

VISUAL IMPACT ASSESSMENT

1129-1131 Pittwater Road Collaroy, NSW

July 2021



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Development Application, 1129-1131 Pittwater Road Collaroy, NSW. Visual Impact Assessment Report, July, 2021.

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1. INTRODUCTION

1.1 Scope and Purpose of Report.

This Visual Impact Report has been prepared by Urbaine Architectural as supporting documentation for a development application proposing the demolition of the existing site structures and the construction of a mixed-use development incorporating 2 ground floor commercial tenancies with a 23 room boarding house and caretaker's apartment above and car parking for 21 vehicles pursuant to the provisions of State Environmental Planning Policy (Affordable Rental Housing) 2009 ("SEPP ARH).

This report has been prepared for Lotus Projects, owners of the sites, and provides an analysis of the proposed development's visual impact in relation to its visual and statutory contexts and is to be read in conjunction with the drawings and other material submitted with the development application.



Figure 1 – site location shown in red.



Figure 2 – Aerial photo showing site location in red

1.2 The Proposed Development

1.2.1 Project Overview

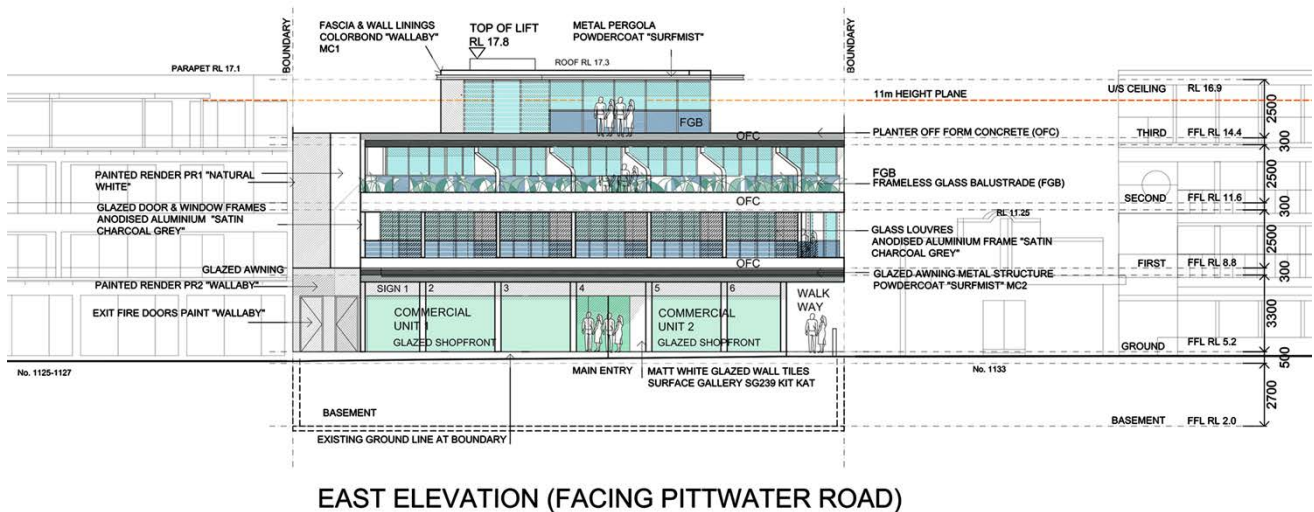


Figure 3 – Eastern Elevation of proposed design – from Barry Rush & Associates Pty Ltd - Architects

1.2.2 The Site

The subject site is located on the western side of Pittwater Road within the Collaroy Local Centre and directly opposite Collaroy Beach (see Figures 1 and 2). The properties are legally described as Lot 4, DP 7445, No. 1129 and Lot 1, DP 859613, No. 1131 Pittwater Road, Collaroy. The consolidated allotment has frontage and address to Pittwater Road of 27.005 metres, variable depth of between 40.965 (southern boundary) and 27.9 metres (northern boundary) and a rear boundary width of 23.66 metres. The allotment has a combined area of 814.6 square metres.

The subject sites are currently occupied by 1 and 2 storey commercial buildings, with frontage and address to Pittwater Road and car parking at the rear accessed via a right of carriageway of variable width from Collaroy Street over Lot 2, DP 859613, SP 58961, No 1 – 5 Collaroy Street. No. 1131 Pittwater Road is burdened by a right of footway of variable width providing access from Pittwater Road to Lot 2, DP 859613, SP 58961, No 1 – 5 Collaroy Street. The sites do not contain any remarkable natural or built form features as depicted on the site survey extract at Figure 2 over page.

Surrounding development consists of commercial businesses and shop-top housing and mixed-use buildings. Further east is Collaroy main beach and the Pacific Ocean.

Commercial premises and boarding houses are permitted with consent in the B2 Local Centre zone.

1.2.3 Proposed Land Use and Built Form

The application proposes the demolition of the existing site structures and the construction of a mixed-use development incorporating 2 ground floor commercial tenancies, with a 23 room boarding house and caretaker's apartment above (see Figure 3 for typical elevation and Figure 4 for typical accommodation floor plan) and car parking for 21 vehicles pursuant to the provisions of State Environmental Planning Policy (Affordable Rental Housing) 2009 ("SEPP ARH"). The detail of the application is depicted on the plans and documentation prepared by Barry Rush and Associates Pty Limited:

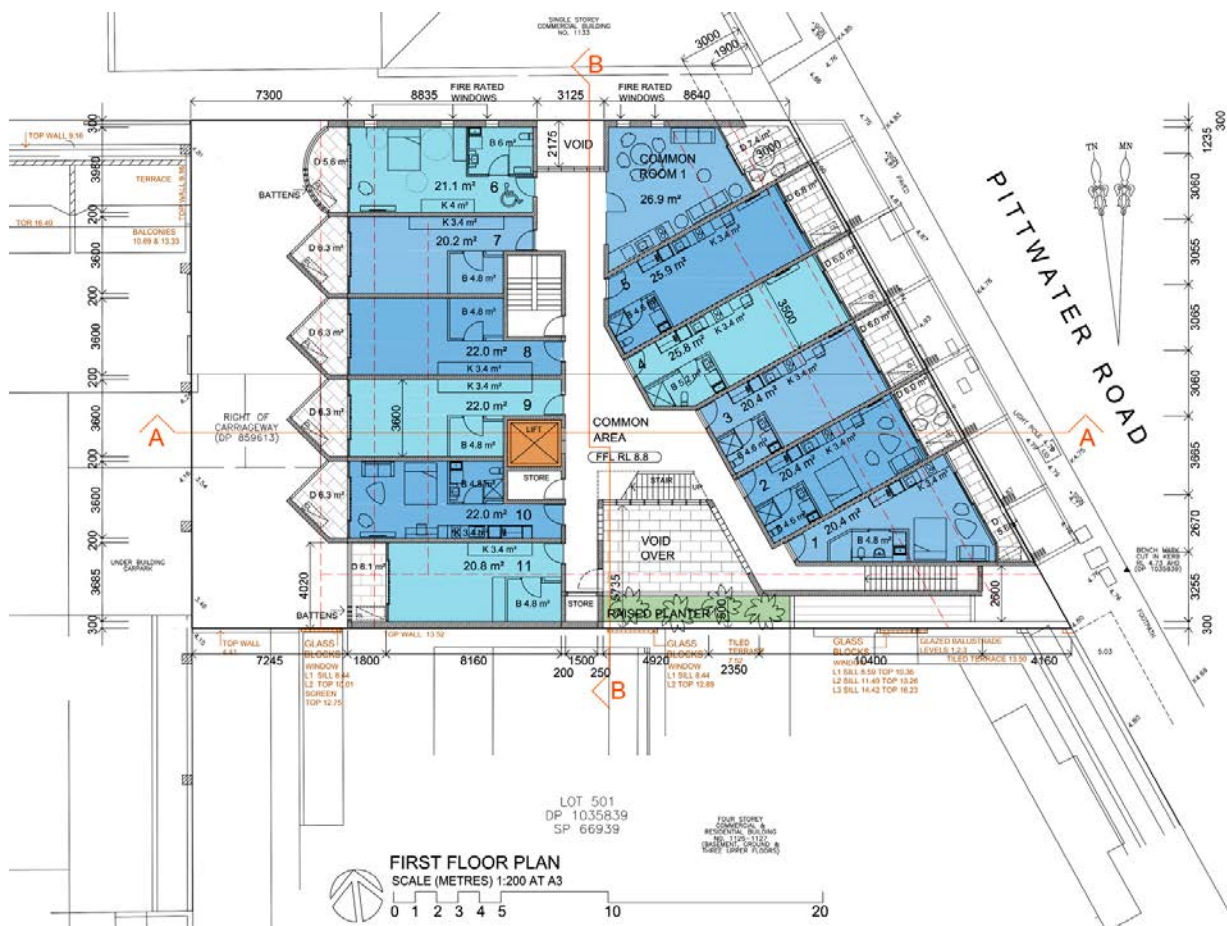


Figure 4 – Typical accommodation floorplan –from Barry Rush & Associates Pty Ltd - Architects

- To provide for the housing needs of the community within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

The Warringah Local Environmental Plan (LEP) 2011 applies to the subject site and this development proposal. The subject site is located within the B2 Local Centre zone. Boarding houses are permissible in the zone with consent. The stated objectives of the B2 zone are as follows:

- To provide a range of retail, business, entertainment and community uses that serve the needs of people who live in, work in and visit the local area;
- To encourage employment opportunities in accessible locations;
- To provide an environment for pedestrians that is safe, comfortable and interesting;
- To create urban form that relates favourably in scale and in architectural and landscape treatment to neighbouring land uses and to the natural environment;
- To minimise conflict between land uses in the zone and adjoining zones and ensure the amenity of any adjoining or nearby residential land uses.

The requirements of Policy F1 of the DCP are as follows:

- 1) Buildings are to define the streets and public spaces and create environments that are appropriate to the human scale as well as being interesting, safe and comfortable.
- 2) The minimum floor to ceiling height for buildings is to be 3.0 metres for ground floor levels and 2.7 metres for upper storeys.
- 3) The design and arrangement of buildings are to recognise and preserve existing significant public views.
- 4) Development that adjoins residential land is not to reduce amenity enjoyed by adjoining residents.
- 5) The built form of development in the local or neighbourhood retail centre is to provide a transition to adjacent residential development, including reasonable setbacks from side and rear boundaries, particularly above ground floor level.
- 6) Buildings greater than 2 storeys are to be designed so that the massing is substantially reduced on the top floors and stepped back from the street front to reduce bulk and ensure that new development does not dominate existing buildings and public spaces.
- 7) Applicants are to demonstrate how the following significant considerations meet the objectives of this control:
 - Scale and proportion of the façade;
 - Pattern of openings;
 - Ratio of solid walls to voids and windows;
 - Parapet and/or building heights and alignments;
 - Height of individual floors in relation to adjoining buildings;
 - Materials, textures and colours; and
 - Architectural style and façade detailing including window and balcony details
- 8) Footpath awnings should be designed to allow for street tree planting.
- 9) Awnings should be consistent in design, materials, scale and overhang with adjacent retail developments.
- 10) Awnings should have an adequate clearance from the kerb.

With respects to the above requirements the development is considered to be compliant.

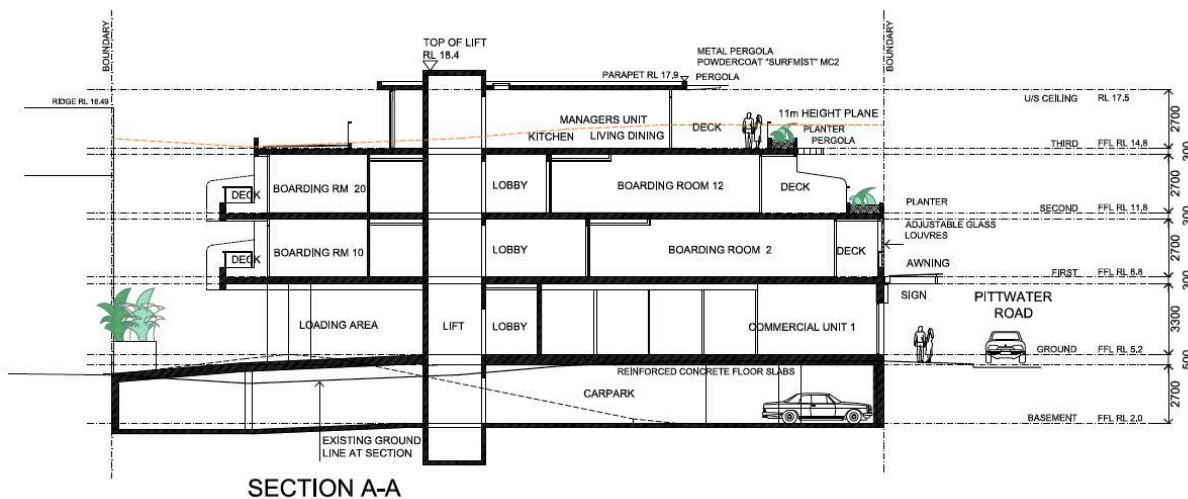


Figure 5: Drawing from Barry Rush & Associates Pty Ltd - Architects, showing a generic cross-section through the site and proposed building.

