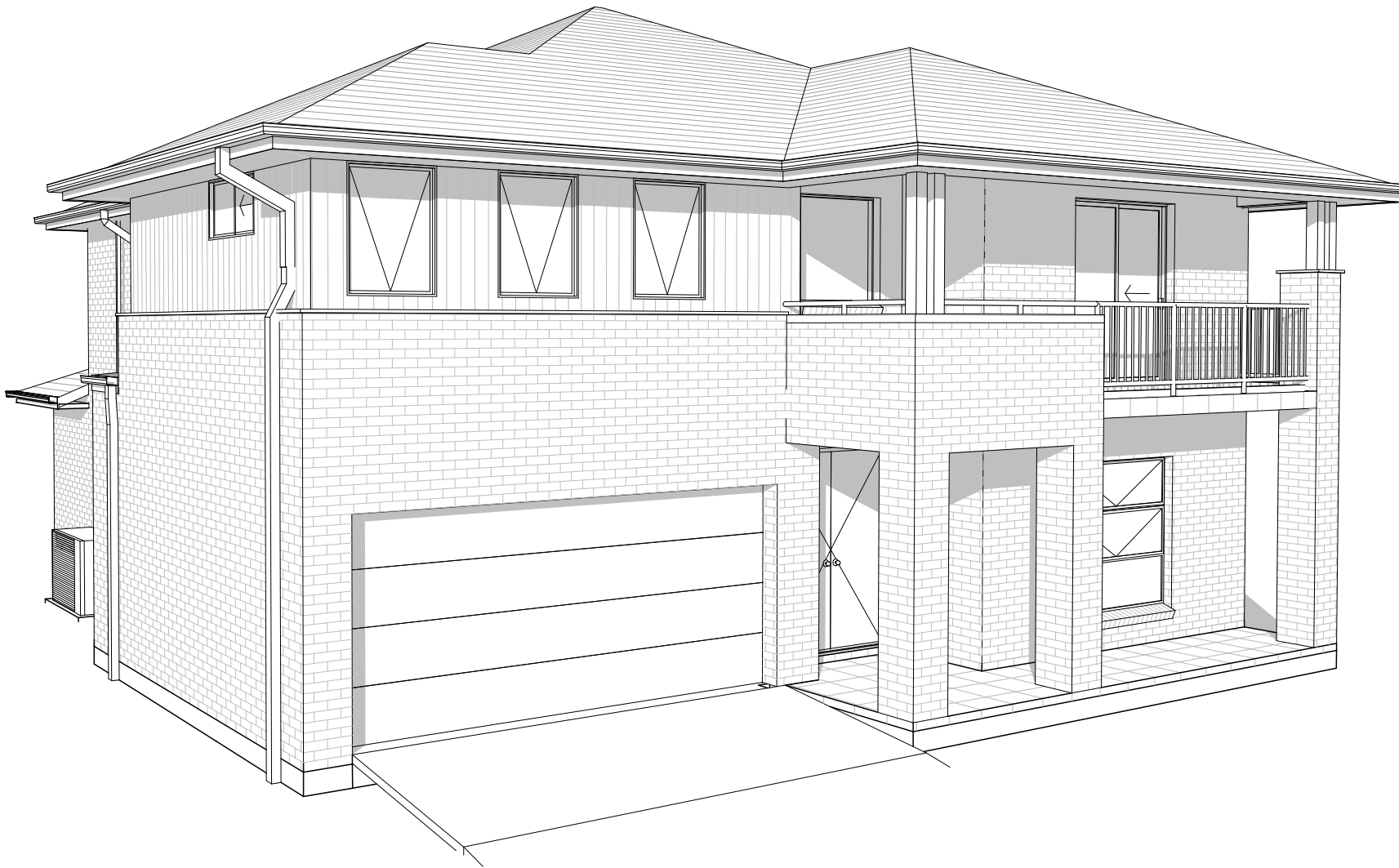


Impression 32

Avanti

Page	Drawing
2	SITE PLAN
3	BENCHING PLAN
4	STORMWATER CONCEPT PLAN
5	GROUND FLOOR PLAN
6	FIRST FLOOR PLAN
7	ELEVATIONS
8	ELEVATIONS
9	SECTIONS
10	DETAILS
11	WINDOW & DOOR SCHEDULES
12	SITE ANALYSIS PLAN
13	SHADOW DIAGRAMS



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SIGNATURE ESSENTIALS



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PROJECT:	JOB No:
PROPOSED BRICK VENEER DWELLING	190036
CLIENT:	
MISS ALEGRE	
ADDRESS:	
Lot No. 8 WARRIEWOOD ROAD	
WARRIEWOOD	

DA SCHEDULE	
SITE DETAILS	
LGA CONTROL	PITTWATER
LOT NUMBER/DP NUMBER	8 / 1206507
ZONE & LOT WIDTH	R3 16.800m
SITE AREA	406.30 m ²
DWELLING AREAS	
GROUND FLOOR LIVING	123.55 m ²
FIRST FLOOR LIVING	133.03 m ²
PORCH	11.02 m ²
PATIO	0.00 m ²
FRONT BALCONY	11.16 m ²
REAR BALCONY	0.00 m ²
GARAGE	35.02 m ²
OUTDOOR LEISURE	0.00 m ²
TOTAL :	313.78 m²
DRIVE AREA	47.63 m ²
ROOF AREA (drained to tank)	194.97 m ²
SITE COVERAGE (Single storey/Lower floor)	
MAXIMUM SITE COVERAGE	223.47 m ² / 55.00%
ACTUAL SITE COVERAGE	158.57 m²/ 39.03%
FLOOR SPACE RATIO	
MAXIMUM FLOOR SPACE/FSR	0.00 m ² / 0.00%
ACTUAL FLOOR SPACE/FSR	224.92 m²/ 55.36%
LANDSCAPING AREAS	
MINIMUM LANDSCAPING	182.84 m ² / 45.00%
ACTUAL LANDSCAPING	185.29 m²/ 45.60%
PRIVATE OPEN SPACE	
MINIMUM POS	80.00 m ² / 0.0x0.0
ACTUAL POS	91.01 m²/ 9.25x4.0

'H' CLASS SITE AHD

SALINE AFFECTED

SUBJECT TO ENGINEERS

B.A.S AFFECTED

Lot No. 8
AREA: 406.3m²

STORMWATER DRAINAGE TO STREET WATER TABLE.
(SUBJECT TO CONTOUR SURVEY)

ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.




EXCAVATE SITE APPROX. 550 mm TO FORM JOB DATUM **R.L 11.850** (AHD)
DATUM POINT 385mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

PROPOSED EXCAVATION

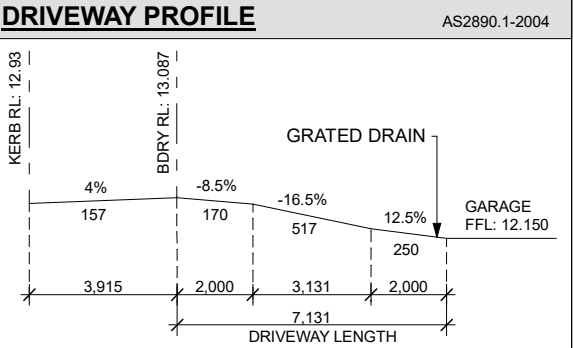
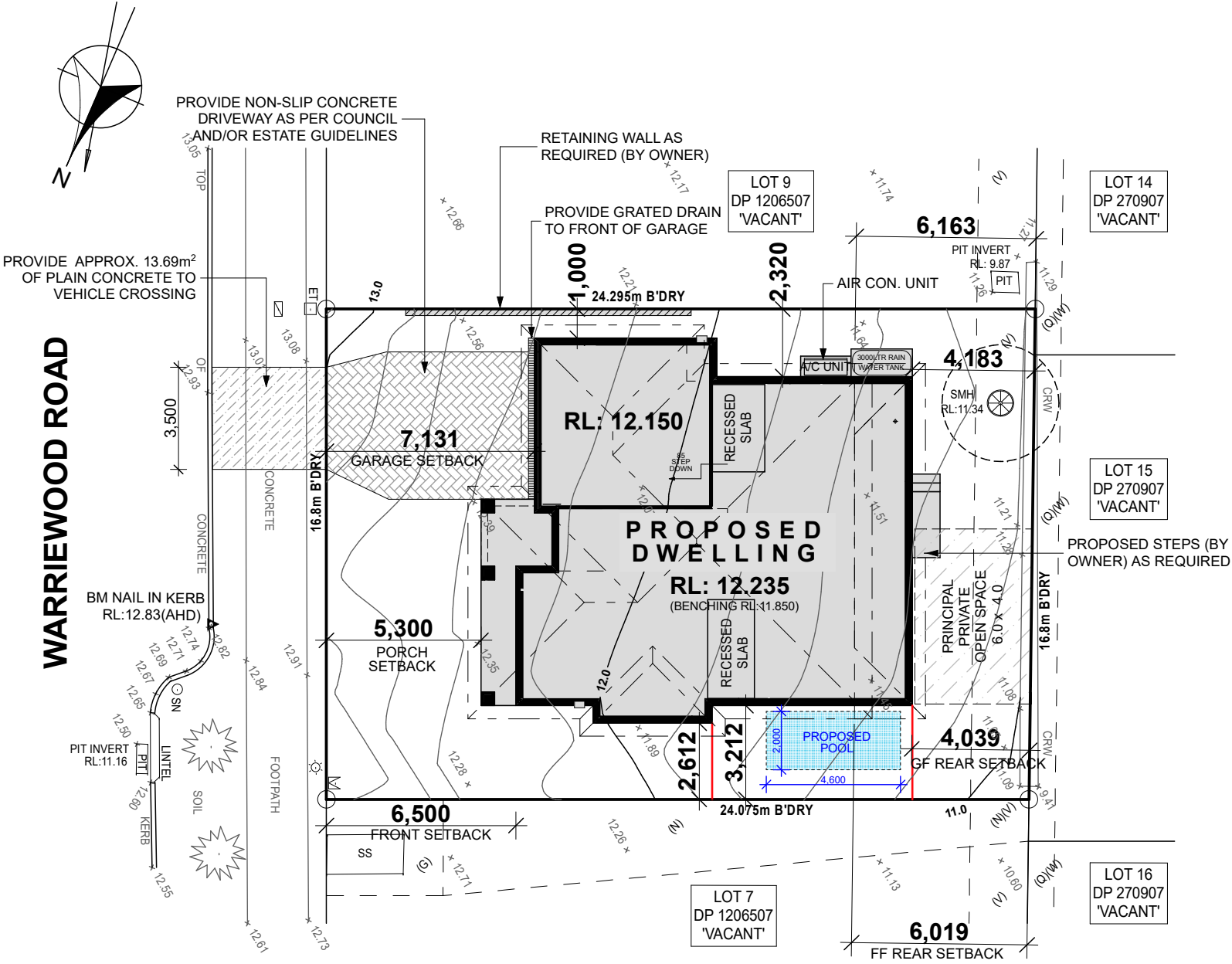


SITE PLAN
1:200

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 <div>1300 855 775 wisdomhomes.com.au</div>	PROJECT:	 EXHAUST FAN		NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No:	DRAWN:	
	PROPOSED BRICK VENEER DWELLING	 SMOKE ALARM AS 3786-1993							190036	DW	
	CLIENT:	LODGEMENT:	DP No:							PLOT DATE:	
	MISS ALEGRE	D.A/C.C	1206507						LGA:	11/02/2020	
	ADDRESS:	Lot No. 8 WARRIEWOOD ROAD WARRIEWOOD							PITTWATER	SLAB CLASS:	
									DESIGN:	'H1' CLASS	
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										V18	2
										FACADE:	
										AVANTI	

NOTE: 2M RADIUS FROM THE CENTER OF THE SEWER MANHOLE TO BE CLEARED OF PIERS.

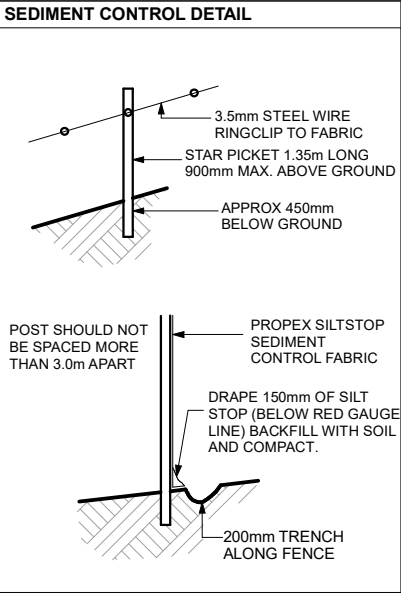


REFER TO LANDSCAPE PLAN BY 'WISDOM POOLS & LANDSCAPES' FOR ALL LANDSCAPING DETAILS.



