windows (FIXED GLAZING or SLIDER)	Aluminium frames and double-glazed with tinting
Windows - U-value	≤ 2.0 for fixed/slider
Windows – SHGC	0.29 to 0.33 for fixed/slider

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing.  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**  
 \_\_\_\_\_  
**NOTES**  
 \_\_\_\_\_

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095  
 hstar.com.au/QR/Generate?r=WzG6v0iQR

**CLIENT:** Body Corporate -  
 ManlyNational  
**DRAWING:** Floor Areas

**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:** 1:100 @ A3

**ISSUE:** June 2024  
**DWG. NO.:** URB006



urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8356 6770





22 Central Avenue East Elevation

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095  
 hstar.com.au/QR/Generate?r=WzGlnbQh

**CLIENT:** Body Corporate -  
 ManlyNational  
**DRAWING:** East Elevation

**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO. URB007**

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



22 Central Avenue West Elevation

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**  
 \_\_\_\_\_  
**NOTES**  
 \_\_\_\_\_

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095  
 hstar.com.au/QR/Generate?pw=WzGbxrQh



**CLIENT:** Body Corporate -  
 ManlyNational  
**DRAWING:** West Elevation

**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:** \_\_\_\_\_

**ISSUE:** \_\_\_\_\_  
**DWG. NO.:** URB008



urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



existing photo



photomontage of new proposal

view from southern end of central avenue

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095  
 hstar.com.au/QR/Generate?w=WzGbnQh

**CLIENT:** Body Corporate -  
 ManlyNational  
**DRAWING:** Photomontage 1

**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:**

**ISSUE:**  
 DWG. NO. URB010

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



existing photo



photomontage of new proposal

view from mid-point of central avenue

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095  
 hstar.com.au/QR/Generate?p=WzGtbnQR



**CLIENT:** Body Corporate -  
 ManlyNational  
**DRAWING:** Photomontage 2

**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:**

**ISSUE:**  
 DWG. NO. URB010

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



existing photo



photomontage of new proposal

view from northern end of central avenue

**COPYRIGHT**  
 This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly NSW, 2095  
 hstar.com.au/QR/Generate?y=WzGbnQR