It has been determined that the proposed development has a maximum building height along its eastern roof parapet of 12 metres with height increasing to a maximum of 13 metres where the site has a localised depression in its south western corner (see Figure 5 for site section). This represents a building roof parapet non-compliance A clause 4.6 variation request is being submitted with the Development Application by Boston Blyth Flemming – Town Planners (see Figure 6 for extent of non-compliance).

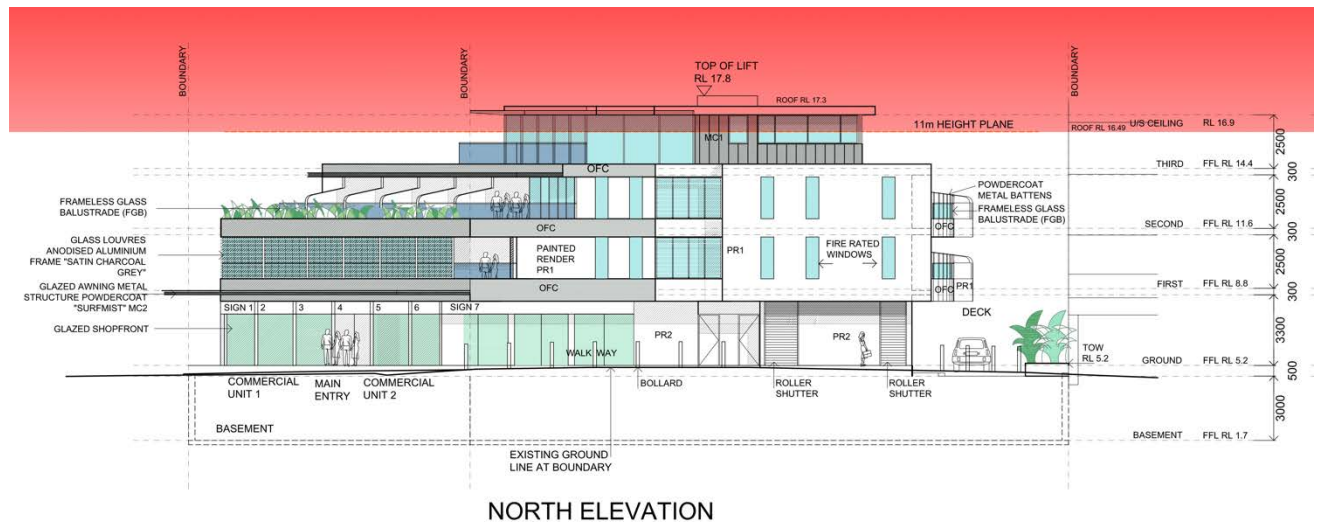


Figure 6: Drawing from Barry Rush & Associates Pty Ltd - Architects, with red overlay showing extent of height and building envelope breaches.

1.3 Visual Impact Assessment Methodology

The methods used by Urbaine, for the generation of photomontaged images, showing the proposed development in photomontaged context are summarised in an article prepared for New Planner magazine in December 2018 and contained in Appendix C. A combination of the methods described were utilised in the preparation of the photomontaged views used in this visual impact assessment report. This same methodology is currently under review by the Land and Environment Court as a basis for future VIA guidelines to supersede the current instructions.

1.3.1 Process

Initially, a fully contoured 3d model was created of the site and surrounding buildings to the extent of the designated viewpoints, with detailed modelling matching the building envelope of the latest Barry Rush & Associates Pty Ltd - Architects design of the proposed extension

Virtual cameras were placed into the model to match various selected viewpoints, in both height and position. From these cameras, rendered views have been generated and photomontaged into the existing photos, using the ground plane for alignment (allowing 2 set camera heights for standing and sitting positions being at 1600mm and 1100mm respectively). Several site location poles were placed into the 3d model to allow accurate alignment with the original photo. These poles align with known elements of the building and surroundings, such as top of ridge and eaves location on the dwelling, together with existing trees and site boundary intersections.

The rendered views create an accurate interpretation of the visual impact and provide a basis for minimising any view loss by the incorporation of amended building heights and landscape, where appropriate.

The final selection of images shows these stages, concluding with an outline, indicating the potential visual impact. In addition, Appendix A contains larger format versions of these photomontaged assessment views. It is from these that a better understanding can be gained, regarding the visual impact in the overall urban context, although for the purposes of statutory requirements, the images within the report are of a standard 50mm lens format.

1.3.2 Assessment Methodology

There are no set guidelines within Australia regarding the methodology for visual impact assessment.

Where a proposal is likely to adversely affect views from either private or public land, Council will give consideration to the Land and Environment Court's Planning Principle for view sharing established in *Tenacity Consulting v Warringah Council* [2004] NSWLEC 140. This Planning Principle establishes a four-step assessment to assist in deciding whether or not view sharing is reasonable:

Step 1: assessment of views to be affected.

Step 2: consider from what part of the property the views are obtained.

Step 3: assess the extent of the impact.

Step 4: assess the reasonableness of the proposal that is causing the impact.

However, there is no peer review system for determining the accuracy of the base material used for visual impact assessments. As a result, Urbaine Architectural provides a detailed description of its methodologies and the resultant accuracy verifiability – this is contained within Appendix C. The methodology applied to the visual assessment of the current design proposal has been developed from consideration of the following key documents:

- Environmental Impact Assessment Practice Note, Guideline for Landscape Character and Visual Impact Assessment (EIA-N04) NSW RMS (2013);
- Visual Landscape Planning in Western Australia, A Manual for Evaluation, Assessment, Siting and Design, Western Australia Planning Commission (2007);
- Guidelines for Landscape and Visual Impact Assessment, (Wilson, 2002);

In order to assess the visual impact of the Design Proposal, it is necessary to identify a suitable scope of locations that may be impacted by it, evaluate the visual sensitivity of the Design Proposal to each location and determine the overall visual impact of the Design Proposal. Locations that feature a prominent, direct and mostly unobstructed line of sight to the subject site are used to assess the visual impact of the Design Proposal. The impact to each location is then assessed by overlaying an accurate visualisation of the new design onto the base photography and interpreting the amount of view loss in each situation, together with potential opportunities for mitigation.

Views of high visual quality are those featuring a variety of natural environments/ landmark features, long range, distant views and with no, or minimal, disturbance as a result of human development or activity. Views of low visual quality are those featuring highly developed environments and short range, close distance views, with little or no natural features.