SIGNATURE ESSENTIALS

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* STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 of BCA 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013



NOTE: PROVIDE 1.8m HIGH SECURITY FENCE TO PERIMETER OF SITE AS REQUIRED BY COUNCIL

'H' CLASS SITE AHD

SALINE AFFECTED
SUBJECT TO ENGINEERS

B.A.S AFFECTED

Lot No. 8
AREA: 406.3m²

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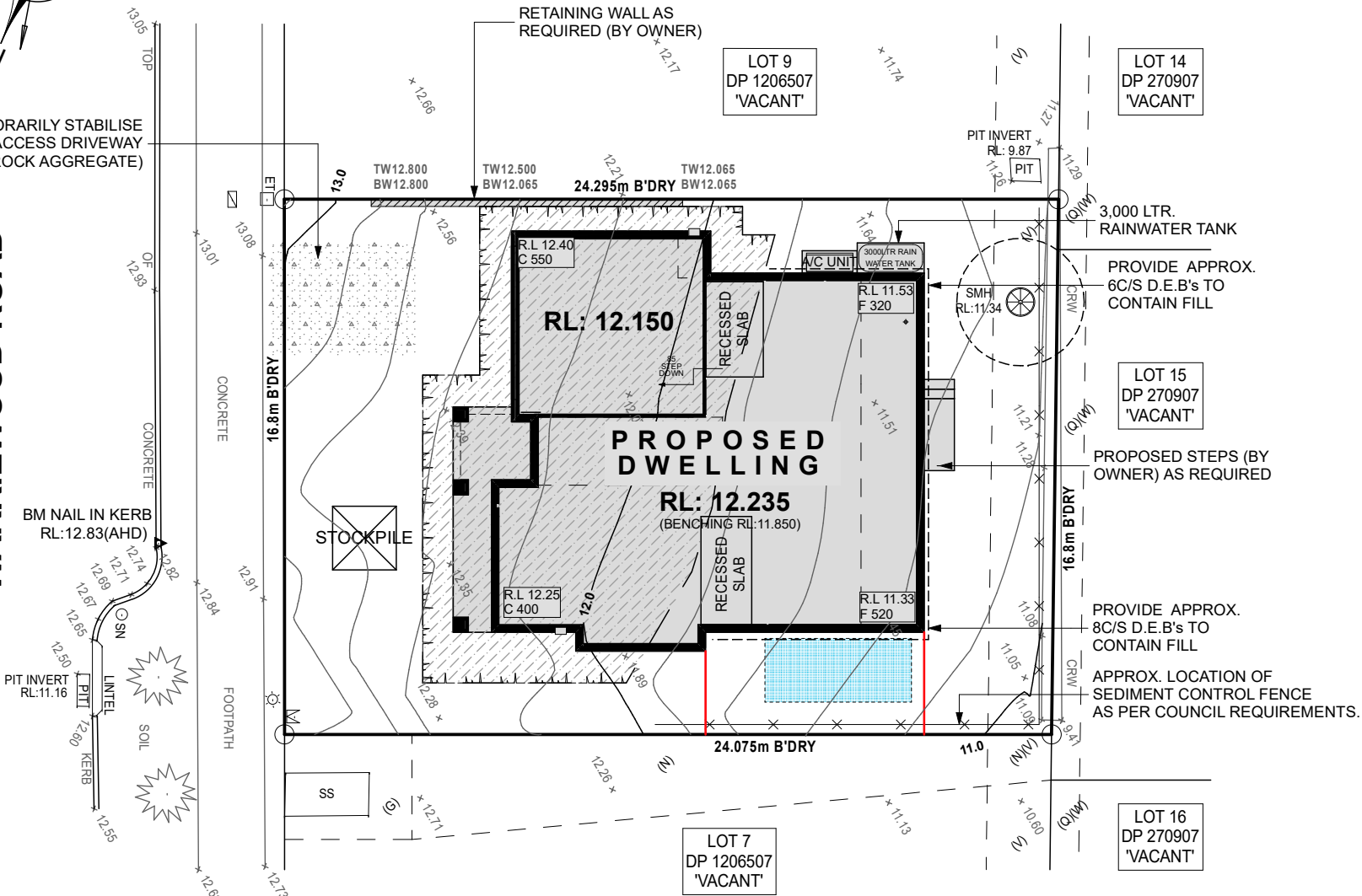


BENCHING PLAN

1:200

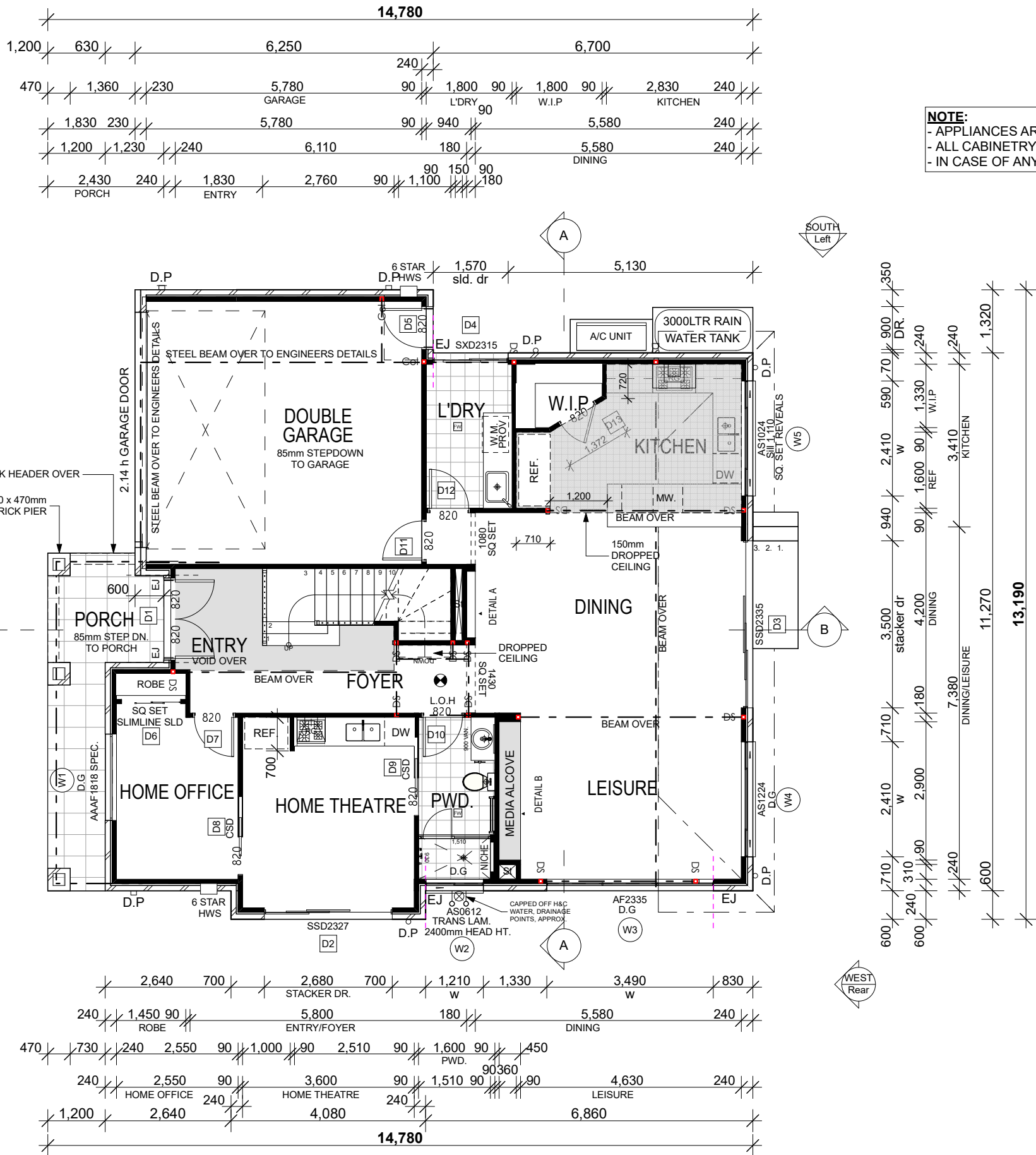
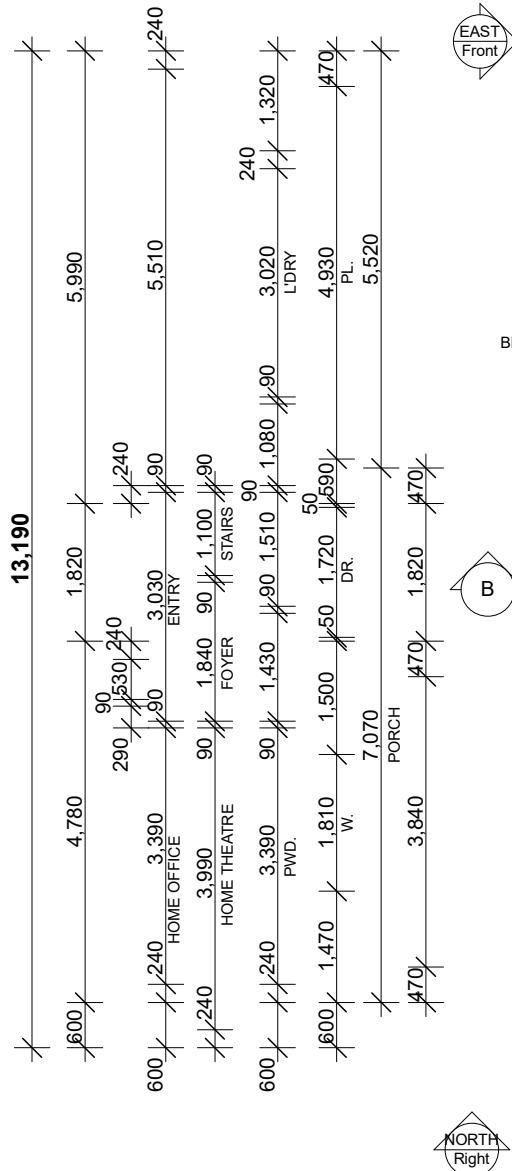
WARRIEWOOD ROAD

TEMPORARILY STABILISE VEHICLE ACCESS DRIVEWAY (GRAVEL/ROCK AGGREGATE)



Area	m2
LOWER FLOOR	123.55
UPPER FLOOR	133.03
PORCH	11.02
BALCONY FRONT	11.16
GARAGE	35.02

NOTE:
RECESSED SLAB TO
LAUNDRY & POWDER ROOM



NOTES:

- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A.2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
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- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

NOTE:

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NOTE PROVIDE DOUBLE GLAZING TO ENTIRE HOME

NOTE PROVIDE SQUARE SET CORNICES TO
GROUND FLOOR AND FIRST FLOOR

NOTE PROVIDE SQUARE SET WINDOWS AND SLIDING DOOR REVEALS THROUGHOUT

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JOB No:	190036	DRAWN: DW
LGA:	PITTWATER	PLOT DATE: 11/02/2020
DESIGN:	IMPRESSION 32	SLAB CLASS: 'H1' CLASS
FAÇADE:	AVANTI	SHEET: 5

5

GROUND FLOOR PLAN

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PROJECT:

PROPOSED BRICK VENEER DWELLING

CLIENT:

MISS ALEGRE

ADDRESS:

Lot No. 8 WARRIEWOOD ROAD
WARRIEWOOD



 EXHAUST FAN



 SMOKE ALARM AS 3786-1993

LODGEMENT:

DP No:

D.A/C.C 1206507

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A-3	AMENDED ROOM NAMES	DW	1/08/19
A-4	LIVE TENDER	JD	2/8/19
A-5	LIVE TENDER D1	AES	05.08.19
B-6	SUBMISSION PLAN	DW	17/1/20

JOB No:

190036

LGA:	
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PITTWATER

DESIGN:	
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DRAWN: BM

DW

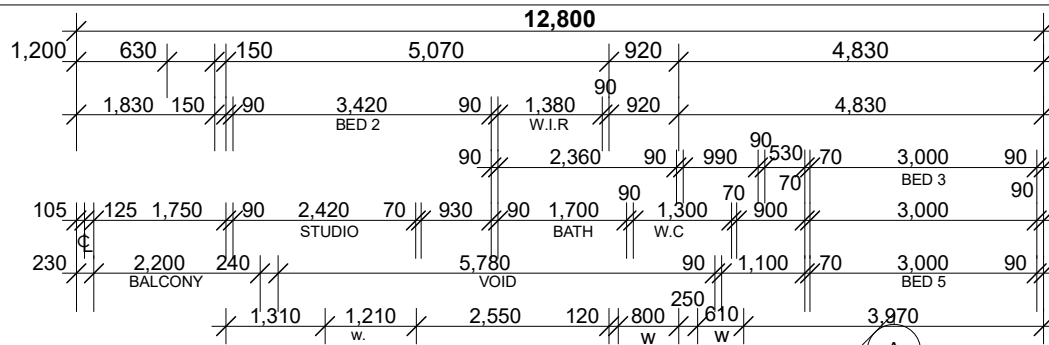
PLOT DATE:
11/02/2020

SLAB CLASS:
'H1' CLASS

SHEET:

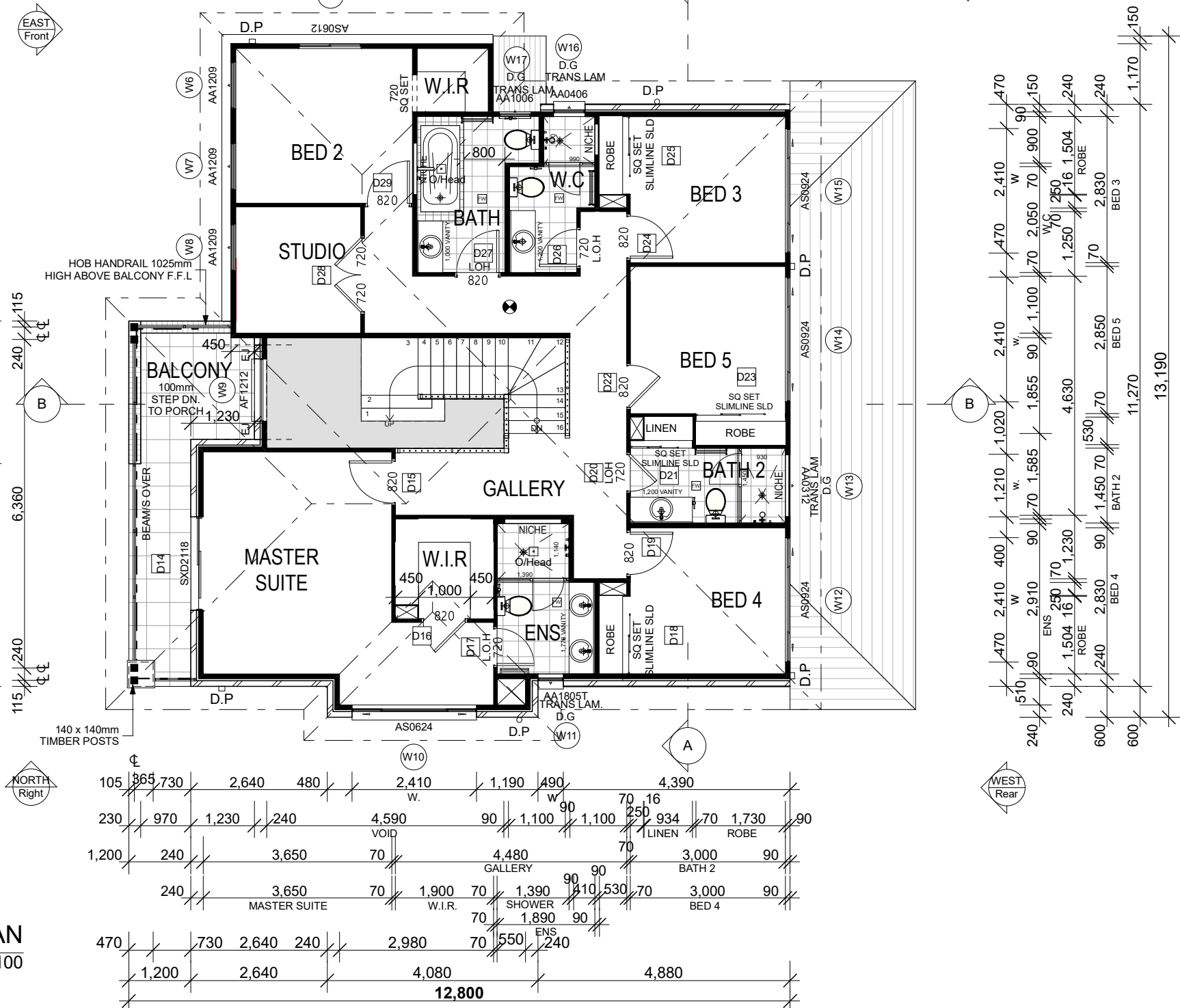
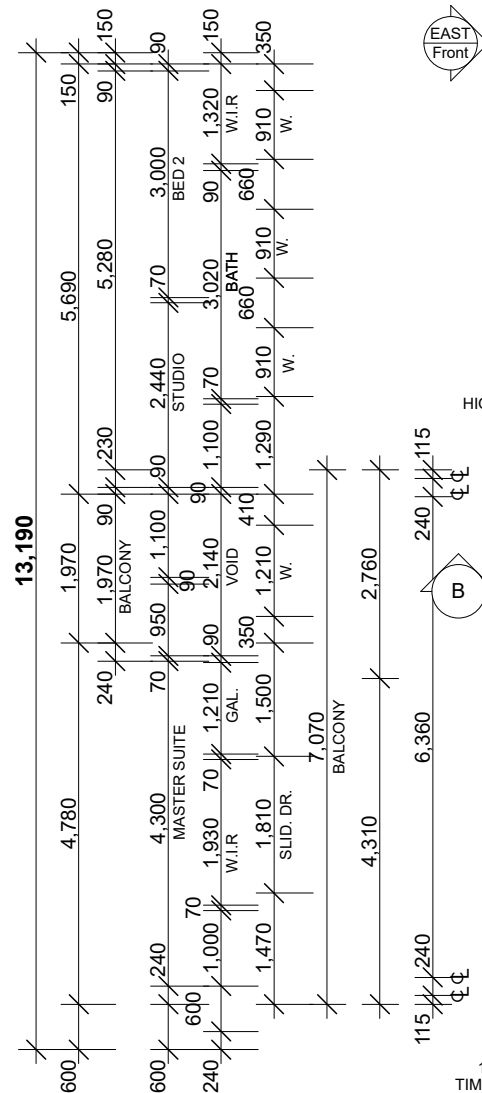
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Area	m2
LOWER FLOOR	123.55
UPPER FLOOR	133.03
PORCH	11.02
BALCONY FRONT	11.16
GARAGE	35.02



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JOB No:	DRAWN:
190036	DW
LGA:	PLOT DATE:
PITTWATER	11/02/2020
DESIGN:	SLAB CLASS:
IMPRESSION 32	'H1' CLASS
FACADE:	SHEET:
AVANTI	6

6

FIRST FLOOR PLAN

1:100

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PROJECT:
PROPOSED BRICK VENEER DWELLING

CLIENT:

MISS ALEGRE

ADDRESS:

Lot No. 8 WARRIEWOOD ROAD
WARRIEWOOD

 EXHAUST FAN

 SMOKE ALARM AS 3786-1993

LODGEMENT:

DP No:

D.A/C.C	1206507
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JOB No:	
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190036

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PITTWATER

DESIGN:	
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IMDDCS

FACADE:

ALANTERNA

DRAWN:

DW

PLOT DATE:
11/02/2020

SLAB CLASS:
H1' CLASS

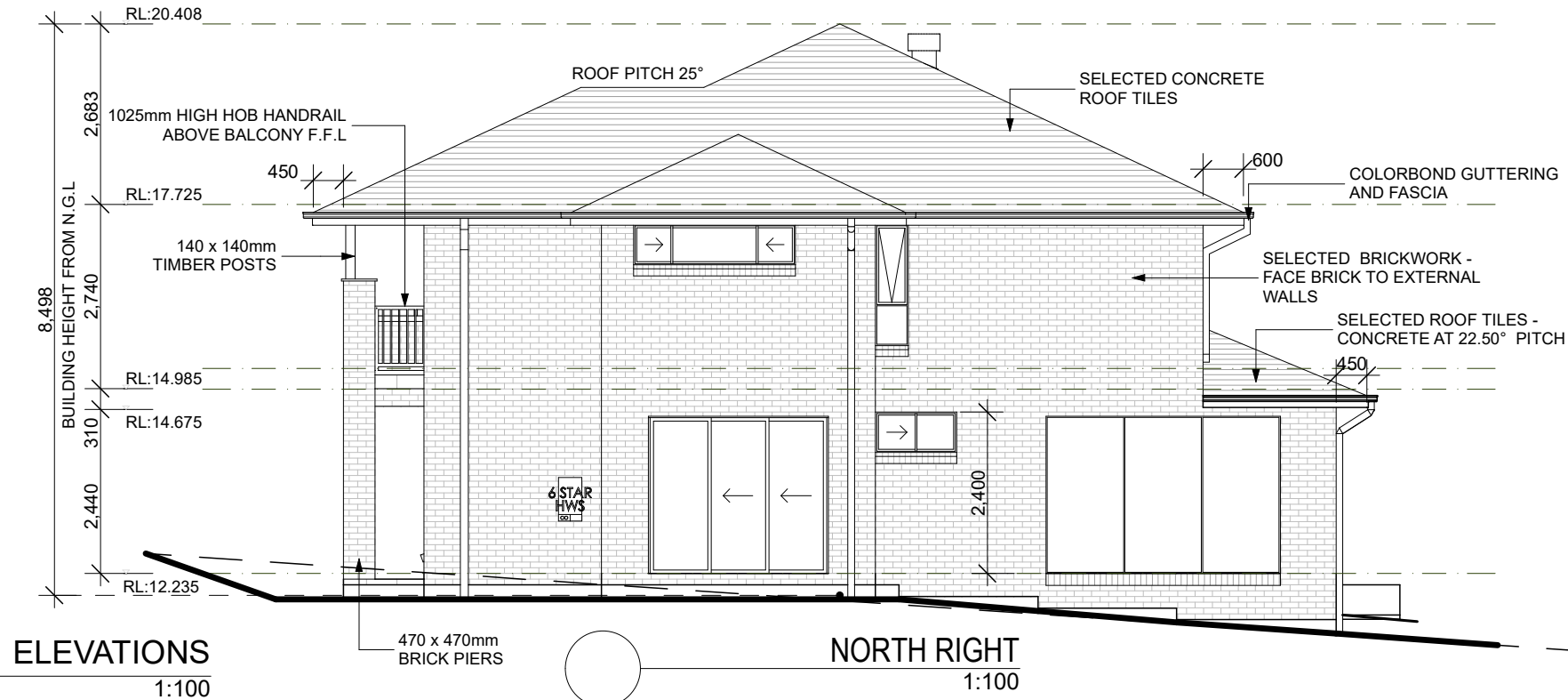
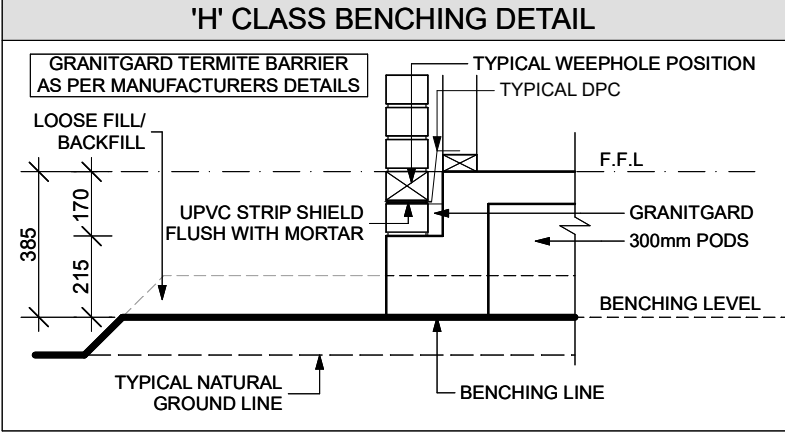
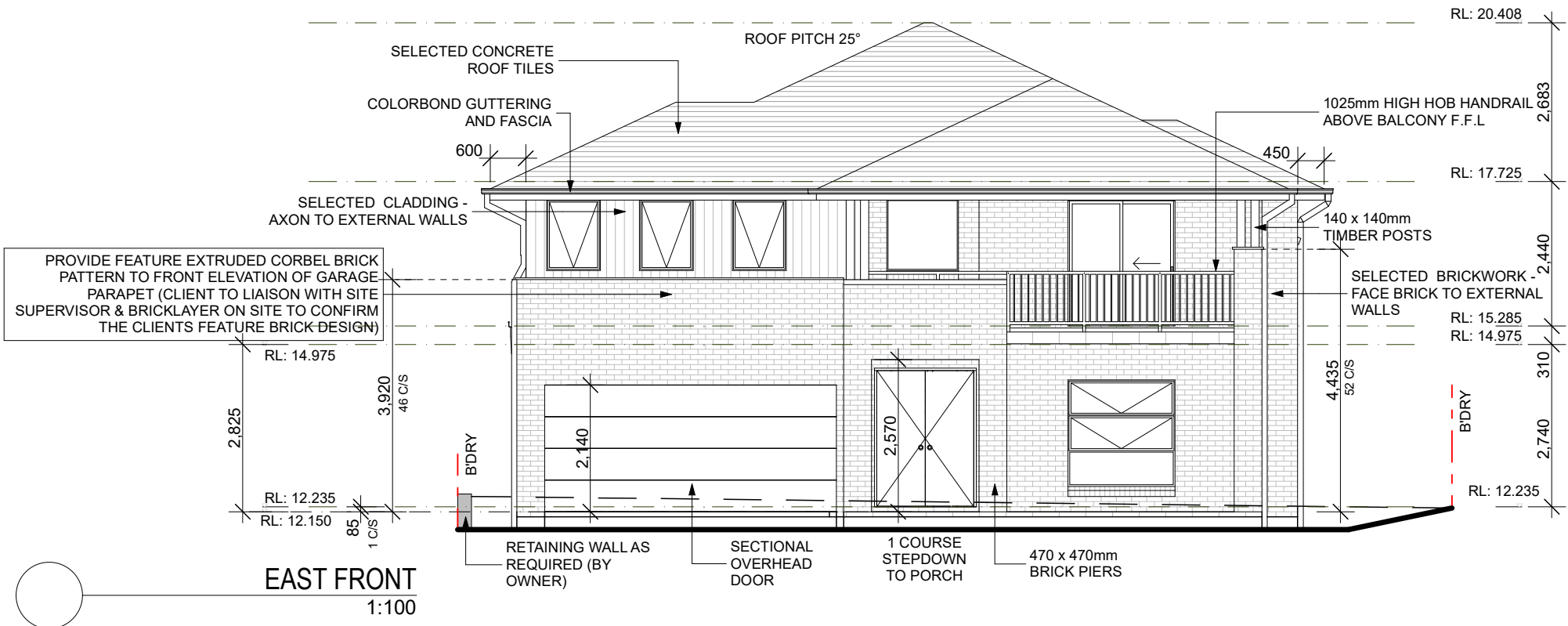
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DESIGN:	IMPRESSION 32	SHEET:	7
FACADE:	AVANTI		

