

1 | SITE PLAN
A101 | 1 : 200

ALL BUILDING WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (BCA) AND AUSTRALIAN STANDARDS

NOTES:

- Demolition works to be carried out in accordance with the requirements of A2601-2001 The Demolition of Structures. Also in compliance with work cover authority of NSW requirements, including but not limited to:
 - Protection of site workers and the general public
 - Asbestos handling and disposal where applicable
- Termite protection to be in accordance with AS 3600.1
- All construction to comply with current BCA codes and Australian Standards.
- Stormwater system to be connected to existing.
- All timber framing shall comply with AS1684
- These documents must be read in conjunction with all the sub-consultants reports and recommendations. The architectural documents form part of the total construction set and are not to be taken as exclusively being the building construction documents
- Eaves within 900mm of allotment boundaries are to be constructed of non-combustible materials. eaves must not be within 450mm of allotment boundaries as required by part 3.7.1 of BCA
- Smoke alarms to be installed in accordance with BCA 3.7.5 vol.2 2019
- Sediment & Erosion control are to be installed and maintained during the life of the project

POOL NOTES:

- Pool overflow to be connected to existing Sewer System
- Pool fencing to be designed, located and maintained in accordance with the swimming pools act 1992, Regulation Pools Act 1992, Regulation and Australian Standard 1926.1 & comply with BCA Vol.2, Housing Provisions, Part 3.9.3 and AS1926.1. The min H of pool fence balustrade is 1200mm and openings not grater than 105mm

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	26.08.2019	EXISTING	MN	KM
-	4.09.2019	CONCEPT DESIGN	MN	KM
A	1.11.2019	DA ISSUE	MN	KM