Visual sensitivity is evaluated through consideration of distance of the view location to the site boundary and also to proposed buildings on the site within the Design Proposal. Then, as an assessment of how the Design Proposal will impact on the particular viewpoint. Visual sensitivity provides the reference point to the potential visual impact of the Design Proposal to both the public and residents, located within, and near to the viewpoint locations.

Site Inspections:

A site inspection was undertaken to photograph the site and surrounding area to investigate:

- The topography and existing urban structure of the local area
- The streetscapes and sites most likely to be affected by the Proposal
- Important vistas and viewsheds
- Other major influences on local character and amenity

The site map (see figure 7) indicates chosen locations for site photography from adjoining properties towards the subject site.

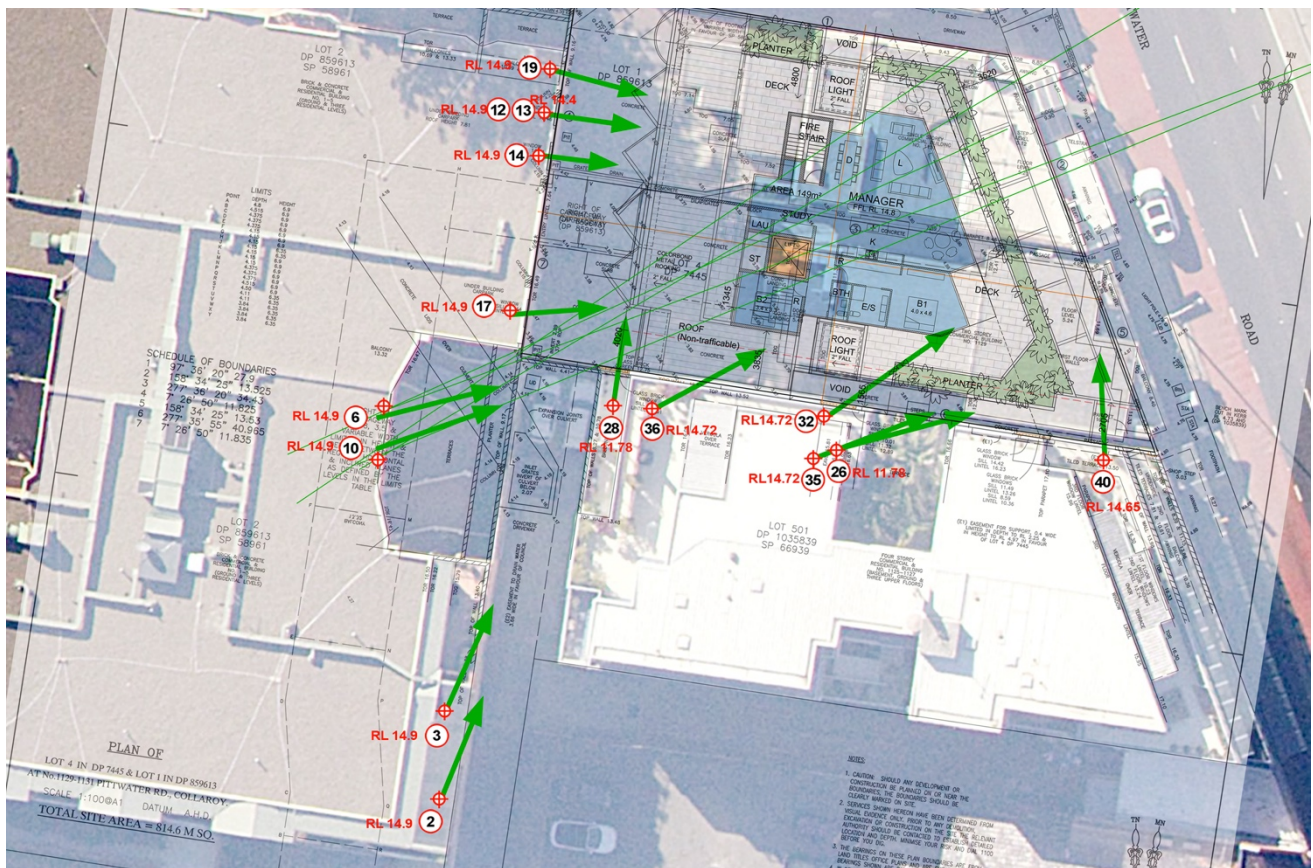


Figure Figure 7: Selected neighbouring property viewpoint locations from Nos. 1-5, Collaroy Street and No.1127, Pittwater Road, for visual impact assessments, shown in plan.

Contextual Analysis:

An analysis was undertaken of the visual and statutory planning contexts relevant to the assessment of visual impacts in a Development Application.

Visual Impact Analysis:

The visual impacts of the proposed development were analysed in relation to the visual context and assessed for their likely impact upon the local area.

Statutory Planning Assessment:

The results of the local view impact assessment are included in Section 3 of this report, with large format images included in Appendix A.

1.4 References

The following documentation and references informed the preparation of this report:

Design Documentation

■ The design drawings and information relied upon for the preparations of this report were prepared by Barry Rush & Associates Pty Ltd - Architects Pty Ltd., dated July, 2021.

■ Creating Places for People - An Urban Design Protocol for Australian Cities:

www.urbandesign.gov.au/downloads/index.as

■ State Environmental Planning Policy No.55 - Remediation of Land;

■ State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004;

■ State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017;

■ Australia and New Zealand Urban Design Protocol:

www.mfe.govt.nz/publications/urban/design-protocol-mar05/urban-design-protocol-colour.pdf

■ The Value of Urban Design:

www.designcouncil.org.uk/Documents/Documents/Publications/CABE/the-value-of-urban-design.pdf

■ Fifteen Qualities of Good Urban Places:

www.goldcoast.qld.gov.au/planning-and-building/fifteen-qualities-of-good-urban-places-3774.html 9

- The Image of the City (1960), Kevin Lynch
- The Environmental Planning and Assessment Act 1979 as amended (“the Act”);
- Warringah Local Environmental Plan 2011 (“WLEP 2011”);
- Warringah Development Control Plan 2011 (“WDCP 2011”);

2. THE SITE AND THE VISUAL CONTEXT

Visual impacts occur within an existing visual context where they can affect its character and amenity. This section of the report describes the existing visual context and identifies its defining visual characteristics.

Defining the local area relevant to the visual assessment of a proposed development is subject to possible cognitive mapping considerations and statutory planning requirements. Notwithstanding these issues, the surrounding local area that may be affected by the visual impact of the proposed development is considered to be the area identified on in the general topographical area map, Figure 8. This shows the steep fall of land from west towards the east and Pittwater Road. The subject site sits at the base of the hill.

Although some individuals may experience the visual context from private properties with associated views, the general public primarily experiences the visual context from within the public realm where they form impressions in relation to its character and amenity. This is particularly relevant in this instance, where the scale and form of the proposed development is viewed in context. Within the scope of this report the public realm is considered to include the public roads, reserves, open spaces and public buildings.