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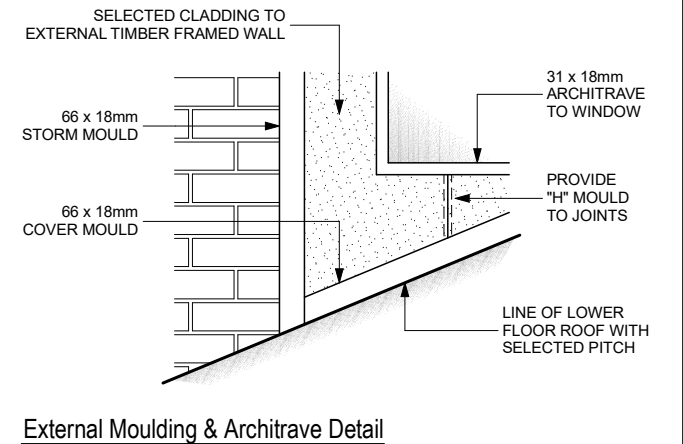
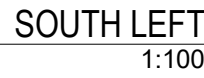
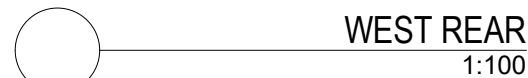
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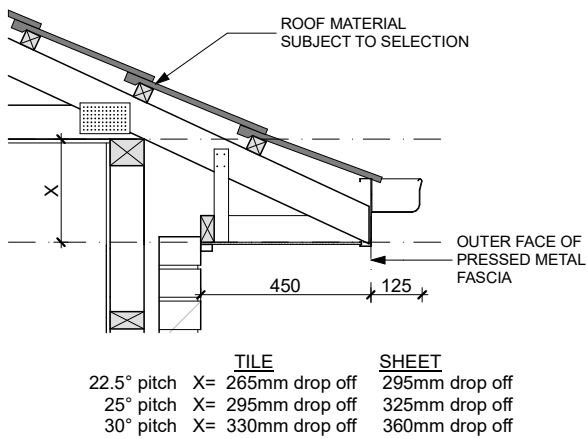
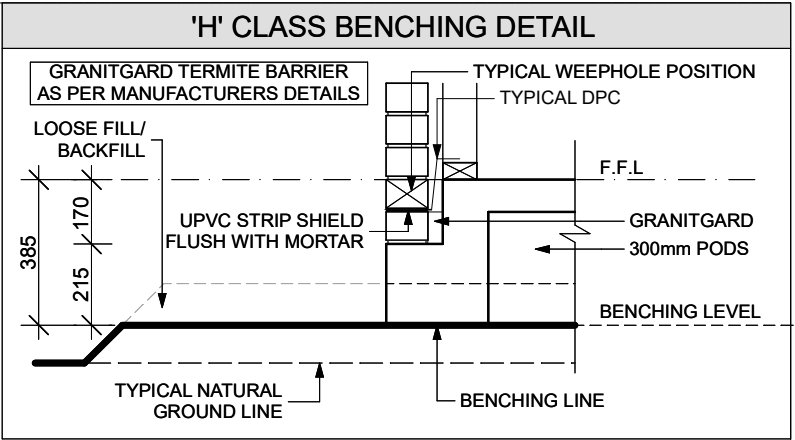
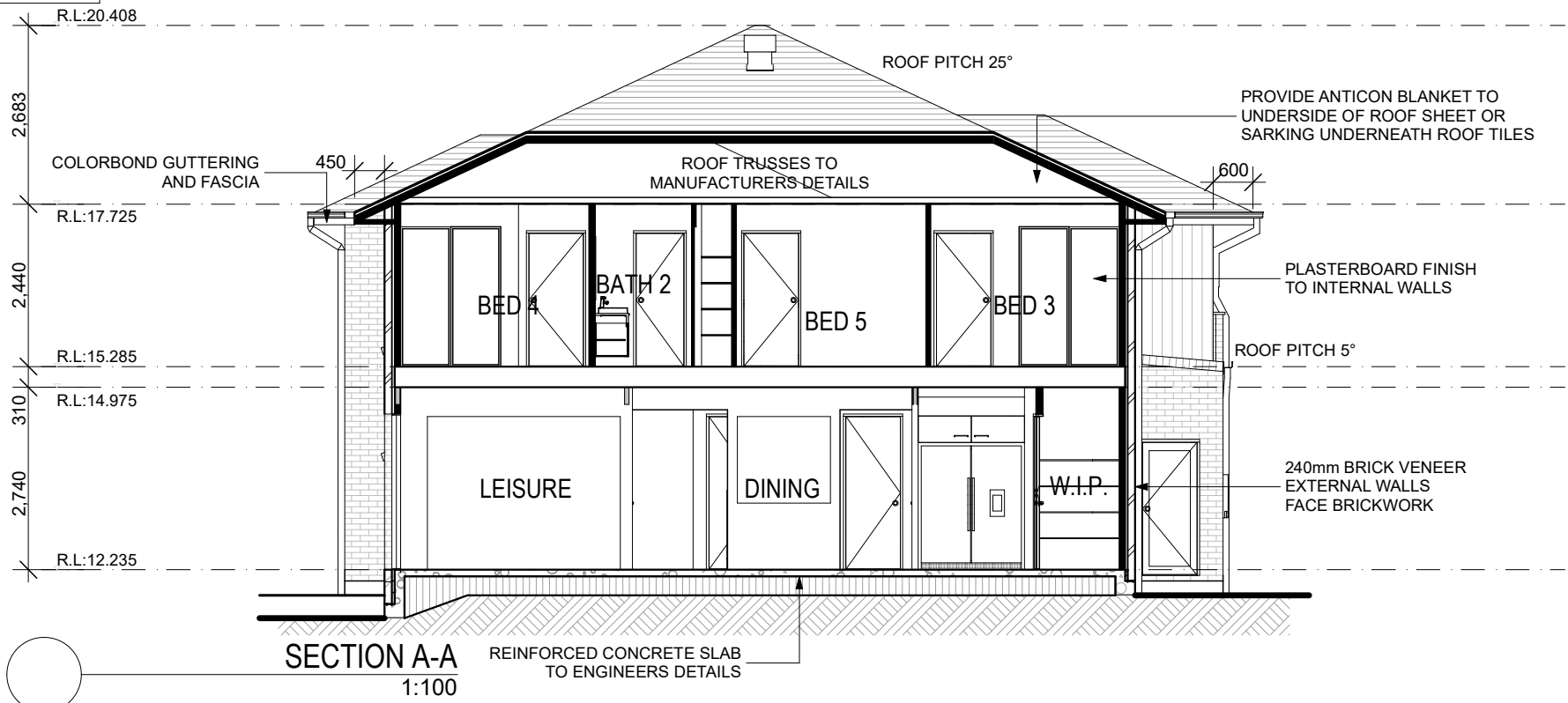
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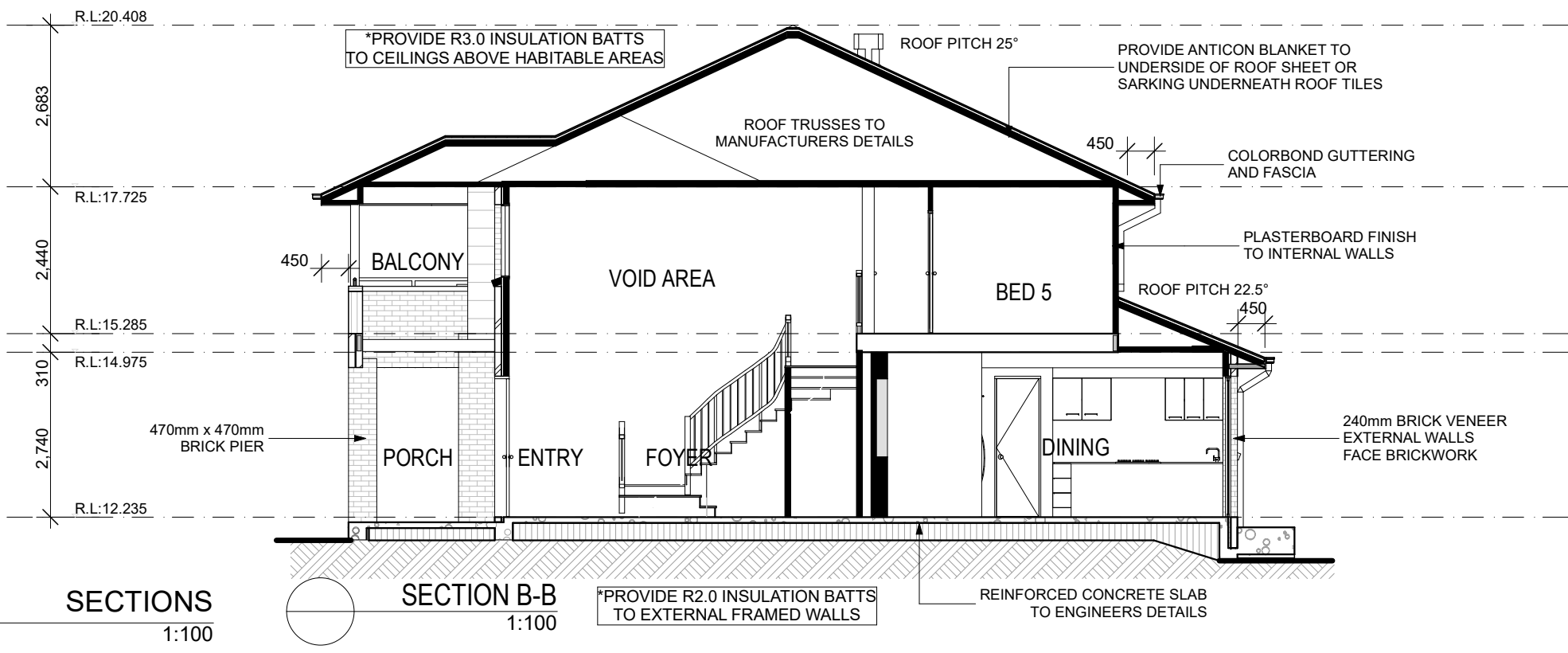


SIGNATURE ESSENTIALS	
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JOB No:	DRAWN:
190036	DW
LGA:	PLOT DATE:
PITTWATER	11/02/2020
DESIGN:	SLAB CLASS:
IMPRESSION 32	'H1' CLASS
FACADE:	SHEET:
AVANTI	8

NOTES:
- STACK POINT LOCATIONS SUBJECT TO FLOOR JOIST LAYOUT.
- STAIRS TO MEET THE MINIMUM SLIP RESISTANCE REQUIREMENT OF PART 3.9.1.3 OF B.C.A 2015 WHEN TESTED IN ACCORDANCE WITH AS4586-2013.
- OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2
- FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.



Typical Eave Detail






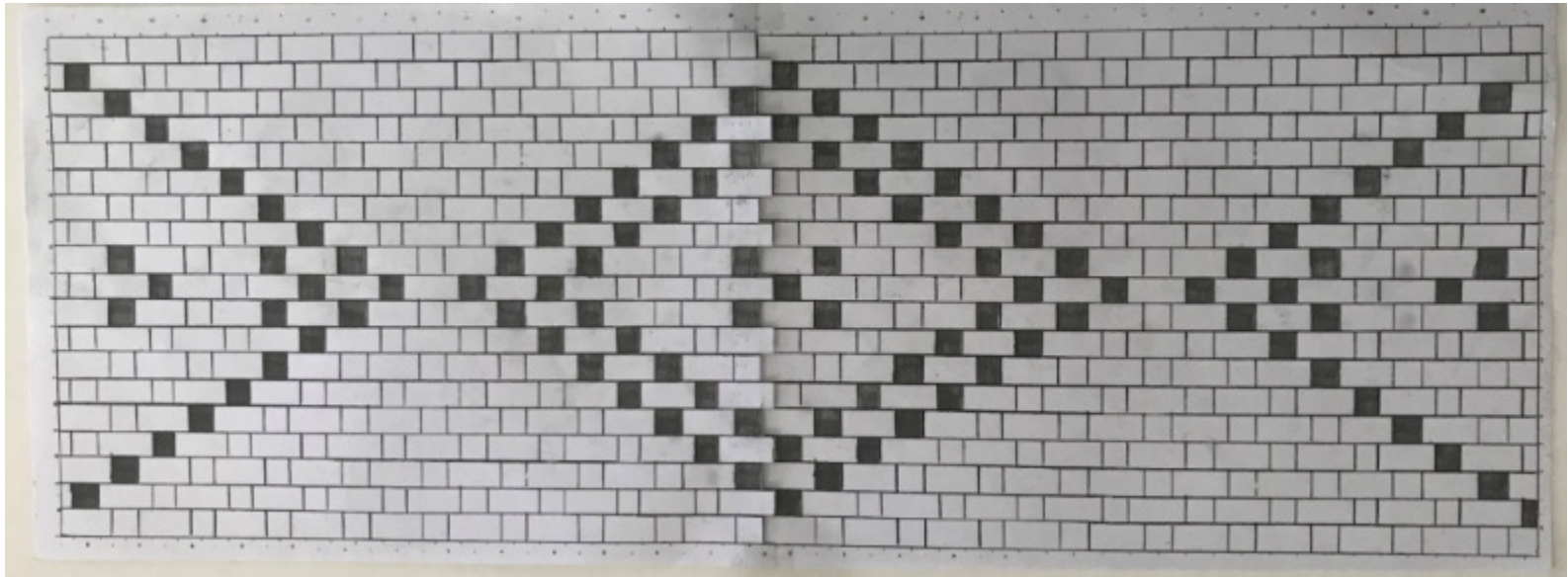
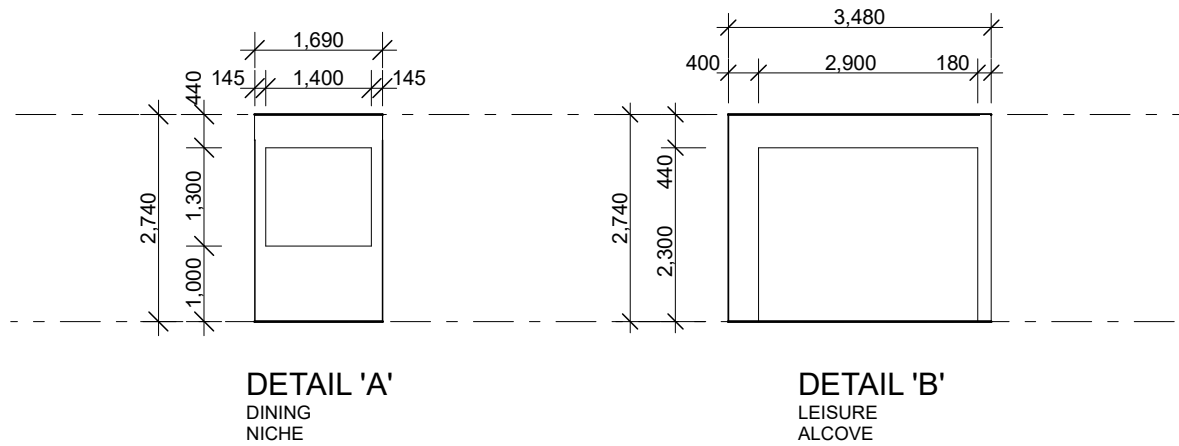
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JOB No: 190036	DRAWN: DW
LGA: PITTWATER	PLOT DATE: 11/02/2020
DESIGN: IMPRESSION 32	SLAB CLASS: 'H1' CLASS
FACADE: AVANTI	SHEET: 9

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<div></div> <div>1300 855 775</div> <div>wisdomhomes.com.au</div>	PROJECT: PROPOSED BRICK VENEER DWELLING	<div><div><div> EXHAUST FAN</div><div> SMOKE ALARM AS 3786-1993</div></div><div><div>LODGEMENT: D.A/C.C</div><div>DP No: 1206507</div></div><div>*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.</div></div>	REVISION SCHEDULE				JOB No: 190036		DRAWN: DW	
	CLIENT: MISS ALEGRE		ISSUE	DESCRIPTION	DRAWN	DATE	LGA:		PLOT DATE: 11/02/2020	
	ADDRESS: Lot No. 8 WARRIEWOOD ROAD WARRIEWOOD		B-7	AMENDMENTS	JD	11/2/20	PITTWATER		SLAB CLASS: 'H1' CLASS	
			A-2	AMENDMENTS 2/07/19	DW	18/07/19	DESIGN:		SHEET: <div>9</div>	
			A-3	AMENDED ROOM NAMES	DW	1/08/19	IMPRESSION 32			
			A-4	LIVE TENDER	JD	2/8/19	FACADE:	V18		
	A-5	LIVE TENDER D1	AES	05.08.19	AVANTI					
	B-6	SUBMISSION PLAN	DW	17/1/20						





























