**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Photomontage 3

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

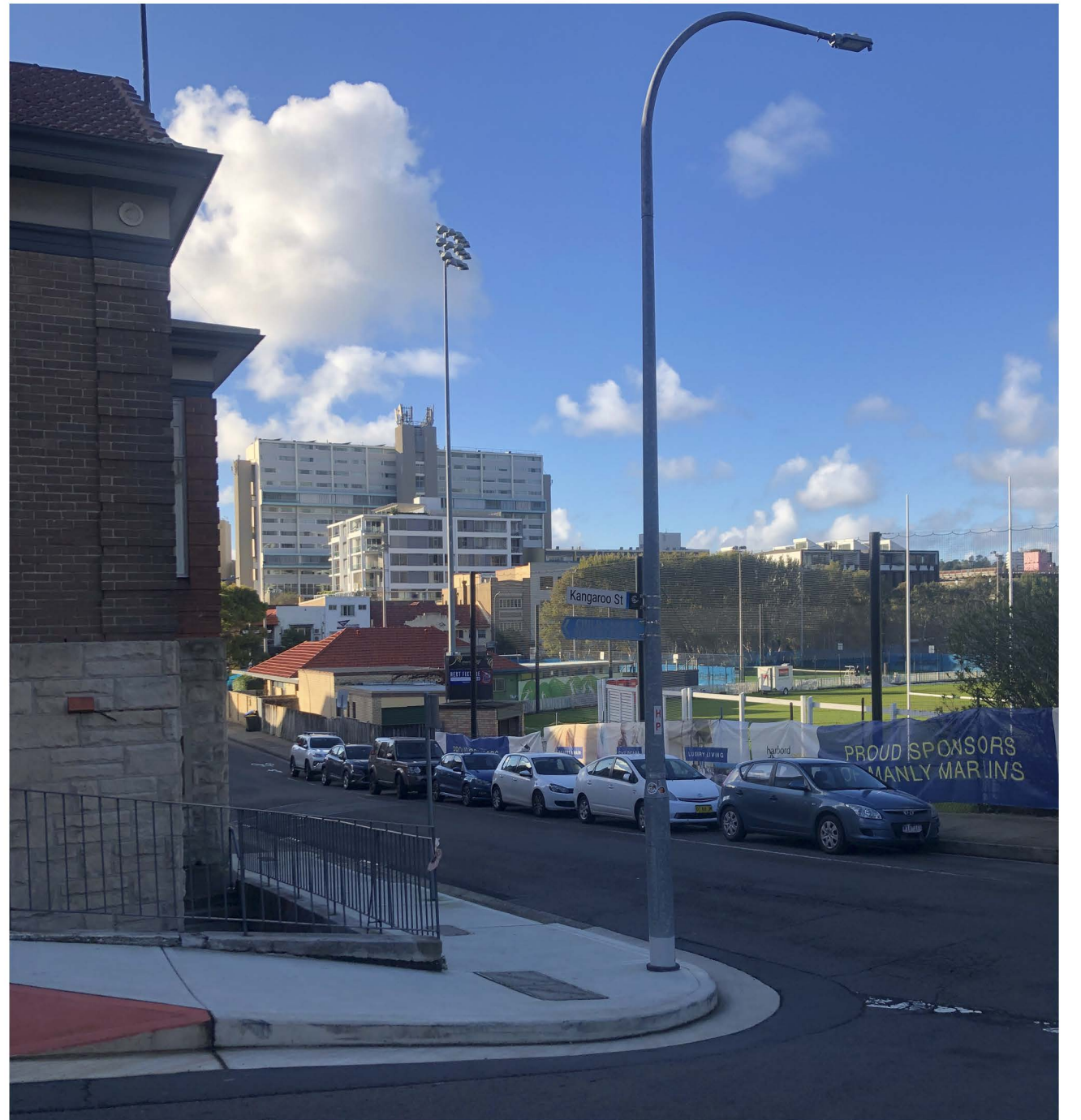
**ISSUE:**  
**DWG. NO. URB010**

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



existing photo



photomontage of new proposal

view from raglan street

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing.  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095  
 hstar.com.au/QR/Generate?r=WzGibmQH



**CLIENT:** Body Corporate -  
 ManlyNational  
**DRAWING:** Photomontage 4

**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO. URB012**

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



existing photo



photomontage of new proposal

view from sydney road

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing.  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095  
 hstar.com.au/QR/Generate?p=WzGtbnQR



**CLIENT:** Body Corporate -  
 ManlyNational  
**DRAWING:** Photomontage 5

**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:**

**ISSUE:**  
 DWG. NO. URB013

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



existing photo - no impact from new proposal

view from beach at end of the corso

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing.  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095  
 hstar.com.au/QR/Generate?r=WzGibmQh



**CLIENT:** Body Corporate -  
 ManlyNational  
**DRAWING:** Photomontage 6

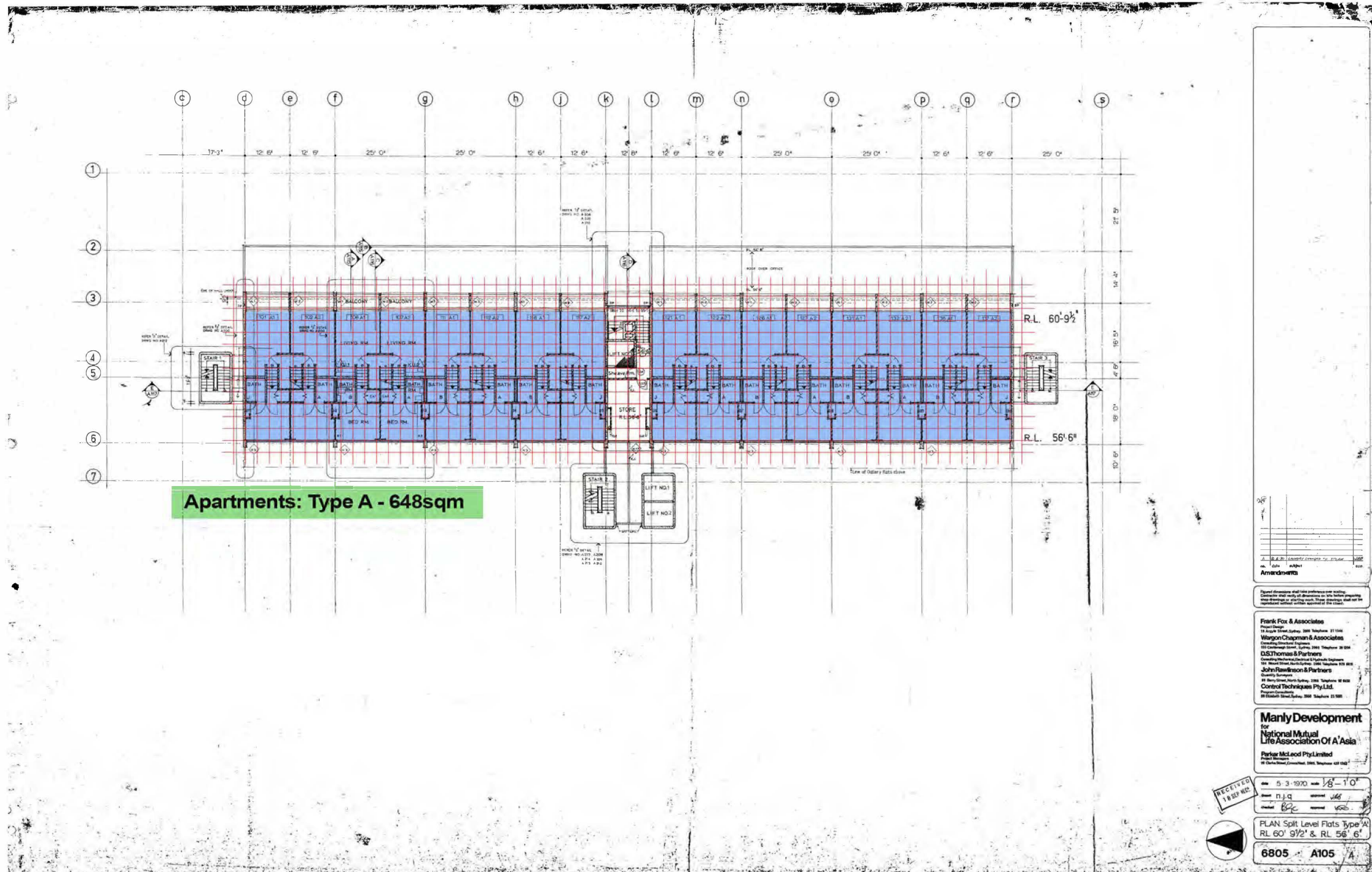
**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO. URB014**