The visual context is subject to ‘frames of reference’ that structure the cognitive association of visual elements. The ‘local area’ (as discussed above) provides one such frame of reference. Other “frames of reference” include the different contextual scales at which visual associations are established and influence the legibility, character and amenity of the urban environment. Within the scope of this report three contextual scales are considered relevant to the analysis of the visual context and the visual impact of the proposed development.

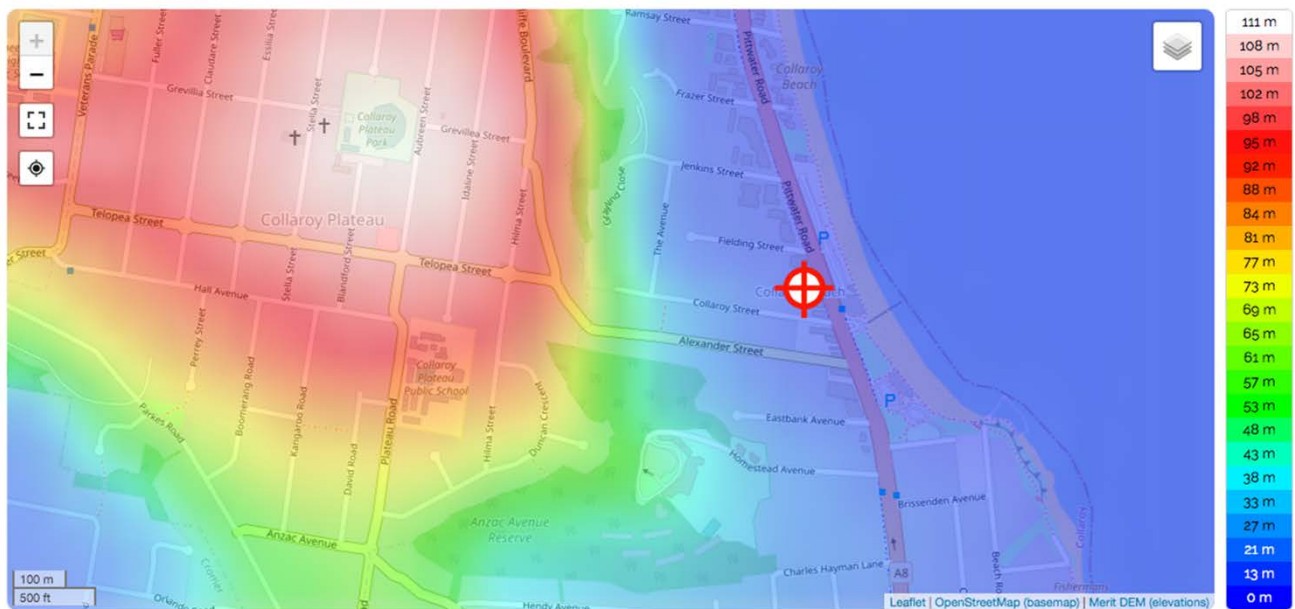


Figure 8: Subject Site topographical map.

The ‘Street Context’ provides a frame of reference for reviewing the visual relationship of the new development (and in particular its facades) in relation to the adjoining pedestrian spaces and roads. Elements of the development within this frame of reference are experienced in relatively close proximity where, if compatible with the human scale they are more likely to facilitate positive visual engagement and contribute to the “activation” of adjoining pedestrian spaces.

The 'Neighbourhood Context' provides a broader frame of reference that relates the appearance of the development as a whole to the appearance of other developments within the local area. As a frame of reference, it evolves from the understanding gained after experiencing the site context and the low density of development. Within this context the relative appearance, size and scale of different buildings are compared for their visual compatibility and contribution to a shared character from which a unique "sense of place" may emerge. This frame of reference involves the consideration of developments not necessarily available to view at the same time. It therefore has greater recourse to memory and the need to consider developments separated in time and space. The neighbourhood context is relevant to the visual "legibility" of a development and its relationship to other developments, which informs the cognitive mapping of the local area to provide an understanding of its arrangement and functionality.

2.1 The Visual Context:

Within the street context, development is a mixture of mixed-use commercial buildings, 2 and 3 storey individual dwelling houses and 2 to 4 storey apartment blocks, orientated to maximise ocean and district views. The subject property is not heritage listed.

Within the wider urban context, there is a diverse fabric consisting of predominantly low density residential, with wide streets and mature, established landscaping.

The iconic views from the site and neighbouring properties are to the east and the ocean. Although viewlines over the subject site are enjoyed to the ocean, this is as a result of the site being underdeveloped and the historic nature of the views does not necessitate their continuation.

Bearing this in mind, a sensitive, compliant design that reflects community view sharing is essential, and has been provided in this application.

2.2 Streetscapes

Within the local and surrounding areas, the streetscapes are typical of a well-established suburban area, that being focused on public amenity along Pittwater Road, being the main arterial road on the Northern Beaches. The residential lots are medium to large and, as a result of the topography, have the option of enabling view sharing throughout the neighbourhood

2.3 The selected view locations for the local view analysis:

As a result of the site's topography, the visual impact is primarily relevant from the residential properties surrounding the subject site and also from the gaps between houses and apartment buildings, observed from the street. The apartment buildings to the south and west of the subject site, have the greatest potential for negative visual impact

A large number of site photos were taken and a smaller number of local views selected from these (see Figure 7 for photo locations), relevant for the private viewing locations, as described above. These are a mixture of static viewpoints, namely, fixed locations, as opposed to locations where viewing from a vehicle may be more likely – dynamic.

The selected photos are intended to allow consideration of the visual and urban impact of the new development at both an individual and local level. They incorporate private viewing locations from Nos. 1-5 Collaroy Street and No. 1125 Pittwater Road, where the subject site falls within direct line of sight and has the potential to impact on the neighbouring views and light access.

2.4 Period of View:

The view is either

- (a) Intermittent, or Dynamic if it will be viewed from a car travelling along a road; or
- (b) Stationary, or Static if the proposal can be viewed from a fixed location or for an extended period of time. In this instance, most views will be considered as stationary, since the impact is most significant on views from adjoining gardens.

Context of View:

The context of the view relates to where the proposed development is being viewed from. The context will be different if viewed from a neighbouring building, or garden, where views can be considered for an extended period of time, as opposed to a glimpse obtained from a moving vehicle.

Extent of View:

The extent to which various components of a development would be visible is critical. For example, if the visibility assessment is of a multi-storey development proposal in a low-density context of 2 to 3 storey buildings, it would be considered to have a significant local scale visual impact, whereas if a development proposal is located in an area of a CBD containing buildings of a similar scale and height, it may be considered to have a lower scale visual impact.