CLIENTS CORBEL BRICK FEATURE TO GARAGE PARAPET

DETAILS
1:100

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<div></div> <div>1300 855 775</div> <div>wisdomhomes.com.au</div>	PROJECT: PROPOSED BRICK VENEER DWELLING	<div> EXHAUST FAN</div> <div> SMOKE ALARM AS 3786-1993</div>		NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 190036	DRAWN: DW
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		D.A/C.C	1206507		A-3	AMENDED ROOM NAMES	DW	1/08/19	DESIGN:	SHEET:
					A-4	LIVE TENDER	JD	2/8/19	IMPRESSION 32	
					A-5	LIVE TENDER D1	AES	05.08.19	FACADE:	
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Door Schedule									
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Wall Structure	Flyscreens	Other
		Height	Width						
D1	2 x hung doors	2,340	1,640			Glass - Single clear	240mm BV		
D2	SSD2327	2,340	2,680			Glass - Single clear	240mm BV		
D3	SSD2335	2,340	3,500			Glass - Single clear	240mm BV		
D4	SXD2315	2,340	1,570			Glass - Single clear	240mm BV		
D5	External door	2,040	820			Glass - Single clear	240mm BV		
D6	Sliding Robe doors	2,300	1,240				90mm TF		SQ SET
D7	Hung door	2,340	820				90mm TF		
D8	Cavity S/D	2,340	820				90mm TF		
D9	Cavity S/D	2,340	820				90mm TF		
D10	Hung door	2,340	820				90mm TF		Lift-off hinges
D11	Hung door	2,340	820				90mm TF		SOLIDCORE
D12	Hung door	2,340	820				90mm TF		SOLIDCORE
D13	Hung door	2,340	820				90mm TF		
D14	SXD2118	2,140	1,810			Single clear	240mm BV		
D15	Hung door	2,040	820				70mm TF		SOLIDCORE
D16	Hung door	2,040	820			TRANS LAM	70mm TF		
D17	Hung door	2,040	720				70mm TF		Lift-off hinges
D18	Sliding Robe doors	2,100	1,504				70mm TF		SQ SET
D19	Hung door	2,040	820				70mm TF		
D20	Hung door	2,040	720				70mm TF		Lift off hung
D21	Sliding Robe doors	2,100	1,200				70mm TF		SQ SET
D22	Hung door	2,040	820				70mm TF		
D23	Sliding Robe doors	2,100	1,730				70mm TF		SQ SET
D24	Hung door	2,040	820				70mm TF		
D25	Sliding Robe doors	2,100	1,504				70mm TF		SQ SET
D26	Hung door	2,040	720				70mm TF		Lift-off hinges
D27	Hung door	2,040	820				70mm TF		Lift off hung
D28	2x Hung door	2,040	1,440				70mm TF		
D29	Hung door	2,040	820				70mm TF		

Window Schedule									
Window No.	Type	Window Size		Plan View	Elev. View	Glazing	Frame and Reveal	Flyscreens	Others
		Height	Width						
W1	AAAF1818	1,800	1,810			Glass - Double	240mm BV		
W2	AS0612	600	1,210			Glass - Double	240mm BV		2400 Head ht.
W3	AF2335	2,340	3,490			Glass - Double	240mm BV		Sill ht. 910mm
W4	AS1224	1,200	2,410			Glass - Double	240mm BV		
W5	AS1024	1,030	2,410			Glass - Single Clear	240mm BV		1100 sill Ht.SQ. SET
W6	AA1209	1,200	910			Glass - Single Clear	90mm TF		
W7	AA1209	1,200	910			Glass - Single Clear	90mm TF		
W8	AA1209	1,200	910			Glass - Single Clear	90mm TF		
W9	AF1212	1,200	1,210			Glass - Single Clear	240mm BV		
W10	AS0624	600	2,410			Glass - Single Clear	240mm BV		
W11	AA1805T	1,800	490			Glass - Double	240mm BV		
W12	AS0924	945	2,410			Glass - Single Clear	90mm TF		
W13	AA0312	340	1,210			Glass - Double	90mm TF		
W14	AS0924	945	2,410			Glass - Single Clear	90mm TF		
W15	AS0924	945	2,410			Glass - Single Clear	90mm TF		
W16	AA0406	430	610			Glass - Double	240mm BV		
W17	AA1006	1,030	610			Glass - Double	90mm TF		
W18	AS0612	600	1,210			Glass - Single Clear	90mm TF		

NOTE PROVIDE DOUBLE GLAZING TO ENTIIRE HOME

NOTE PROVIDE SQUARE SET WINDOWS AND SLIDING DOOR REVEALS THROUGHOUT

SIGNATURE ESSENTIALS

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DRAWN: DW
PLOT DATE: 11/02/2020
SLAB CLASS: 'H1' CLASS
SHEET:

11

WINDOW & DOOR SCHEDULES

1:1

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PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:
MISS ALEGRE
ADDRESS:
Lot No. 8 WARRIEWOOD ROAD
WARRIEWOOD

⊗ EXHAUST FAN
⊗ SMOKE ALARM AS 3786-1993
LODGEMENT: D.A/C.C
DP No: 1206507

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ISSUE	DESCRIPTION	DRAWN	DATE
B-7	AMENDMENTS	JD	11/2/20
A-2	AMENDMENTS 2/07/19	DW	18/07/19
A-3	AMENDED ROOM NAMES	DW	1/08/19
A-4	LIVE TENDER	JD	2/8/19
A-5	LIVE TENDER D1	AES	05.08.19
B-6	SUBMISSION PLAN	DW	17/1/20

JOB No:
190036
LGA:
PITTWATER
DESIGN:
IMPRESSION 32
FACADE:
AVANTI

V18

SITE ANALYSIS KEY

(1)

SINGLE STOREY

(2)

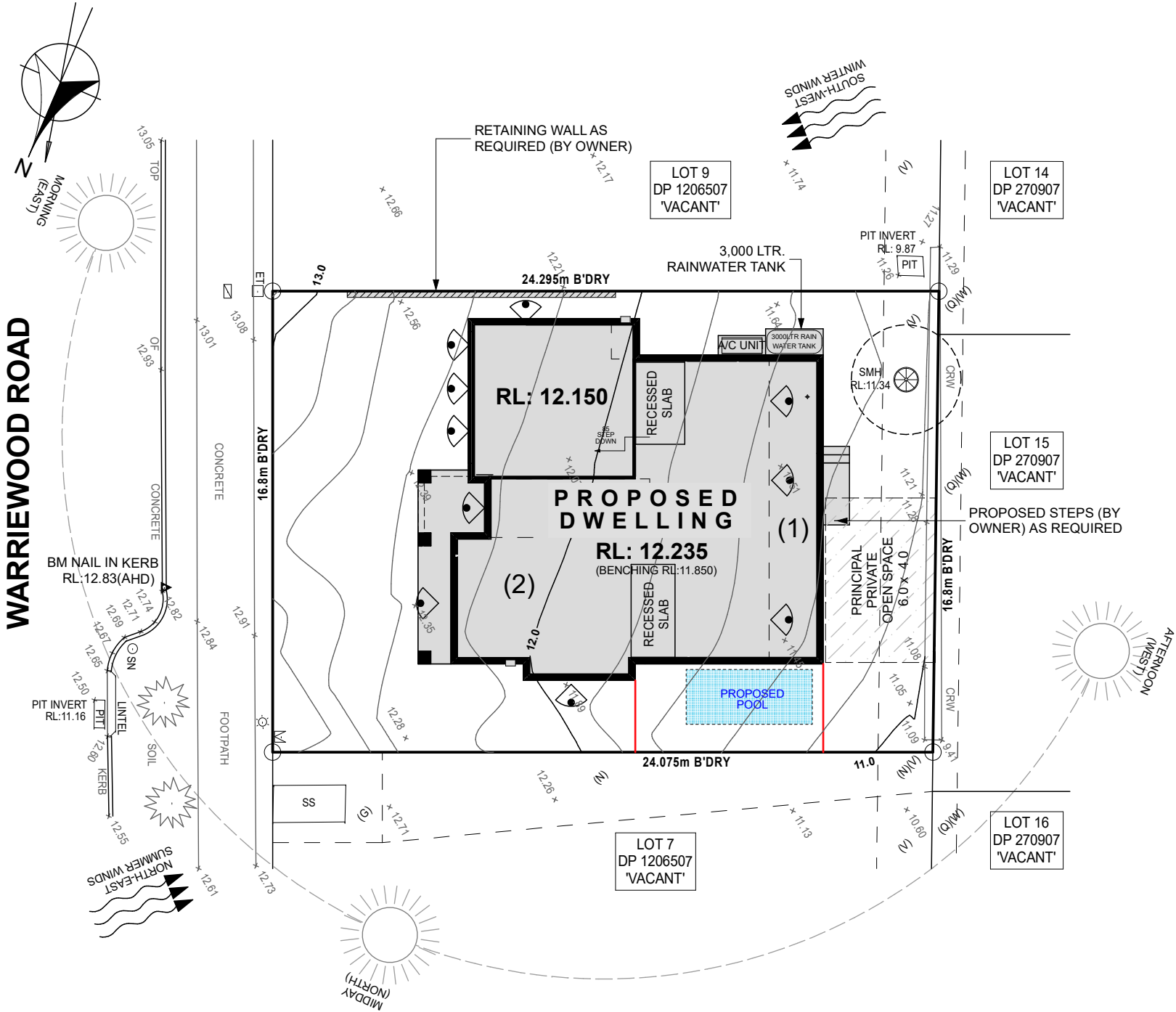
TWO STOREY

OVERLOOKING

PREVAILING WINDS

PRIVATE OPEN SPACE

SUNLIGHT/SHADOWING



'H' CLASS SITE AHD

SALINE AFFECTED

SUBJECT TO ENGINEERS

B.A.S AFFECTED

Lot No. 8

AREA: 406.3m²




STORMWATER DRAINAGE TO STREET WATER TABLE. (SUBJECT TO CONTOUR SURVEY)

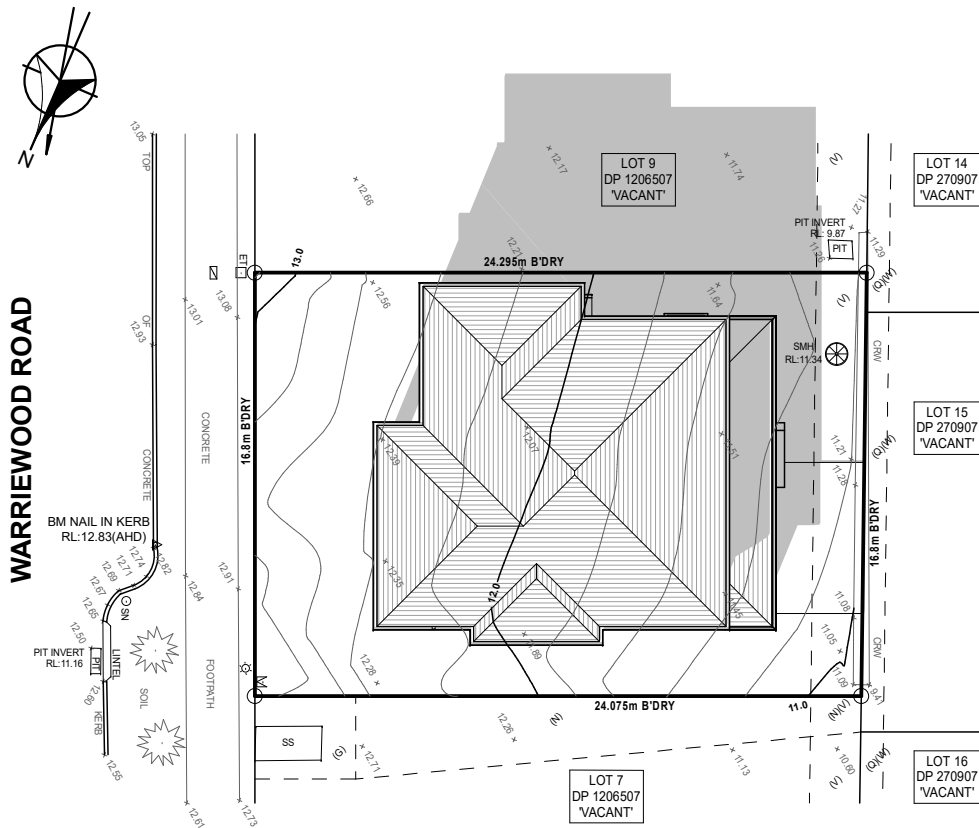
ANY RETAINING WALLS REQUIRED TO BE COMPLETED BY OWNERS TO MANUFACTURERS SPECIFICATIONS.