BLUE SKY
BUILDING DESIGNS

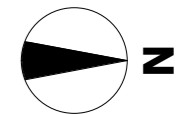
PO BOX 167
Newport 2106

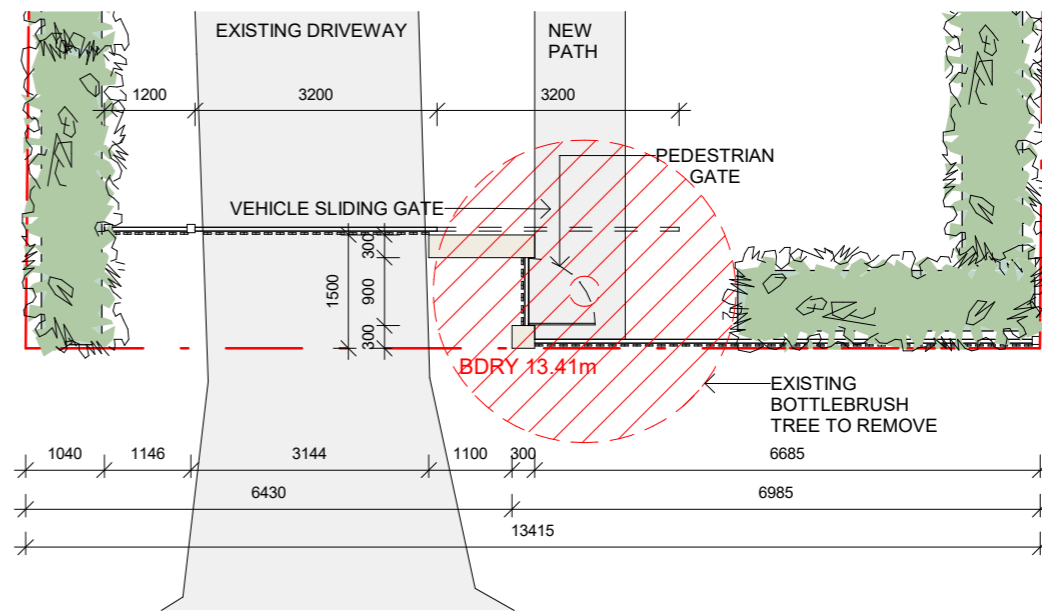
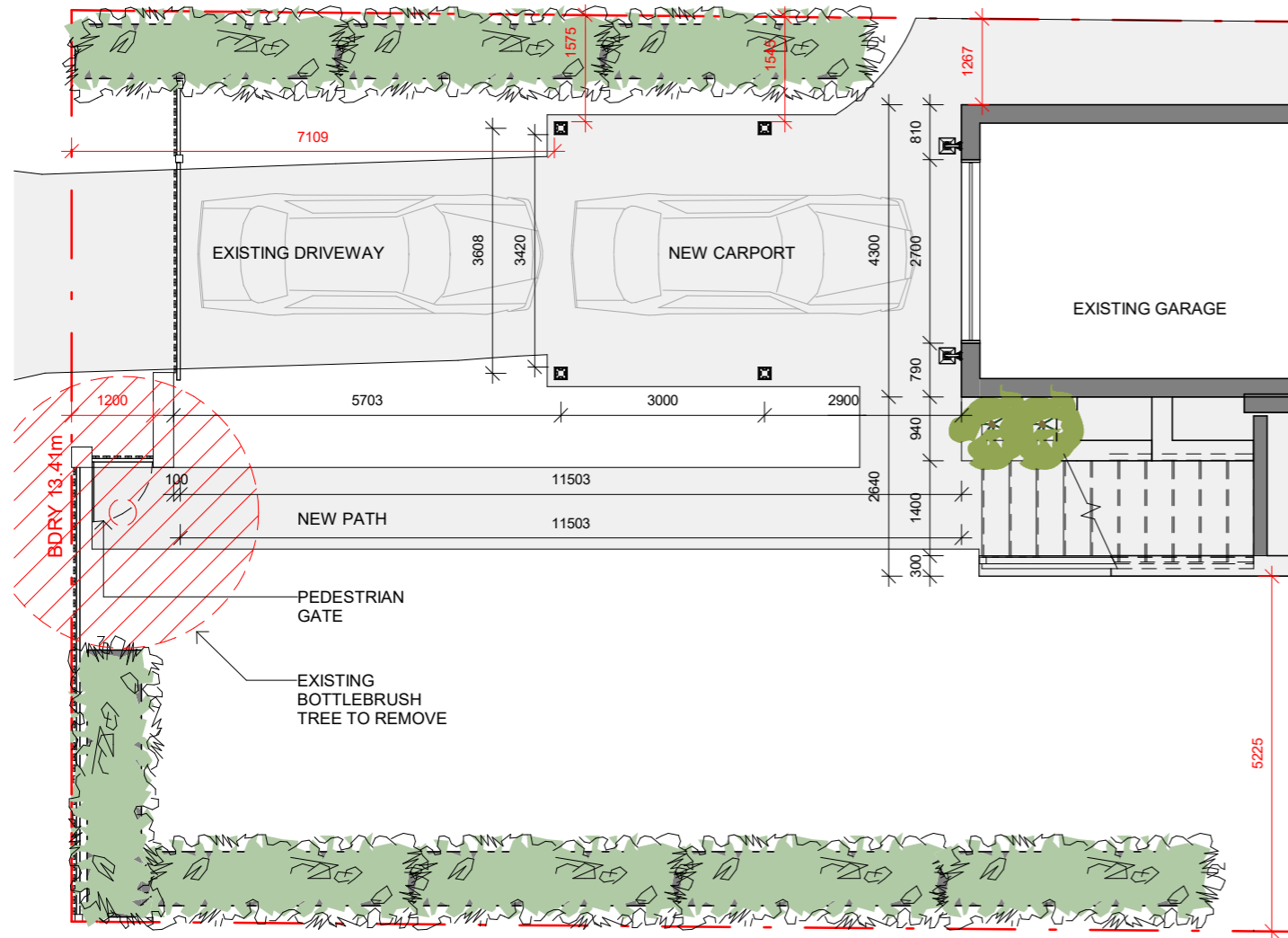
Mobile: 0 414 310 171
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PROJECT TITLE: Alteration & Addition
PROJECT NO.: 2019043
AT: 18 Jenner Street, Seaforth
FOR: Kate & Matt Rae

SHEET TITLE: SITE PLAN
SHEET NO.: A101
SCALE A3: As indicated





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PROJECT TITLE: Alteration & Addition
 PROJECT NO.: 2019043
 AT: 18 Jenner Street, Seaforth
 FOR: Kate & Matt Rae