The capacity of the landscape to absorb the development is to be ranked as high, medium or low, with a low ranking representing the highest visual impact upon the scenic environmental quality of the specific locality, since there is little capacity to absorb the visual impact within the landscape.

3. VISUAL IMPACT OF THE PROPOSED DEVELOPMENT

3.1 Visual Impact Assessments, with reference to the requirements of the Land and Environment Court.

When undertaking the assessment of visual impacts, the guidelines stipulated by the Land and Environment Court, NSW, are used as a starting point for compliance.

3.2 Visual Impact Assessments from 5 local viewpoint locations – static, private locations:

3.2.1 Method of Assessment:

In order to allow a quantitative assessment of the visual impact, photos were selected that represented relevant private viewing locations from adjoining properties.

A Canon EOS Full Frame Digital Camera with fixed focal length 35mm lens was used to take all viewpoint photos, at an eye level of 1600mm

The photos include location descriptions, to be read in conjunction with the site map, contained in Appendix A. Additionally, information is supplied as to the distance from the site boundary for each location and the distance to the closest built form is provided in Section 3.2.2 below.

To assess the visual impact, there are 2 relevant aspects - view loss of actual substance (landscape, middle and distance view elements etc.) and also direct sky view loss.

To a large extent, the value associated with a view is subjective, although a range of relative values can be assigned to assist with comparing views. Figure 9 is a scale of values from 0 to 15, used to allow a numeric value to be given to a particular view, for the purposes of comparison.

On the same table are a series of values, from zero to 15, that reflect the amount of visual impact.

The second means of assessment relates to assigning a qualitative value to the existing view, based on criteria of visual quality defined in the table – see figure 9, columns 3 and 4.

The % visual content is then assessed, together with a visual assessment of the new development's ability to blend into the existing surroundings.

<i>Scale</i>	<i>Value</i>	<i>Visual quality</i>	<i>Visual impact</i>
0	Negligible	N/A	No negative impact on the pre-existing visual quality of the view.
1	Low	Predominant presence of low quality manmade features. Minimal views of natural formations (e.g. cliffs, mountains, coastlines, waterways, ridges etc). Uniformity of land form.	A minor negative impact on the pre-existing visual quality of the view. Examples: <ul style="list-style-type: none"> – Minor impacts on natural landscapes. – No impact on iconic views – Impacts on a small number of receivers. – Significant distance between the development and receiver.
2			
3			
4			
5			
6	Medium	Presence of some natural features mixed with manmade features. Some views of distinct natural formations (e.g. cliffs, mountains, coastlines, waterways, ridges etc).	A medium negative impact on the pre-existing visual quality of the view: Examples: <ul style="list-style-type: none"> – Moderate impacts on iconic views or natural landscapes. – Impacts on a moderate number of receivers. – Located nearby the receiver.
7			
8			
9			
10			
11	High	Predominantly natural features. Minimal manmade features, however if present of a high architectural standard. Significant views of distinct natural formations (e.g. cliffs, mountains, coastlines, waterways, ridges etc). Presence of iconic regional views or landmark features.	A high negative impact on the pre-existing visual quality of a view: Examples: <ul style="list-style-type: none"> – Loss of iconic views. – Impacts on a significant number of receivers. – Overshadowing effect. – Directly adjacent the receiver.
12			
13			
14			
15			

Figure 9– Urbaine Architectural Visual Assessment Scale

3.2.2 Assessment at selected viewpoints



Viewpoint no.2: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – south-east corner. Lot 2 DP 859613 / SP 58961

RL +14.40 From sitting height on eastern balcony, opposite centerline of main living room – 1m inside balustrade glazing line, looking north-north-east.

Distance to site boundary: 31.2m. Distance to proposed building: 32.1m.



Viewpoint no.2: Photomontage of new proposal.



Viewpoint no.2: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 22%

Visual impact ratio of view loss to sky view loss in visible portion. 58%: 42%

Visual Quality Assessment: Scale no.5 Visual Impact Assessment: Scale no.4

This is a static, private viewpoint from the main eastern balcony off the living room. The view to the subject site is at an oblique angle and, although the ocean glimpses are obscured, the main views from the location are perpendicular to the balcony line and these remain unchanged.

The view to the subject site is across a non-primary boundary of this property.

There is no reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would not be considered as a primary view, or one where the requirement for view-sharing should be considered as relevant.



Viewpoint no.3: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – south-east corner. Lot 2 DP 859613 / SP 58961

RL +14.90 From standing height on eastern balcony, opposite centerline of main bedroom – 1m inside balustrade line, looking north-east.

Distance to site boundary: 22.9. Distance to proposed building: 23.8m.



Viewpoint no.3: Photomontage of new proposal



Viewpoint no.3: Extent of Visual Impact indicated in blue overlay

Visual impact – portion of building visible in view – 18%

Visual impact ratio of view loss to sky view loss in visible portion. 26%: 74%

Visual Quality Assessment: Scale no.5 Visual Impact Assessment: Scale no.4

As in Viewpoint no.2, this is a static, private viewpoint from the main eastern balcony off the main bedroom. The view to the subject site is at an oblique angle and, although the ocean glimpses are obscured, the main views from the location are perpendicular to the balcony line and these remain unchanged.

The view to the subject site is across a non-primary boundary of this property.

There is no reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would not be considered as a primary view, or one where the requirement for view-sharing should be considered as relevant.



Viewpoint no.6: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – at western side of midpoint terraces. Lot 2 DP 859613 / SP 58961

RL +14.90 From standing height on eastern balcony, opposite centerline of main bedroom – 1m inside balustrade line, looking east-north-east.

Distance to site boundary: 10.05m. Distance to proposed building: 14.8m.



Viewpoint no.6: Photomontage of new proposal.



Viewpoint no.6: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 32%

Visual impact ratio of view loss to sky view loss in visible portion. 88%: 12%

Visual Quality Assessment: Scale no.7 Visual Impact Assessment: Scale no.8

This is a static, private viewpoint from the main eastern balcony off the main bedroom. The view to the subject site is across landscaped terraces on the lower floors of the apartment block. The existing view consists of the side wall of the apartment building of No.5, Collaroy Street, the rear balconies and terraces of the mixed-use property of No.1125, Pittwater Road, a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site. The larger proportion of the ocean view is blocked by the new proposal. However, a small portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property.

There is no reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.



Viewpoint no.10: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – at western side of midpoint terraces. Lot 2 DP 859613 / SP 58961

RL +14.90 From standing height in main living room – 1m inside glazing line, looking east-north-east.