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770





**Apartments: Type A - 648sqm**

**Amendments**

Frank Fox & Associates  
 Wagon Chapman & Associates  
 G&S Thomas & Partners  
 John Rawlinson & Partners  
 Condon Technologies Pty Ltd

**Manly Development for National Mutual Life Association Of A Asia**  
 Parker McLeod Pty Limited

5-3-1920 1/8" = 1'-0"  
 n.j.q. vsc  
 B.R. vsc

PLAN Split Level Flats Type A  
 R.L. 60' 9/2" & R.L. 56' 6"

6805 A105

## GFA calculations

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.

Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly NSW 2095

hstar.com.au/QR/Generate?r=WzGbnQh

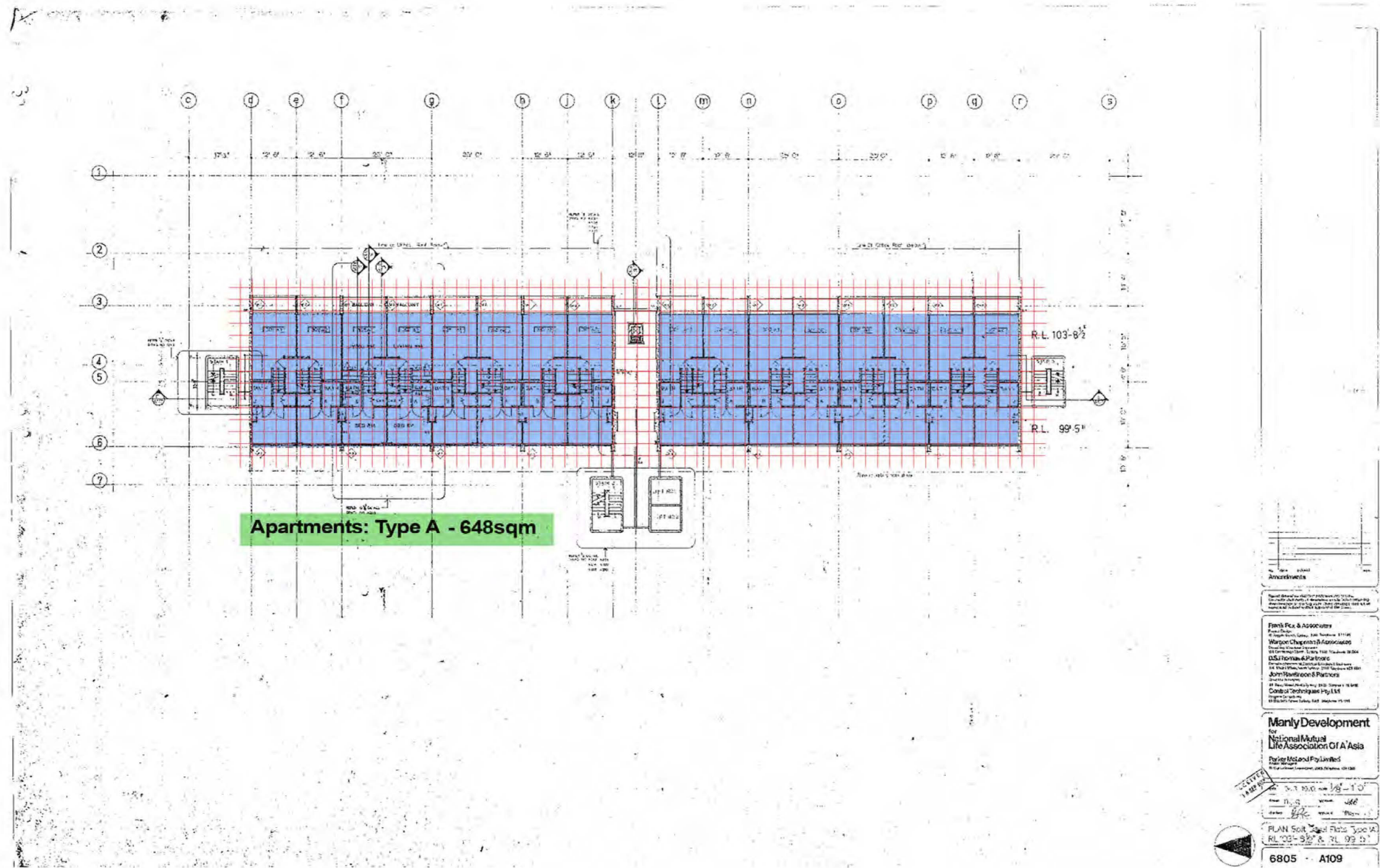
**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO.**

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



## GFA calculations

**COPYRIGHT**  
 This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions/levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address: 22 Central Avenue, Manly NSW, 2095  
 hstar.com.au/QR/Generate?w=ZGtbnQh