SHEET TITLE: GARAGE & FENCE FLOOR PLAN
 SHEET NO: A104
 SCALE A3: 1 : 100



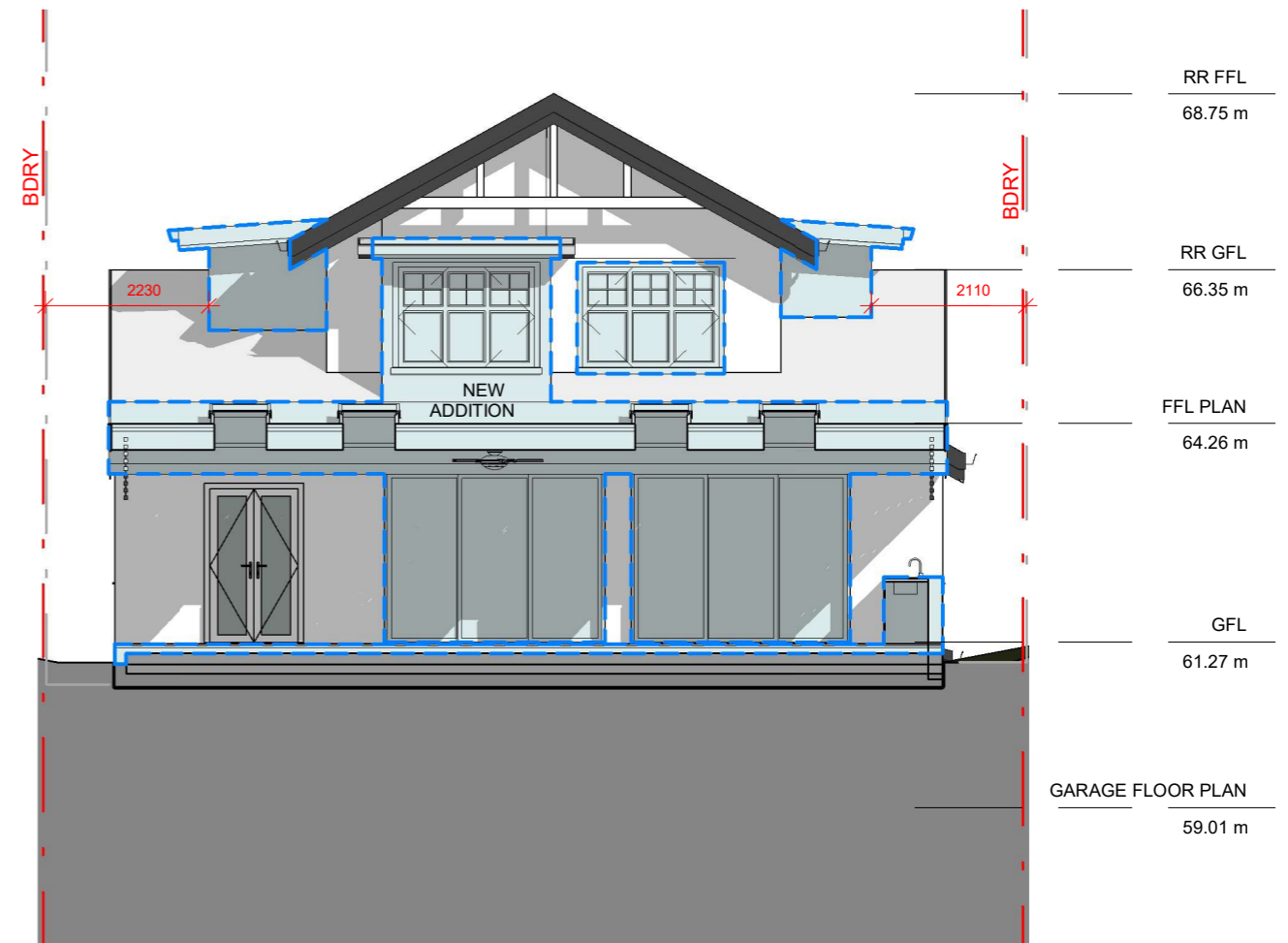
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1135