Distance to site boundary: 11.55m. Distance to proposed building: 15.3m.



Viewpoint no.10: Photomontage of new proposal



Viewpoint no.10: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 42%

Visual impact ratio of view loss to sky view loss in visible portion. 82%: 18%

Visual Quality Assessment: Scale no.8 Visual Impact Assessment: Scale no.7

As in Viewpoint No.6, this is a static, private viewpoint from the main living room of the apartment. The view to the subject site is across landscaped terraces on the lower floors of the apartment block. The existing view consists, primarily, of the rear balconies of the mixed-use building at No.1125 Pittwater road, together with a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site, filtered through the mature landscaping of the terraces below. The larger proportion of the ocean view is blocked by the new proposal. However, a small portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property.

There is no reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.



Viewpoint no.12: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – at north-eastern corner of apartment block. Lot 2 DP 859613 / SP 58961

RL +14.90 From standing height in main living room – 1m inside glazing line of northerly window, looking east.

Distance to site boundary: 1.45m Distance to proposed building: 6.75m.



Viewpoint no.12: Photomontage of new proposal.



Viewpoint no.12: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 38%

Visual impact ratio of view loss to sky view loss in visible portion. 68%: 32%

Visual Quality Assessment: Scale no.11 Visual Impact Assessment: Scale no.9

This view is from the main living room of the apartment. The view to the subject site, to the east, is across a secondary site boundary. The existing view consists of a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site, with 4 storey buildings terminating the greater part of the continuation of these views to the north and south of the site. A significant proportion of the ocean view is blocked by the new proposal. However, a large portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property.

There may be a very small reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.13: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – at north-eastern corner of apartment block. Lot 2 DP 859613 / SP 58961

RL +14.40 From sitting height in main living room – 1m inside glazing line of northerly window, looking east.

Distance to site boundary: 1.45m Distance to proposed building: 6.75m.



Viewpoint no.13: Photomontage of new proposal.



Viewpoint no.13: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 18%

Visual impact ratio of view loss to sky view loss in visible portion. 16%: 84%

Visual Quality Assessment: Scale no.10 Visual Impact Assessment: Scale no.9

This view is from the main living room of the apartment, at a sitting level. The view to the subject site to the east and is across a secondary site boundary. The existing view consists mostly of sky, with a portion of ocean to the north of the Collaroy Hotel and 4 storey buildings terminating the greater part of the continuation of these views to the north and south of the site. A small proportion of the ocean view is blocked by the new proposal. A large portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property.

There may be a very small reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.

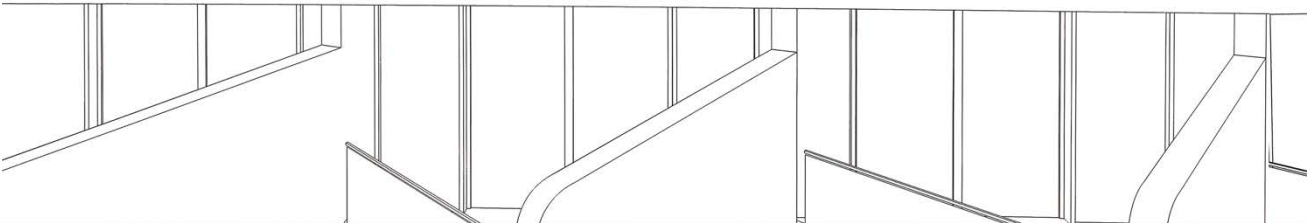
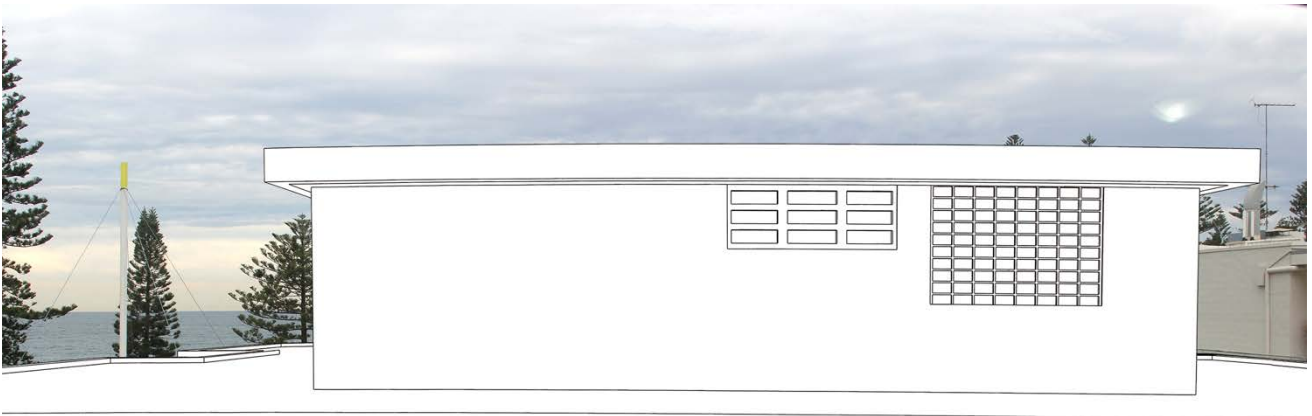


Viewpoint no.14: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – at north-eastern corner of apartment block. Lot 2 DP 859613 / SP 58961

RL +14.90 From standing height in main living room – 1m inside glazing line of southerly window, looking east.

Distance to site boundary: 1.45m Distance to proposed building: 6.75m.



Viewpoint no.14: Photomontage of new proposal.



Viewpoint no.14: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 62%

Visual impact ratio of view loss to sky view loss in visible portion. 83%: 17%

Visual Quality Assessment: Scale no.8 Visual Impact Assessment: Scale no.11

This view is from the southerly window of the main living room of the apartment. The view to the subject site, to the east, is across a secondary site boundary. The existing view consists of a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site, with 4 storey buildings terminating the greater part of the continuation of these views to the north and south of the site. A significant proportion of the ocean view is blocked by the new proposal. However, a large portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property.

There may be a small reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.17: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – at north-eastern corner of apartment block. Lot 2 DP 859613 / SP 58961

RL +14.90 From standing height in main bedroom – 2m inside glazing line, looking east.

Distance to site boundary: 2.45m Distance to proposed building: 7.75m.



Viewpoint no.17: Photomontage of new proposal.