**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

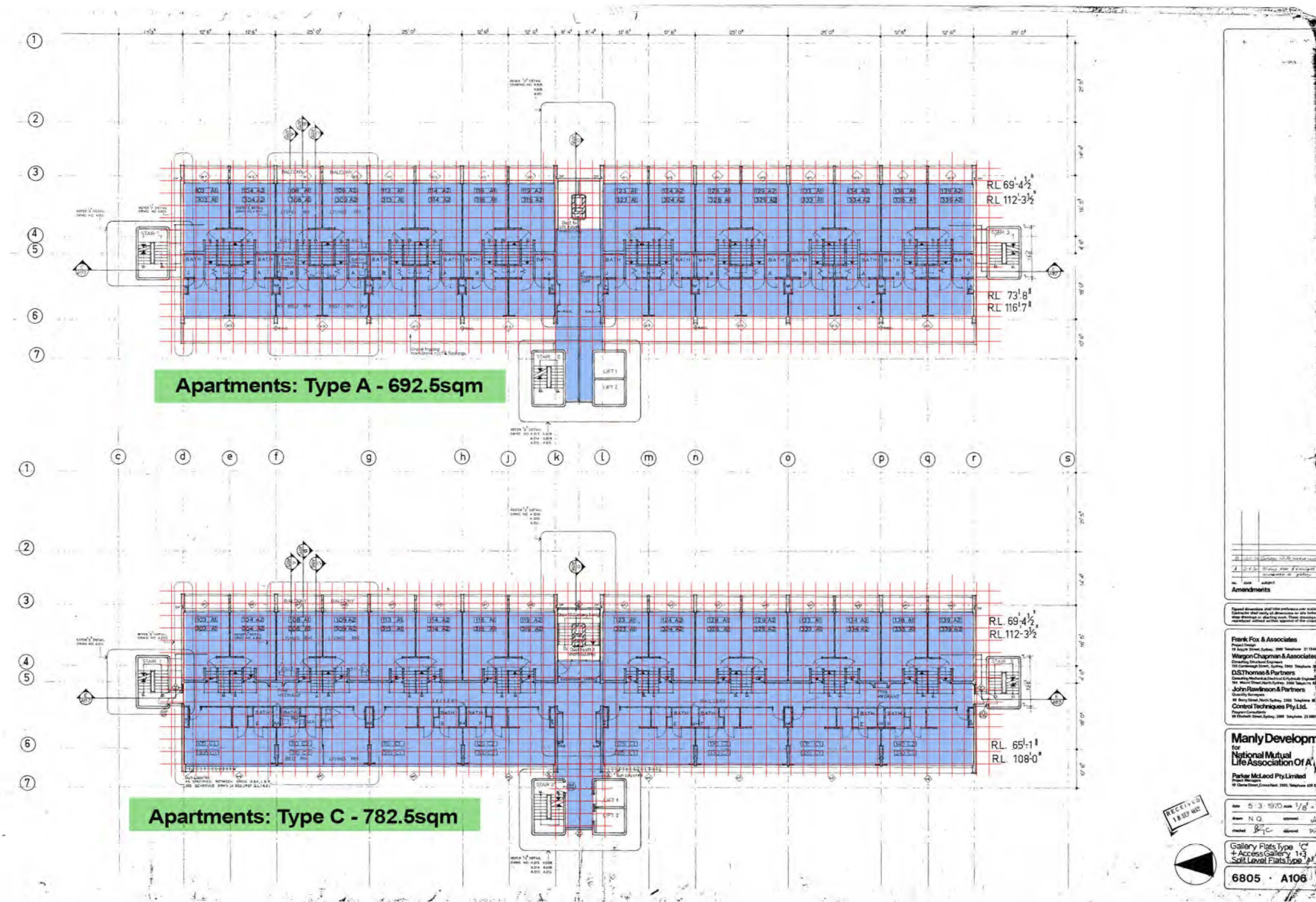
**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO.**

**MANLY NATIONAL**  
 PLAN Scale of Flats Type A  
 RL 103'-8 1/2" & RL 99'-5"  
 6805 - A109



urbaine pty ltd . 6/15, The Corso, Manly, NSW 2095: Tel: 02 8355 6770



**Amendments**

Frank Fox & Associates  
 11 South Street, Sydney, NSW 2000  
 Wagon Chagnier & Associates  
 100 Campbell Street, Sydney, NSW 2000  
 D.S. Thomas & Partners  
 101 Macquarie Street, Sydney, NSW 2000  
 John Henderson & Partners  
 101 Macquarie Street, Sydney, NSW 2000  
 Control Techniques Pty Ltd.  
 101 Macquarie Street, Sydney, NSW 2000

**Manly Develop**  
 for National Mutual Life Association of A

Patric McLeod Pty Limited  
 101 Macquarie Street, Sydney, NSW 2000

REVISED 18/07/20

Scale: 1:100  
 Model: B-C

Gallery Flats Type C  
 + Access Gallery 1+3  
 Split Level Flats Type C

6805 - A106

# GFA calculations

**COPYRIGHT**  
 This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**

Scan QR code or follow website link for rating details.