SITE ANALYSIS PLAN

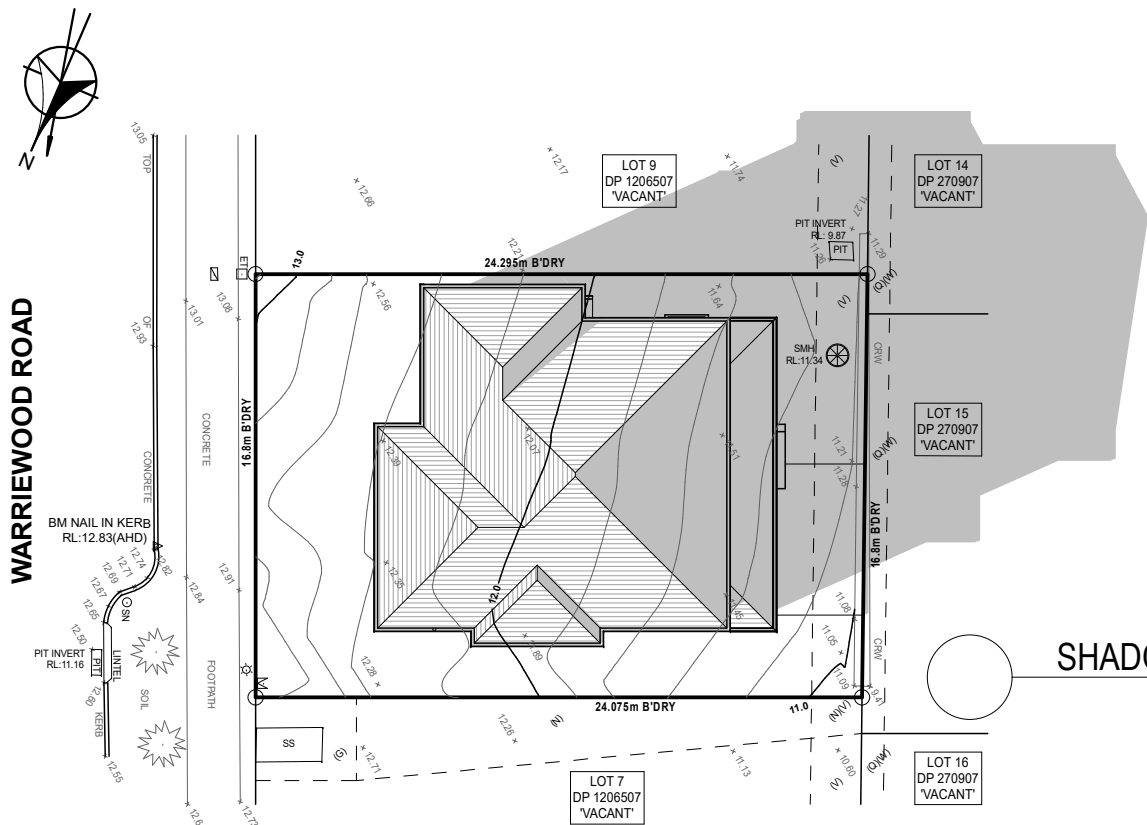
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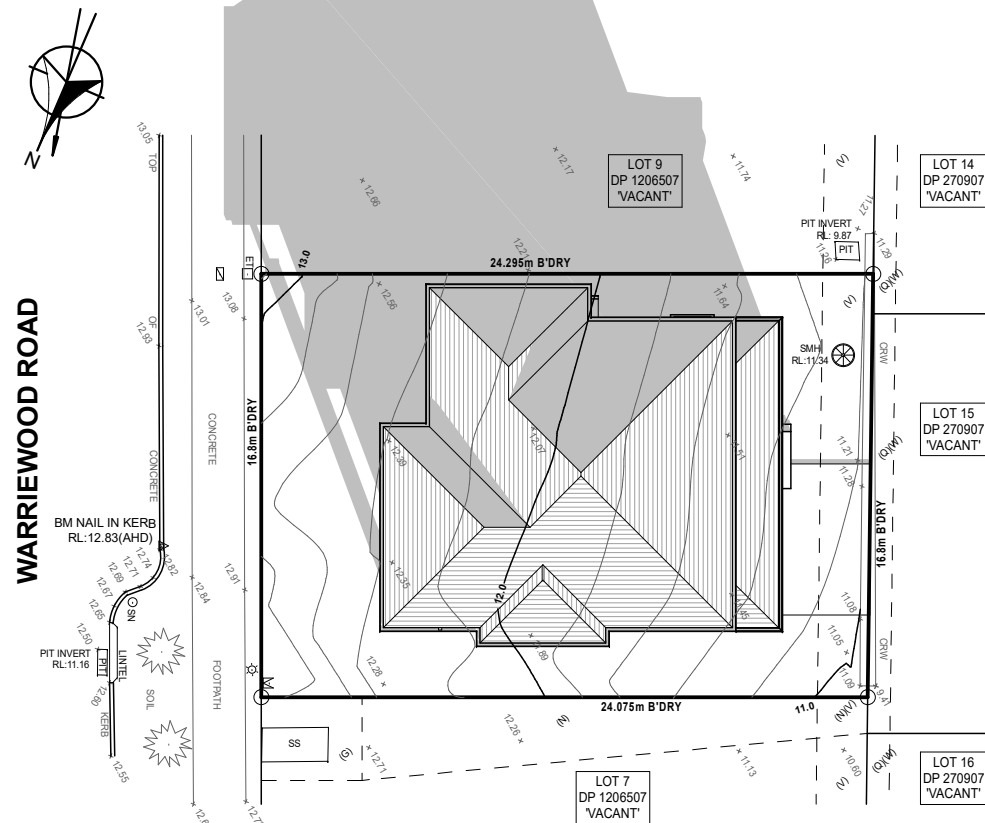
<div></div> <div>1300 855 775</div> <div>wisdomhomes.com.au</div>	PROJECT: PROPOSED BRICK VENEER DWELLING	<div> EXHAUST FAN</div> <div> SMOKE ALARM AS 3786-1993</div>	NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.	REVISION SCHEDULE				JOB No: 190036	DRAWN: DW
	CLIENT: MISS ALEGRE			<div>LODGEMENT: D.A/C.C</div> <div>DP No: 1206507</div>	ISSUE	DESCRIPTION	DRAWN	DATE	LGA: PITTWATER
	ADDRESS: Lot No. 8 WARRIEWOOD ROAD WARRIEWOOD	B-7			AMENDMENTS	JD	11/2/20	DESIGN: IMPRESSION 32	SLAB CLASS: 'H1' CLASS
		A-2			AMENDMENTS 2/07/19	DW	18/07/19		
		A-3			AMENDED ROOM NAMES	DW	1/08/19	FACADE: AVANTI	SHEET: 12
		A-4			LIVE TENDER	JD	2/8/19		
A-5	LIVE TENDER D1	AES	05.08.19	V18					
B-6	SUBMISSION PLAN	DW	17/1/20						



SHADOW 12PM
1:300



SHADOW 9AM
1:300



SHADOW 3PM
1:300

SHADOW DIAGRAMS
1:300

SHADOW PROJECTIONS 21st JUNE

SIGNATURE ESSENTIALS

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LGA:	PITTWATER	PLOT DATE:	11/02/2020
DESIGN:	IMPRESSION 32	SLAB CLASS:	'H1' CLASS
FACADE:	AVANTI	SHEET:	13

PROJECT:
PROPOSED BRICK VENEER DWELLING
CLIENT:
MISS ALEGRE
ADDRESS:
**Lot No. 8 WARRIEWOOD ROAD
WARRIEWOOD**

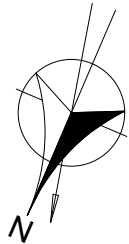
EXHAUST FAN
SMOKE ALARM AS 3786-1993
LODGEMENT:
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DP No:
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B-6	SUBMISSION PLAN	DW	17/1/20



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POOL CORNER HEIGHTS
A: + 75mm
B: + 405mm
C: + 505mm
D: + 175mm

LEGEND

- Decking/Timber
- Tiles/Pavers
- Coloured Concrete
- Plain Uncoloured Concrete
- Leaf Litter Mulch
- Lawn
- Gardens
- 1800mm High Boundary Fencing
- 1200mm High Pool Safe Fencing
- Approx. Existing Ground Line
- +RL 00.000 Proposed Levels
- 600 x 300mm Stepping stones
- Retaining Walls
(+TW = Top of Wall, BW = Bottom of Wall)
- Drainage Grate
- Existing Trees To Be Retained
- *NGL Natural Ground Level

Revision Schedule

Issue	Description	By	Date
A	SUBMISSION PLANS	JQ	26/09/19
B	VARIOUS CHANGES	JQ	29/01/20
C	POOL PLAN	JQ	02/03/20

General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
2. All civil, structural and hydraulic work associated with this project shall be to consulting engineer's details.
3. Landscape plan has been drawn to meet minimum council/ developer requirements. Landscape works additional to minimum requirements may also be proposed on this plan. Completion of works beyond minimum requirements will be at discretion of owner.
4. Exact location of site boundaries are to be confirmed on site prior to commencement of work.
5. All landscape levels and dimensions shown on plan are to finished levels.
6. This plan is indicative only and not for construction purposes.

SITE CALCULATIONS		m2
LOT AREA	406.3 sq m	
SITE COVERAGE		
GROUND LIVING AREA	123.5 sq m	
GARAGE AREA	35 sq m	
PORCH AREA	11 sq m	
OUTDOOR LEISURE	0 sq m	
TOTAL	169.6 sq m	41.74%
HARDSCAPE AREAS		
DRIVEWAY AREA	34.5 sq m	
CROSSOVER	13.7 sq m	
CONCRETE PATHS	42.1 sq m	
DECKING	2.9 sq m	
TOTAL (exc. crossover)	79.5 sq m	19.57%
FRONT LANDSCAPED AREA		
LAWN AREAS	43.1 sq m	
GARDEN AREAS	28.8 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	2.5 sq m	
REAR LANDSCAPED AREA		
LAWN AREAS	101.7 sq m	
GARDEN AREAS	28 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	5.2 sq m	
TOTAL LANDSCAPED AREA	209.3 sq m	51.50%
MINIMUM LANDSCAPE REQUIREMENT:		182.8 sq m 45%

Job No. **190036**

Drawing: **Landscape Plan**

Client: **Miss Alegre**

Address: **Lot 8 Warriewood Road Warriewood**

Lodgement/Council:
D.A/C.C - Northern Beaches

Date Drawn: 26/09/19	Drawn: JQ	Sheet: 01 of 06
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Scale: 1:200

Client Signatures:

-
-

WISDOM POOLS & LANDSCAPES

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B.A.S AFFECTED
SALINE AFFECTED
SUBJECT TO ENGINEERS

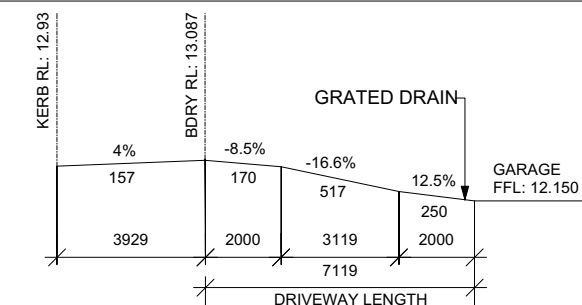
STORMWATER DRAINAGE TO
STREET WATER TABLE.
(SUBJECT TO CONTOUR SURVEY)

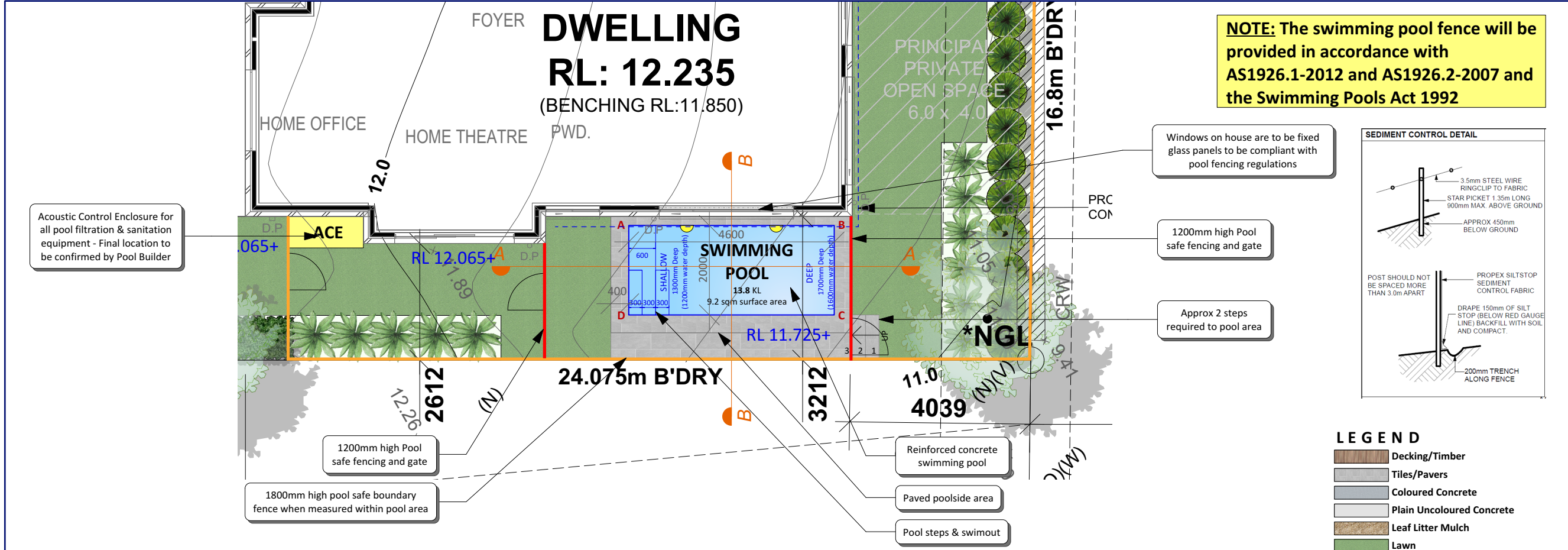
Any existing trees are to be protected in accordance with Council's Tree Preservation Order

NOTE: The swimming pool fence will be provided in accordance with AS1926.1-2012 and AS1926.2-2007 and the Swimming Pools Act 1992