2 | SOUTH ELEVATION

A107 | 1 : 100



1 | NORTH ELEVATION

A107 | 1 : 100

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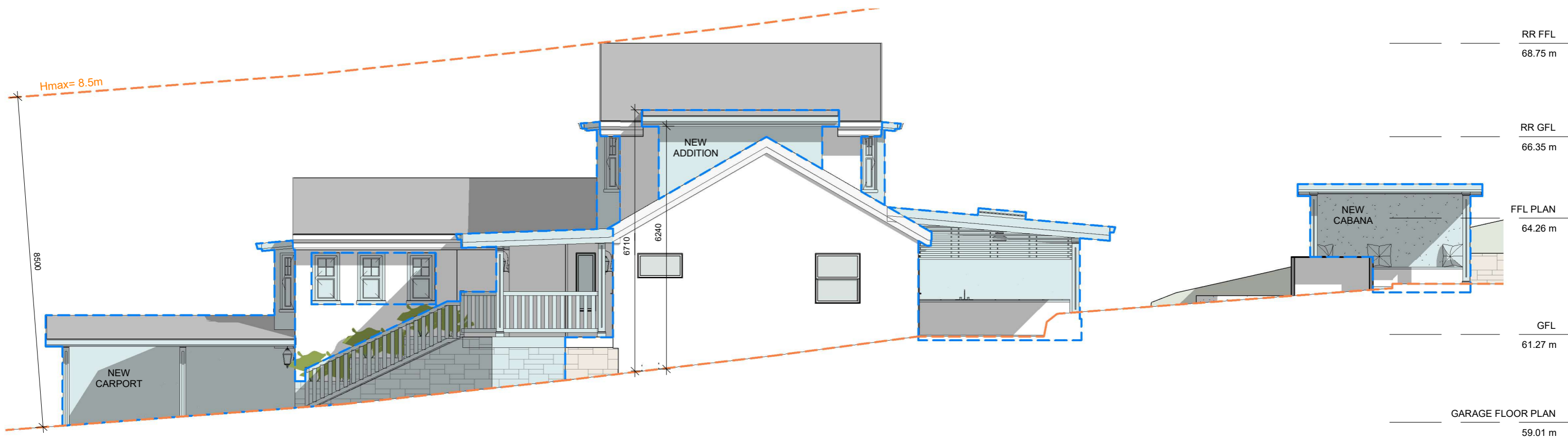
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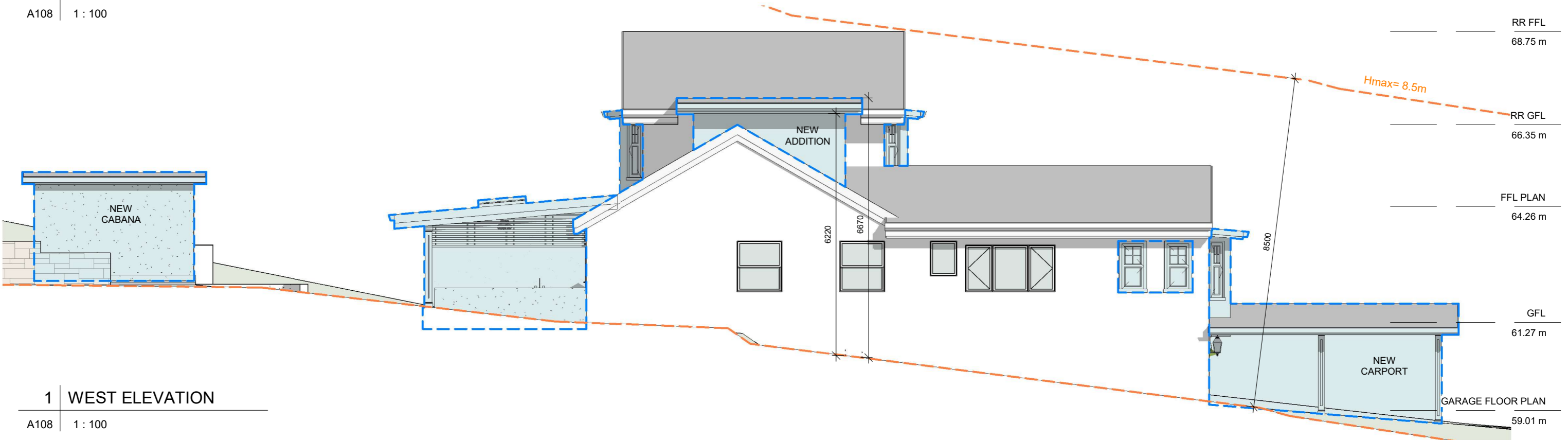
PROJECT TITLE: Alteration & Addition
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FOR: Kate & Matt Rae

SHEET TITLE: ELEVATIONS
SHEET NO.: A107
SCALE A3: 1 : 100



2 EAST ELEVATION

A108 1 : 100



1 WEST ELEVATION

A108 1 : 100

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PROJECT TITLE: Alteration & Addition
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AT: 18 Jenner Street, Seaforth
FOR: Kate & Matt Rae

SHEET TITLE: ELEVATIONS
SHEET NO.: A108
SCALE A3: 1 : 100

northern beaches council

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DA2019/1135