Assessor name: Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address: 22 Central Avenue, Manly NSW 2095

hstar.com.au/QR/Generate?r=WxGbnQR

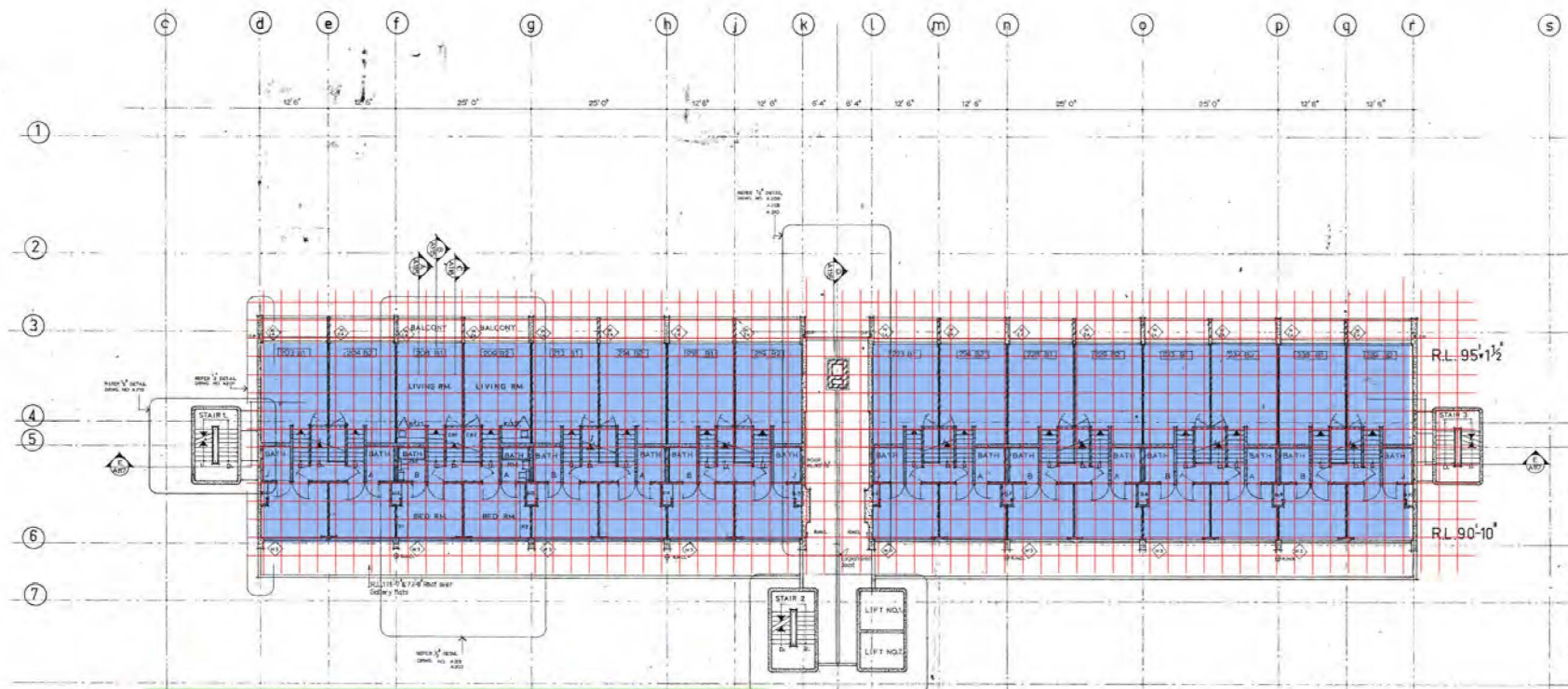
**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO.:**

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8356 6770



**Apartments: Type B - 648sqm**

Amendments

Frank Fox & Associates  
 15 Kings Street, Sydney, NSW Telephone: 21 1344  
 Wargon Chapman & Associates  
 100/100 North Sydney Road, Sydney, NSW Telephone: 21 1344  
 D.J. Thomas & Partners  
 Consulting Engineers, Structural & Foundation Engineers  
 100/100 North Sydney Road, Sydney, NSW Telephone: 21 1344  
 John Rawlinson & Partners  
 Consulting Engineers  
 100/100 North Sydney Road, Sydney, NSW Telephone: 21 1344  
 Control Techniques Pty. Ltd.  
 Project Completion  
 100/100 North Sydney Road, Sydney, NSW Telephone: 21 1344

Manly Development  
 for  
 National Mutual  
 Life Association of A'Asia  
 Parker MacLeod Pty. Limited  
 Project Completion  
 100/100 North Sydney Road, Sydney, NSW Telephone: 21 1344

REVISIONS

DATE: 18/10/10

SCALE: 1/8" = 1'-0"

PROJECT: Manly National, 22 Central Avenue

ISSUE: DWG. NO.

Plan Split Level Flats Type 'B'

6805 · A107

# GFA calculations

**COPYRIGHT**  
 This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**

Scan QR code or follow website link for rating details.