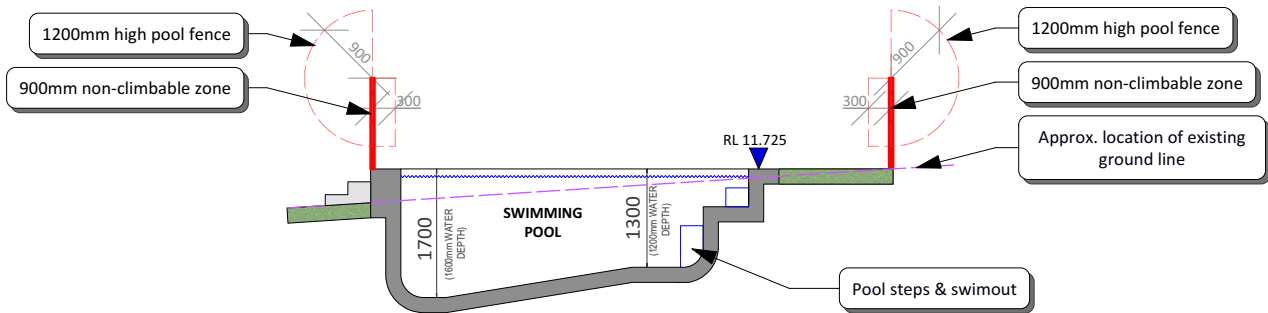
DRIVEWAY PROFILE

AS2890.1-2004

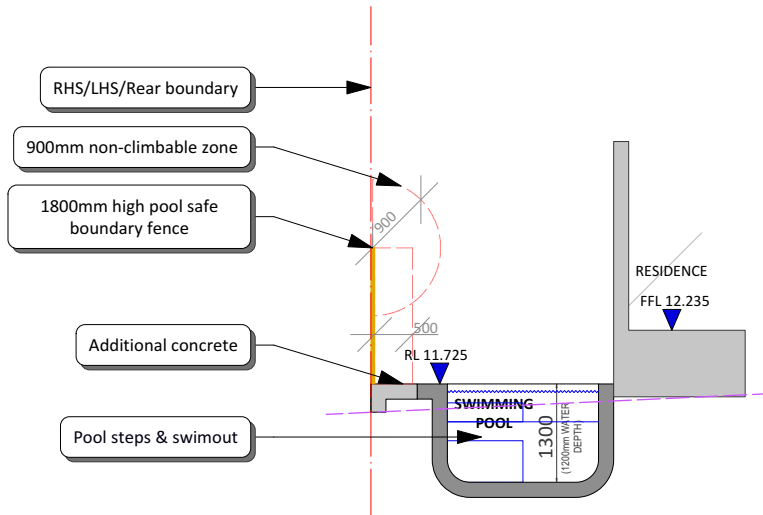




POOL DETAIL PLAN
SCALE 1:100



POOL SECTION AA
SCALE 1:100



POOL SECTION BB
SCALE 1:100

NOTE: The swimming pool fence will be provided in accordance with AS1926.1-2012 and AS1926.2-2007 and the Swimming Pools Act 1992

Revision Schedule			
Issue	Description	By	Date
A	SUBMISSION PLANS	JQ	26/09/19
B	VARIOUS CHANGES	JQ	29/01/20
C	POOL PLAN	JQ	02/03/20

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SITE CALCULATIONS		m2
LOT AREA	406.3 sq m	
SITE COVERAGE		
GROUND LIVING AREA	123.5 sq m	
GARAGE AREA	35 sq m	
PORCH AREA	11 sq m	
OUTDOOR LEISURE	0 sq m	
TOTAL	169.6 sq m	41.74%
HARDSCAPE AREAS		
DRIVEWAY AREA	34.5 sq m	
CROSSOVER	13.7 sq m	
CONCRETE PATHS	42.1 sq m	
DECKING	2.9 sq m	
TOTAL (exc. crossover)	79.5 sq m	19.57%
FRONT LANDSCAPED AREA		
LAWN AREAS	43.1 sq m	
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LAWN AREAS	101.7 sq m	
GARDEN AREAS	28 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	5.2 sq m	
TOTAL LANDSCAPED AREA	209.3 sq m	51.50%
MINIMUM LANDSCAPE REQUIREMENT:	182.8 sq m	45%

Job No. 190036

Drawing: Pool Details

Client: Miss Alegre

Address: Lot 8 Warriewood Road Warriewood

Lodgement/Council: D.A/C.C - Northern Beaches

Date Drawn: 26/09/19	Drawn: JQ	Sheet: 02 of 06
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Scale: 1:200

Client Signatures:

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LANDSCAPE SPECIFICATION

1. SITE PREPARATION

Area to be free of weeds and debris before the commencement of any landscape works. Weeds are to be sprayed with Glyphosate solution, leave adequate time for the weeds to die off prior to removal. Final levels and grades are to be determined at site inspection by the landscape contractor. The landscape plan is to be used as an indication only.

2. LAWN AREAS

Excavate all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Ensure that no pooling or ponding will occur. Install 100mm depth of imported topsoil. Just prior to laying turf, spread 'Sir Launcher' fertiliser at the recommended rate. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly. Turf to be used shall be 'Sir Walter Buffalo'.

3. GARDEN AREAS

Ensure that planting areas have been excavated to 250mm below finished levels. Supply and install 250mm of premium garden mix free of weeds, seeds and any foreign material. Topsoil Shall be either imported topsoil or stockpiled site topsoil (if suitable ie, no clay). Install 75mm depth of organic Eucalyptus Mulch.

4. SHRUB PLANTING

All plants shall be supplied in good condition exhibiting good form and vigour, free from all pests and diseases. The hole is to be dug to a radius twice the width of the rootball of the plant, ensuring that the top of the pot is the same height as the adjacent ground level. The roots should be gently teased to promote healthy root growth and discourage girdling (pot bound circular root growth). Leave mulch free from around the base of the plants. Water well after planting.

5. TREE PLANTING

Trees shall be supplied in good condition exhibiting good form and vigour, free from all pests and diseases. The hole is to be dug to a radius twice the width of the rootball of the tree. Tree pit and plant container are to be thoroughly watered prior to planting. The roots should be gently teased to promote healthy root growth and discourage girdling (Pot bound circular root growth). The tree is to be planted so that the base of the tree is level with the top of the ground. Backfill with a mixture of imported soil and natural soil, or imported soil only. Mulch should be kept clear of the base to prevent collar rot. Water well after planting.

6. CONCRETE PATHS

Concrete pathways are to be installed to a minimum depth of 100mm and include reinforcement. Concrete areas are to conform to relevant Australian standards.

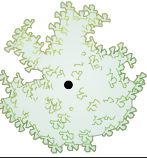

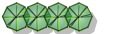



7. GARDEN EDGING

Garden edging is to be installed to all garden beds where no divide exists between garden and lawn areas. Use Havenbrick 50 by Adbri Masonry, or similar. The pavers are to be laid on a minimum of 40mm of mortar, with no mortar joint between the pavers. Refer to the brick edging typical detail.

8. FENCING

1800mm high timber lapped and capped or colourbond fences, unless otherwise specified by council or estate requirements. Retain existing fences where possible. Final fence type and colour to be confirmed with neighbour as required, prior to installation.

INDICATIVE PLANT SCHEDULE

Symbol	Type	Botanic Name	Common Name	Qty	Pot Size
	Small/ Medium Trees	Banksia integrifolia Cupaniopsis anacardioides Elaeocarpus reticulatus 'Prima Donna' Tristaniopsis laurina 'Luscious'	Coast Banksia Tuckeroo Blueberry Ash Kanooka Gum	3	25Ltr
	Medium Shrubs	Acmena smithii var 'Minor' Acmena smithii 'Sublime' Syzygium australe 'Resilience' Syzygium 'Cascade'	Dwarf Lilly Pilly Sublime Lilly Pilly Resilience Lilly Pilly Cascade Lilly Pilly	21	200mm
	Small Shrubs	Banksia spinulosa 'Birthday Candles' Callistemon viminalis 'Little John' Pittosporum tobira 'Miss Muffet' Westringia fruticosa 'Zena'	Banksia Birthday Candles Callistemon Little John Miss Muffet Pittosporum Westringia Zena	6	200mm
	Hedges	Acmena smithii var 'Minor' Acmena smithii 'Red Tip' Syzygium australe 'Bush Christmas' Syzygium australe 'Aussie Southern'	Dwarf Lilly Pilly Small Leafed Lilly Pilly Bush Christmas Lilly Pilly Aussie Southern Lilly Pilly	32	200mm
	Tall Grasses/Accent Plants	Alcantarea imperialis 'Rubra' Alpinia caerulea 'Redback' Crinum pedunculatum Doryanthes excelsa	Imperial Bromeliad Redback Ginger Swamp Lily Gynea Lily	11	200mm
	Small Grasses	Dianella revoluta 'Florero' Dianella 'Silver Streak' Liriope muscari Ophiopogon japonicus 'Silver Edge'	Dianella Florero Silver Streak Flax Lily Lily Turf Silver Edge Mondo Grass	12	150mm

** THIS PLANT SCHEDULE IS CONCEPTUAL ONLY **

Revision Schedule

Issue	Description	By	Date
A	SUBMISSION PLANS	JQ	26/09/19
B	VARIOUS CHANGES	JQ	29/01/20
C	POOL PLAN	JQ	02/03/20

General Notes:
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SITE COVERAGE		
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PORCH AREA	11 sq m	
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TOTAL	169.6 sq m	41.74%
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CROSSOVER	13.7 sq m	
CONCRETE PATHS	42.1 sq m	
DECKING	2.9 sq m	
TOTAL (exc. crossover)	79.5 sq m	19.57%
FRONT LANDSCAPED AREA		
LAWN AREAS	43.1 sq m	
GARDEN AREAS	28.8 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	2.5 sq m	
REAR LANDSCAPED AREA		
LAWN AREAS	101.7 sq m	
GARDEN AREAS	28 sq m	
PEBBLE/GRAVEL AREAS	0 sq m	
MULCH AREAS	5.2 sq m	
TOTAL LANDSCAPED AREA	209.3 sq m	51.50%
MINIMUM LANDSCAPE REQUIREMENT:	182.8 sq m	45%

Job No.

190036

Drawing: Plant List/Specification

Client: Miss Alegre

Address: Lot 8 Warriewood Road
Warriewood

Lodgement/Council:
D.A/C.C - Northern Beaches

Date Drawn: 26/09/19	Drawn: JQ	Sheet: 03 of 06
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Scale: 1:200



Client Signatures:

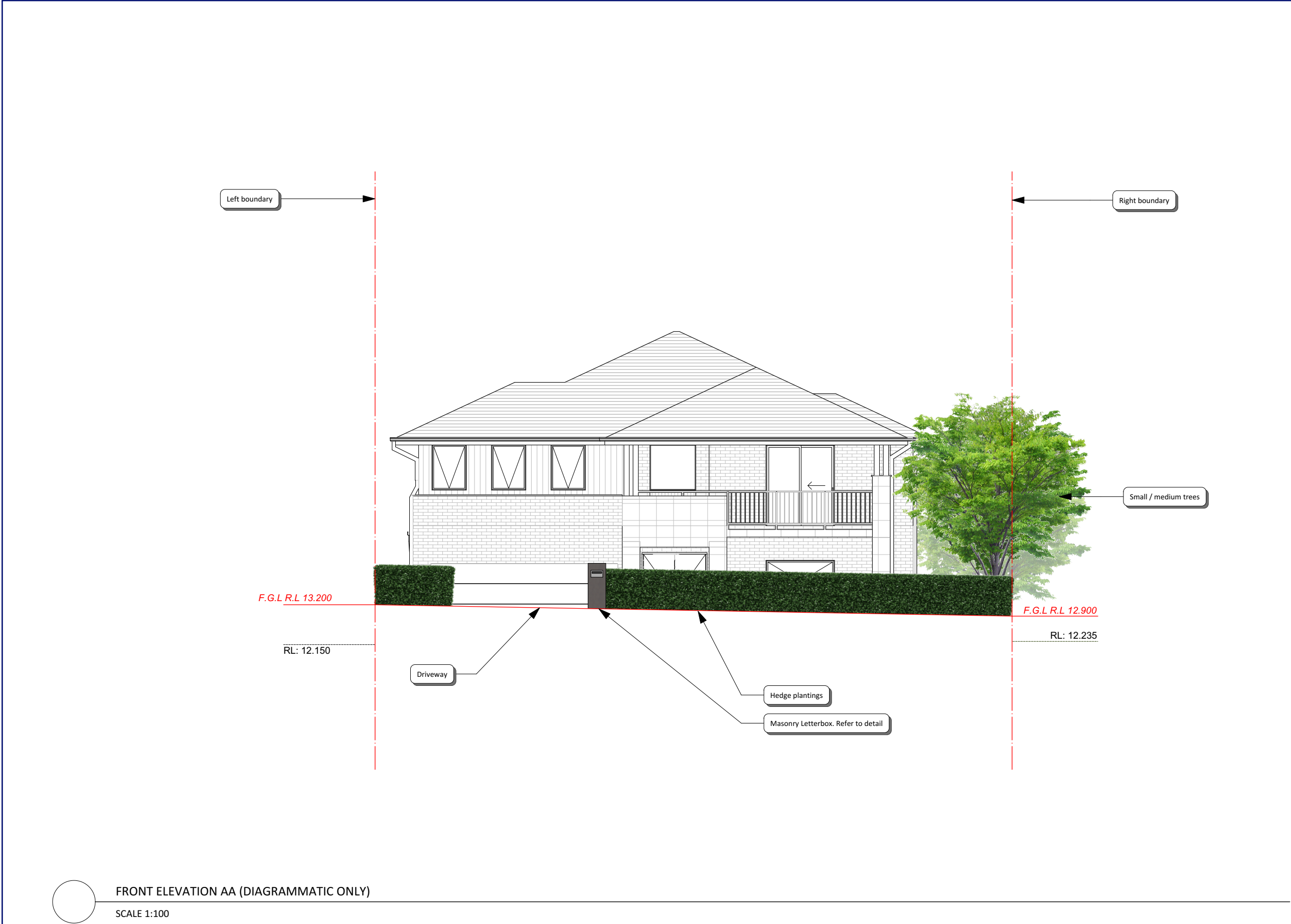
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SMALL/MEDIUM TREES

Banksia integrifolia	Cupaniopsis anacardioides	Elaeocarpus reticulatus 'Prima Donna'	Tristaniopsis laurina 'Luscious'
Coast Banksia	Tuckeroo	Blueberry Ash	Kanooka Gum
			



Revision Schedule			
Issue	Description	By	Date
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TOTAL LANDSCAPED AREA		209.3 sq m 51.50%
MINIMUM LANDSCAPE REQUIREMENT:		182.8 sq m 45%