Assessor name: Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address: 22 Central Avenue, Manly NSW, 2095

hstar.com.au/QR/Generate?P=WzGibnQh

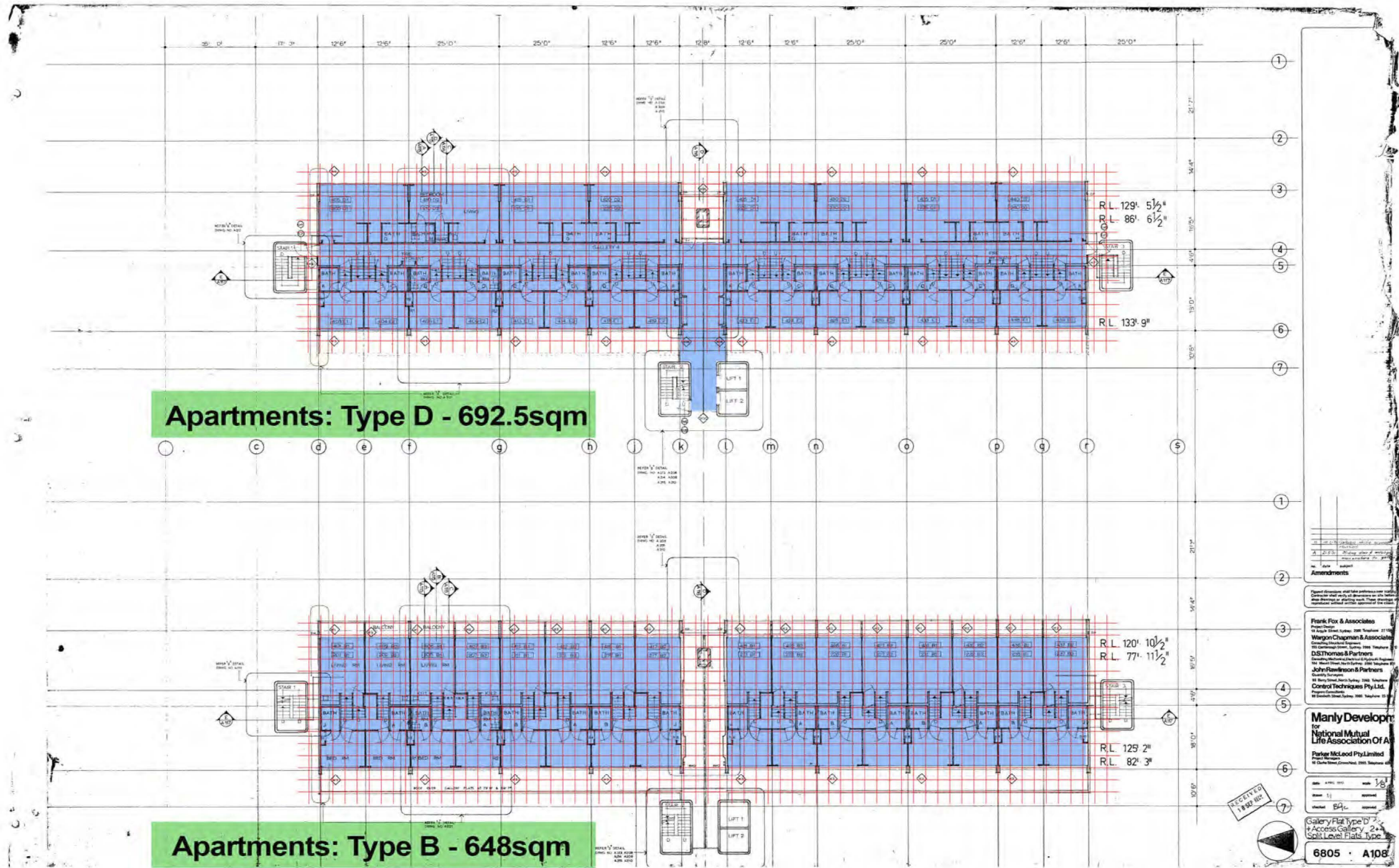
**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

**ISSUE:** DWG. NO.



urbaine pty ltd · 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



## GFA calculations

**COPYRIGHT**  
 This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address: 22 Central Avenue, Manly NSW, 2095  
 hstar.com.au/QR/Generate?r=WzGbmQh

**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO.:**

**urbaine**  
 ARCHITECTURE

urbaine pty ltd / 6/15, The Corso, Manly, NSW 2095. Tel: 02 8356 6770



## GFA calculations

**COPYRIGHT**  
 This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Martin Pinson  
 Accreditation No. DMN19/1921  
 Property Address: 22 Central Avenue, Manly NSW, 2095  
 hstar.com.au/QR/Generate?r=WzGbnGh

**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO.:**

**urbaine**  
 ARCHITECTURE

urbaine pty ltd / 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



**Amendments**

Frank Fox & Associates  
 Wagon Chapman & Associates  
 D.S. Thomas & Partners  
 John Rawlinson & Partners  
 Condon Techniques Pty Ltd

**Manly Development**  
 National Mutual Life Association of Asia  
 Parker MacLeod Pty Ltd

RECEIVED  
 15 SEP 2015  
 3 1970 1/8" = 1' 0"  
 NO 161  
 6805 - A104 E

## GFA calculations

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd  
 It is issued on condition that it is not to be copied or reproduced in any form  
 or disclosed to any unauthorised person, either wholly, or in part without  
 the express written consent of urbane pty ltd  
 Do not scale from this drawing  
 This drawing is to be read in conjunction with all relevant architect's and  
 engineer's drawings and specifications. Contractors must verify all  
 dimensions / levels on site prior to construction and preparation of shop  
 drawings.