Job No. 190036

Drawing: Elevation

Client: Miss Alegre

Address: Lot 8 Warriewood Road
Warriewood

Lodgement/Council:
D.A/C.C - Northern Beaches

Date Drawn:	Drawn:	Sheet:
26/09/19	JQ	04 of 06

Scale: 1:200

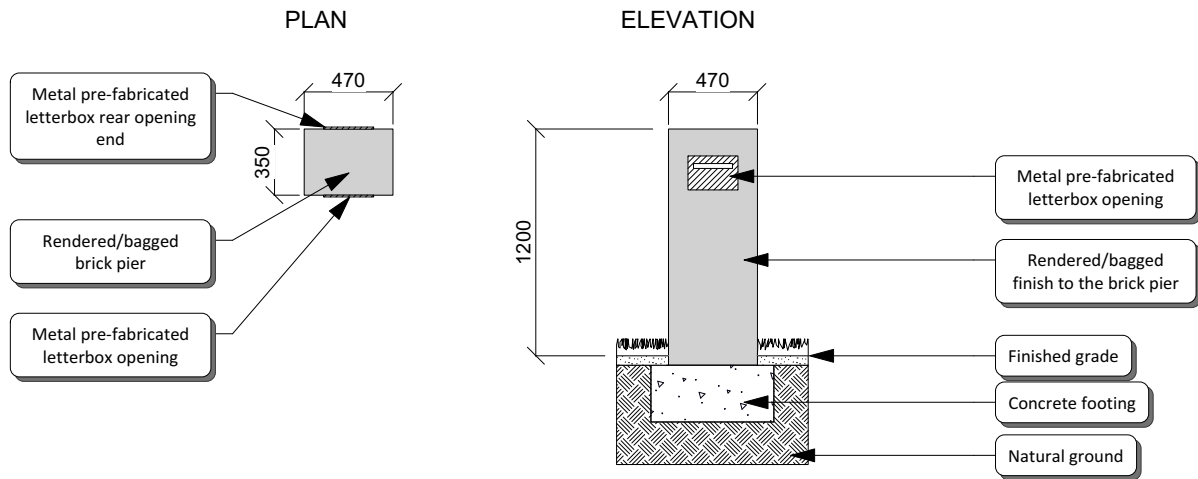
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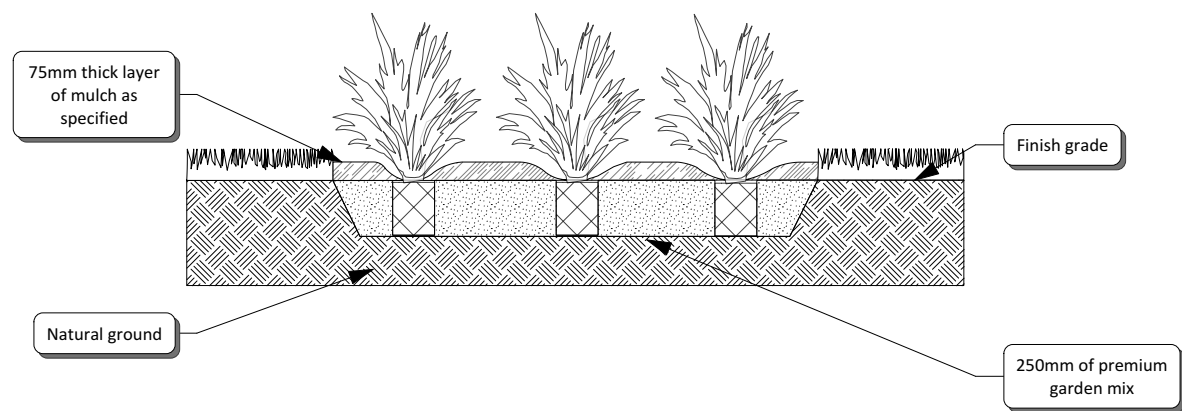
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- NOTES:
1. COLOURS CHOSEN ARE TO COMPLIMENT THE DWELLING
 2. ENSURE THAT NO PART OF THE FOOTING IS EXPOSED
 3. ENSURE NO PAINT/RENDER IS LEFT ON THE LETTERBOX OPENING



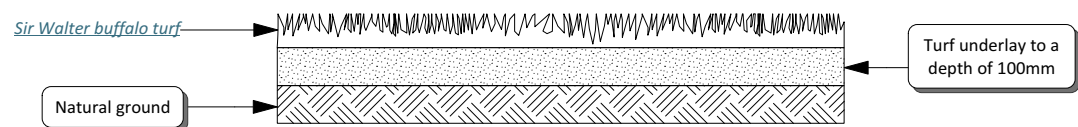
- NOTES:
1. PLANTS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS & DISEASES
 2. MULCH SHOULD BE SPREAD TO THE DEPTH SPECIFIED
 3. WATER ADEQUATELY AFTER INSTALLATION
 4. REFER TO PLAN FOR SPACING

LETTERBOX DETAIL

SCALE 1:40

SHRUB/GROUNDCOVER/GRASS PLANTING DETAIL

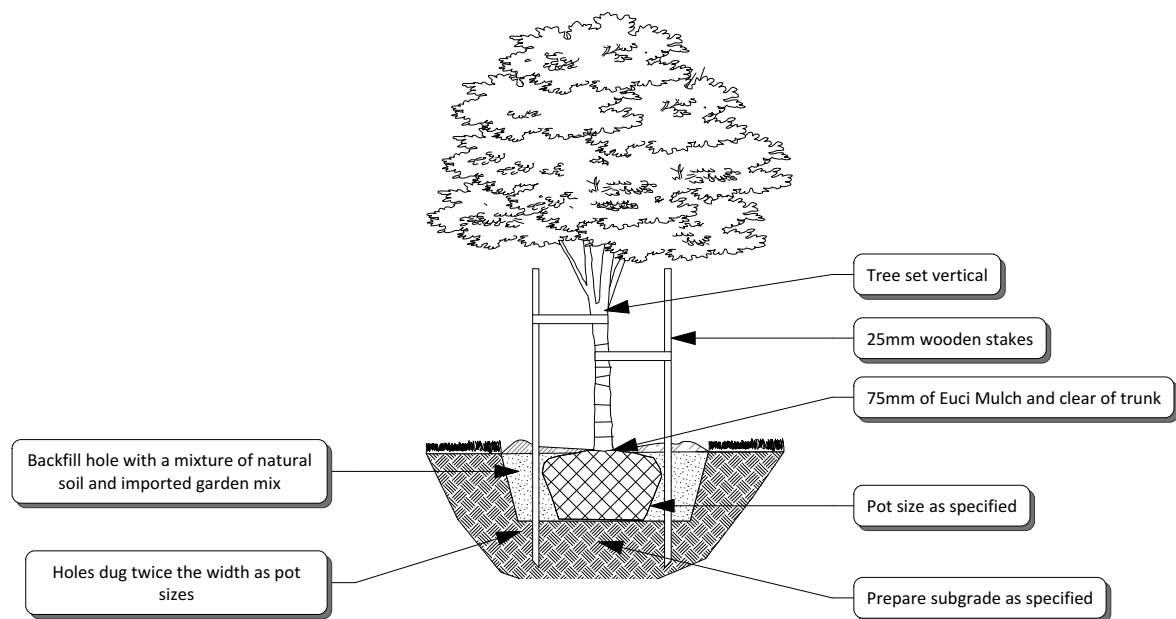
SCALE 1:30



- NOTES:
1. TURF ROLLS ARE TO BE FREE OF PESTS & DISEASES WITH ADEQUATE ROOTS PRESENT
 2. ENSURE AN EVEN GRADE OF TURF UNDERLAY
 3. WATER ADEQUATELY AFTER INSTALLATION

TURF DETAIL

SCALE 1:20



- NOTES:
1. PLANTS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS & DISEASES
 2. MULCH SHOULD BE SPREAD TO THE DEPTH SPECIFIED
 3. WATER ADEQUATELY AFTER INSTALLATION

TREE PLANTING DETAIL

SCALE 1:50

Revision Schedule

Issue	Description	By	Date
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MINIMUM LANDSCAPE REQUIREMENT:	182.8 sq m	45%

Job No. **190036**

Drawing: **Details**

Client: **Miss Alegre**

Address: **Lot 8 Warriewood Road Warriewood**

Lodgement/Council: **D.A/C.C - Northern Beaches**

Date Drawn: 26/09/19 Drawn: JQ Sheet: 05 of 06

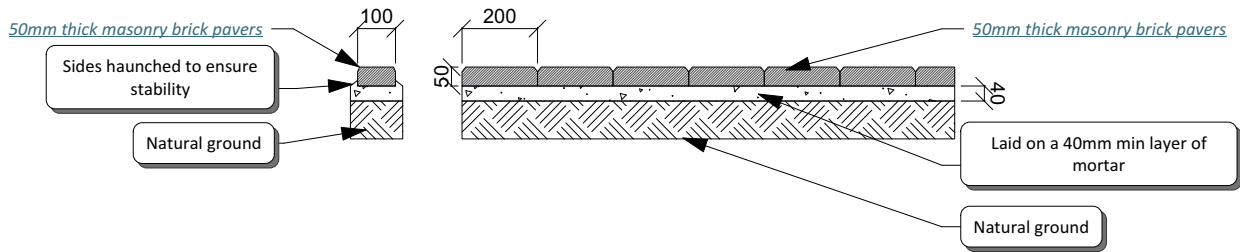
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Client Signatures:

- 1.
- 2.

WISDOM POOLS & LANDSCAPES

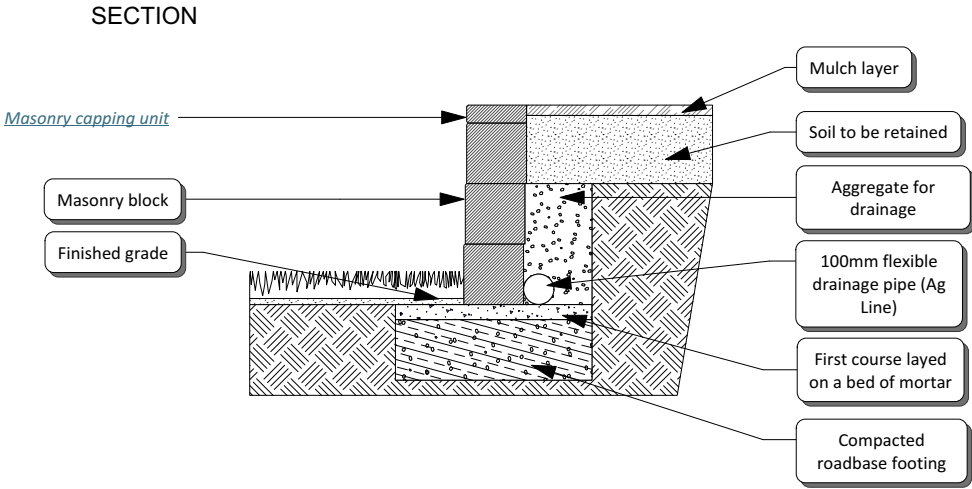
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- NOTES:
1. COLOURS CHOSEN ARE TO COMPLIMENT THE DWELLING
 2. ENSURE THAT THE GROUND IS BELOW IS ADEQUATELY COMPACTED BEFORE LAYING THE MORTAR LAYER
 3. ANY LAWN AREAS SHOULD BE BUTTED UP CLOSELY TO THE BRICK EDGING

BRICK EDGING DETAIL

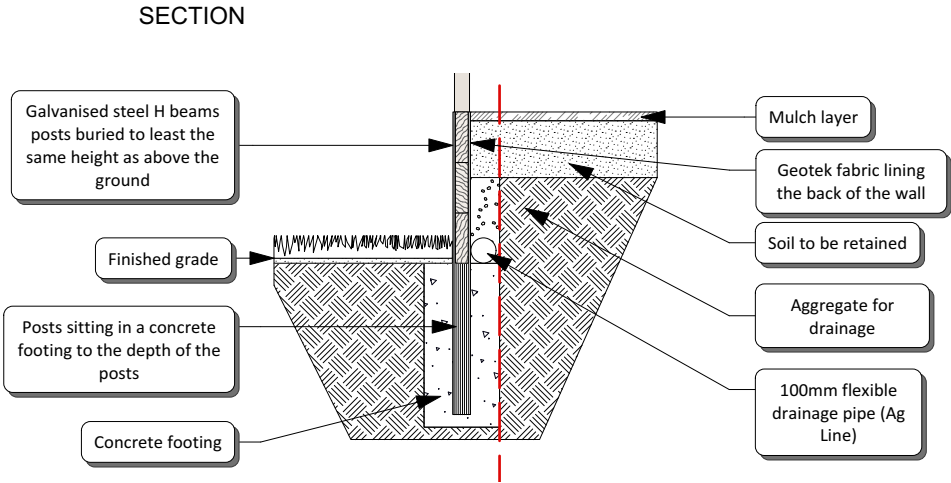
SCALE 1:20



- NOTES:
1. THE DRAINAGE PIPE IS TO HAVE A CONTINUOUS DOWN SLOPE TO ENSURE ADEQUATE DRAINAGE
 2. ENSURE THAT NO PART OF THE MORTAR LAYER OR FOOTING IS EXPOSED
 3. ALL DRAINAGE AND AG LINES ASSOCIATED WITH RETAINING WALLS ARE TO BE CONTAINED FULLY WITHIN THE SUBJECT PROPERTY

MASONRY RETAINING WALL DETAIL

SCALE 1:25



- NOTES:
1. THE DRAINAGE PIPE IS TO HAVE A CONTINUOUS DOWN SLOPE TO ENSURE ADEQUATE DRAINAGE
 2. ENSURE THAT NO PART OF THE FOOTING IS EXPOSED
 3. THE GROUND BELOW THE RETAINING WALL SHOULD HAVE A SLIGHT SLOPE AWAY FROM THE WALL SO THAT WATER DRAINS AWAY
 4. ALL DRAINAGE AND AG LINES ASSOCIATED WITH RETAINING WALLS ARE TO BE CONTAINED FULLY WITHIN THE SUBJECT PROPERTY

TIMBER & GALVANISED POST RETAINING WALL DETAIL

SCALE 1:30

Revision Schedule

Issue	Description	By	Date
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Job No. 190036

Drawing: Details

Client: Miss Alegre

Address: Lot 8 Warriewood Road Warriewood

Lodgement/Council: D.A/C.C - Northern Beaches

Date Drawn: 26/09/19	Drawn: JQ	Sheet: 06 of 06
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Scale: 1:200

Client Signatures:

- 1.
- 2.

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