**REVISIONS**

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address 22 Central Avenue, Manly  
 NSW, 2095

hstar.com.au/QR/Generate?r=WzGbnQR

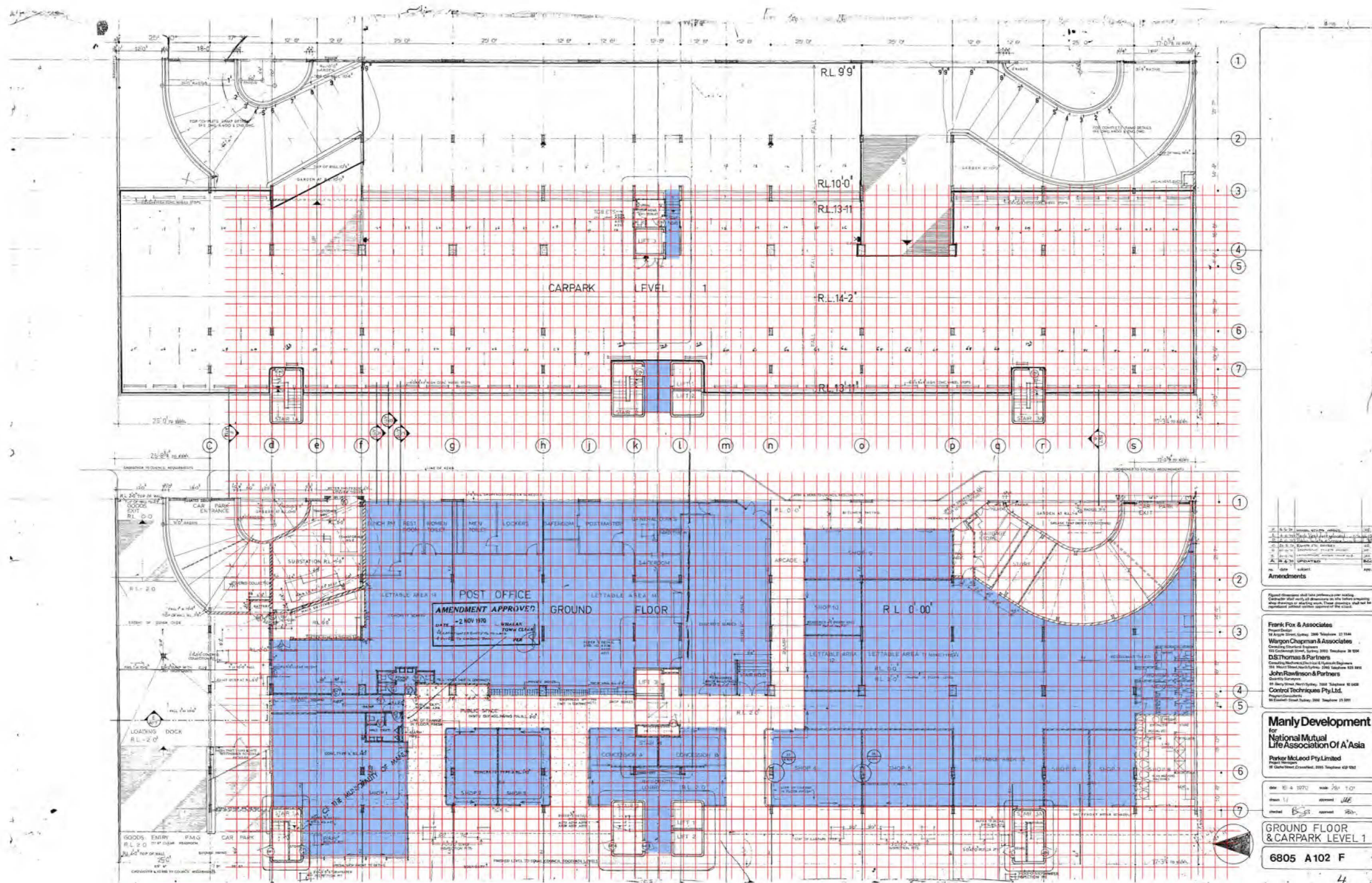
**CLIENT:** Body Corporate -  
 ManlyNational  
**Floor Plans**

**PROJECT:** Manly National,  
 22 Central Avenue  
**SCALE:**

**ISSUE:**  
 DWG. NO.

**urbaine**  
 ARCHITECTURE

urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770



**level 1 : Retail - 1504.5sqm**

## GFA calculations

Amendments	
1	Initial Issue
2	Revised
3	Revised
4	Revised
5	Revised
6	Revised
7	Revised

<b>Frank Fox &amp; Associates</b> Project Group 15 High Street, Sydney, NSW 2000 Wagon Chapman & Associates 100 George Street, Sydney, NSW 2000 D&S Thomas & Partners 100 Wood Street, Sydney, NSW 2000 John Rawlinson & Partners 100 Victoria Street, Sydney, NSW 2000 Control Techniques Pty Ltd 100 Victoria Street, Sydney, NSW 2000	<b>Manly Development</b> National Mutual Life Association of A'Asia Parker McLeod Pty Limited 100 Victoria Street, Sydney, NSW 2000
--	--

DATE	10/10/2020	SCALE	AS SHOWN
DRAWN	ME	CHECKED	ME
PROJECT	6805 A102 F	ISSUE	1

**COPYRIGHT**  
 This drawing is the copyright of urbane pty ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorised person, either wholly, or in part without the express written consent of urbane pty ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
 1  
 2  
 3  
 4  
 5  
 6  
 7

**NOTES**

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Martin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address: 22 Central Avenue, Manly NSW 2095  
 hstar.com.au/QR/Generate?pw=QibnQh

**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

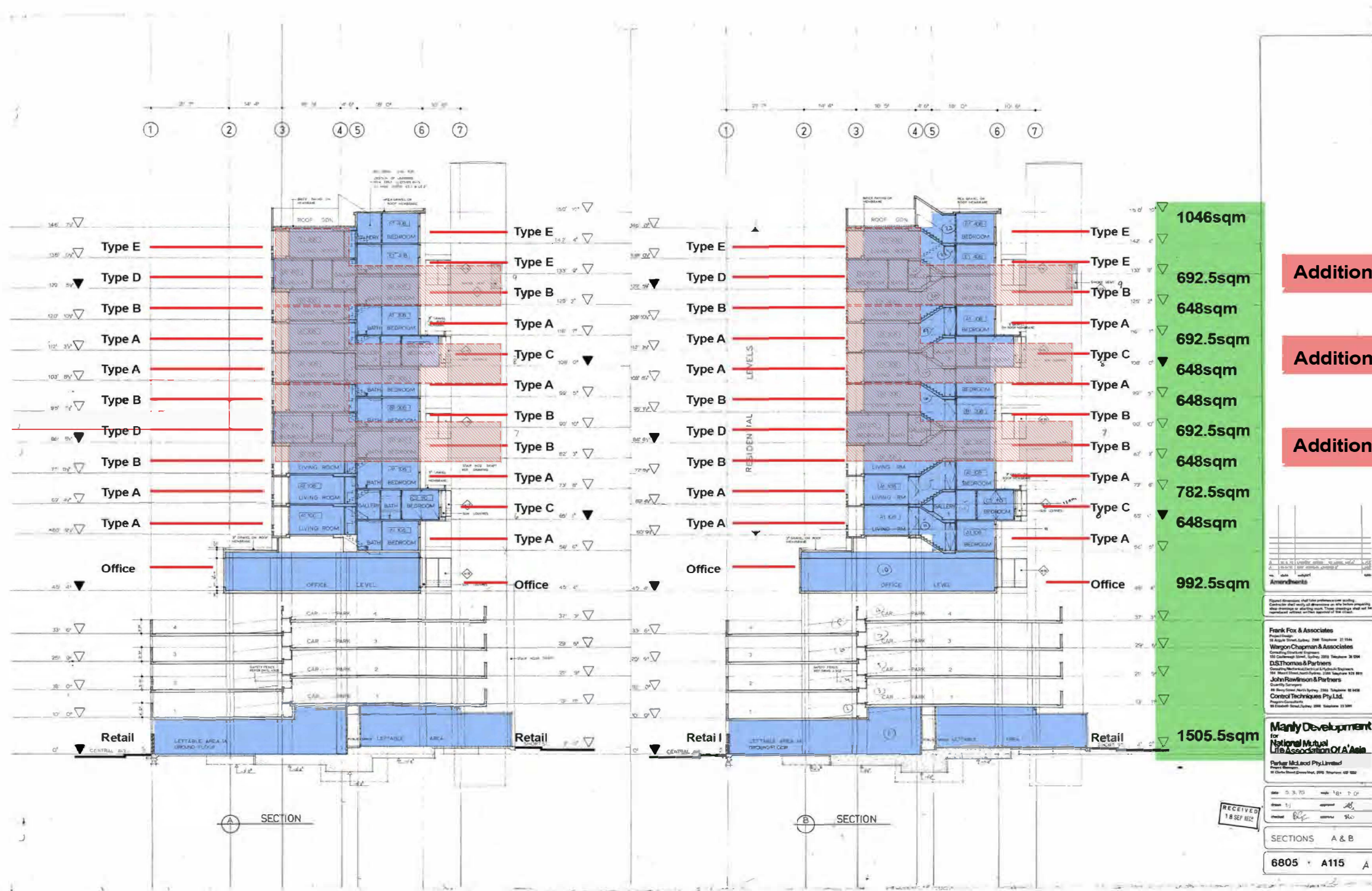
**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:**

**ISSUE:**  
**DWG. NO.:**



urbaine pty ltd / 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770





TOTAL GFA: 9644sqm

### GFA calculations

Additional GFA: 165.15 sqm

**COPYRIGHT**  
 This drawing is the copyright of Urbaine Pty Ltd. It is issued on condition that it is not to be copied or reproduced in any form or disclosed to any unauthorized person, either wholly, or in part, without the express written consent of Urbaine Pty Ltd. Do not scale from this drawing. This drawing is to be read in conjunction with all relevant architect's and engineer's drawings and specifications. Contractors must verify all dimensions / levels on site prior to construction and preparation of shop drawings.

**REVISIONS**  
 [Table with 3 columns: No., Description, Date]

**NOTES**  
 [List of notes]

**Certificate No. 0009750250**  
 Scan QR code or follow website link for rating details.  
 Assessor name: Marlin Pinson  
 Accreditation No. DMN/19/1921  
 Property Address: 22 Central Avenue, Manly NSW, 2095  
 hstar.com.au/QR/General?w=WgGbnQh

**CLIENT:** Body Corporate - ManlyNational  
**DRAWING:** Floor Plans

**PROJECT:** Manly National, 22 Central Avenue  
**SCALE:** [Scale indicator]

**ISSUE:** [Issue indicator]  
**DWG NO.:** [Drawing number]



urbaine pty ltd , 6/15, The Corso, Manly, NSW 2095. Tel: 02 8355 6770