Viewpoint no.17: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 22%

Visual impact ratio of view loss to sky view loss in visible portion. 67%: 33%

Visual Quality Assessment: Scale no.9 Visual Impact Assessment: Scale no.12

This view is from the main bedroom of the apartment, at a standing level. The view to the subject site is to the east, across a secondary site boundary. The existing view consists mostly of sky, with a portion of ocean to the north of the Collaroy Hotel and 4 storey buildings terminating the greater part of the continuation of these views to the south of the site. The ocean view is blocked by the new proposal. However, since this is not a primary living space, the Tenacity rulings will be diminished in their relevance to view sharing.

The view to the subject site is across a non-primary boundary of this property.

There may be a moderate reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary and from a secondary living space. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.19: Existing site photo.

No.1-5 Collaroy Street – Level 3 Apartment – at north-eastern corner of apartment block. Lot 2 DP 859613 / SP 58961

RL +14.90 From standing height in northern main balcony – 1m inside balustrade glazing line, looking east.

Distance to site boundary: 1.45m Distance to proposed building: 6.75m.



Viewpoint no.19: Photomontage of new proposal.



Viewpoint no.19: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 44%

Visual impact ratio of view loss to sky view loss in visible portion. 68%: 32%

Visual Quality Assessment: Scale no.12 Visual Impact Assessment: Scale no.78

This view is from the main north-facing balcony of the apartment at a standing level. The view to the subject site to the east is across a secondary site boundary. The existing view consists of a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site, with 4 storey buildings terminating the greater part of the continuation of these views to the north and south of the site. A significant proportion of the ocean view is blocked by the new proposal. However, a large portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property. The primary view, when taken in the context of the Tenacity case, is to the north.

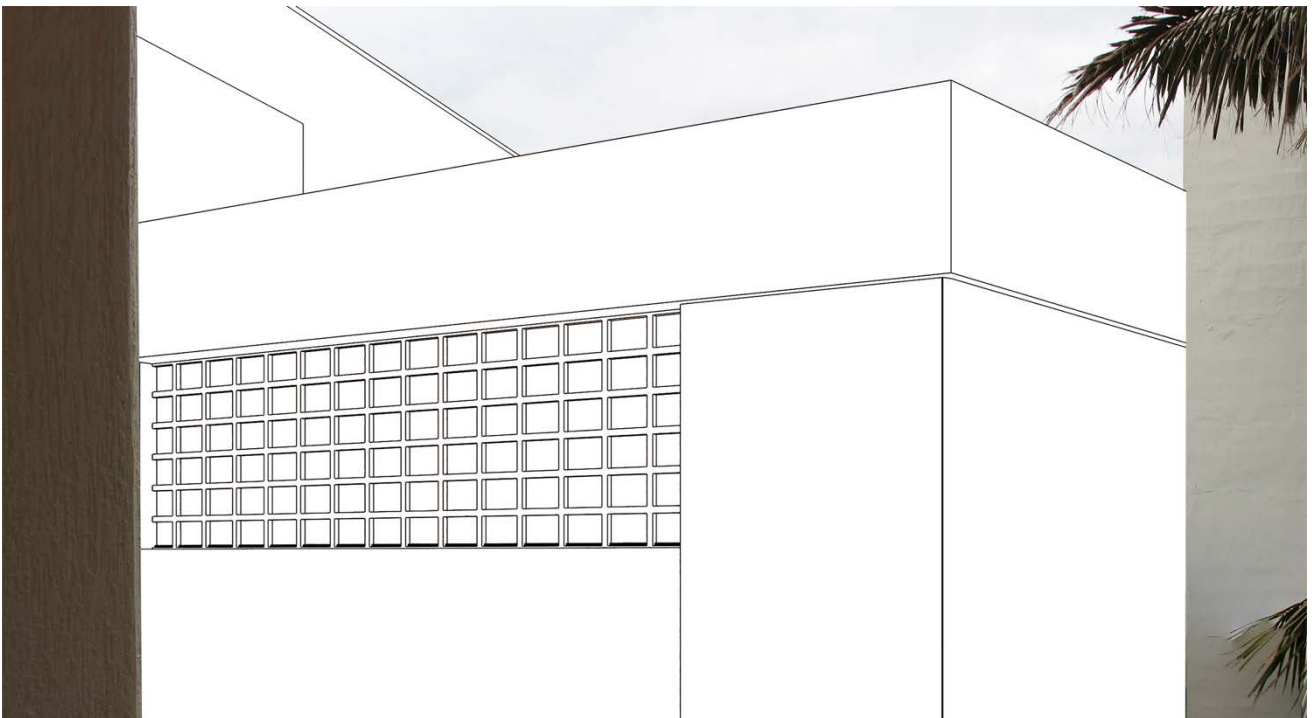
There may be a very small reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.21: Existing site photo.
No.1125-1127 Pittwater Road – Level 3 Apartment – at midpoint of northern elevation. Lot 501 DP 1035839 / SP 66939
RL +11.78 From standing height on main balcony – 1m inside glazing line, looking north-east.
 Distance to site boundary: 3.1m Distance to proposed building: 3.85m.



Viewpoint no.21: Photomontage of new proposal.



Viewpoint no.21: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 16%

Visual impact ratio of view loss to sky view loss in visible portion. 44%: 56%

Visual Quality Assessment: Scale no.3 Visual Impact Assessment: Scale no.8

This view is from the northern balcony off the main living room. The view to the subject site, to the east, is across a secondary site boundary. The existing view consists of the walls and roofs of the existing buildings on the site, with sky above and pine trees beyond, which sit on the eastern side of Pittwater Road.

The view to the subject site is across a non-primary boundary of this property.

There may be a moderate reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting sun and light penetration into the open courtyard is a positive outcome for the neighbouring residents.

If the site was developed to its full building envelope potential, the view loss and blocking of natural daylight would be far more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.26: Existing site photo.
No.1125-1127 Pittwater Road – Level 3 Apartment – at midpoint of northern elevation. Lot 501 DP 1035839 / SP 66939
RL +11.78 From standing height in main living room – 1m inside glazing line, looking north-east.
Distance to site boundary: 5.6m Distance to proposed building: 6.35m.



Viewpoint no.26: Photomontage of new proposal.



Viewpoint no.26: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 21%

Visual impact ratio of view loss to sky view loss in visible portion. 48%: 52%

Visual Quality Assessment: Scale no.3 Visual Impact Assessment: Scale no.8

This view is from the main living room at standing height. The view to the subject site, to the east, is across a secondary site boundary. The existing view consists of the walls and roofs of the existing buildings on the site, with sky above and pine trees beyond, which sit on the eastern side of Pittwater Road.

The view to the subject site is across a non-primary boundary of this property.

There may be a moderate reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting sun and light penetration into the open courtyard is a positive outcome for the neighbouring residents.

If the site was developed to its full building envelope potential, the view loss and blocking of natural daylight would be far more significant, as can be observed in the views prepared in Appendix A.

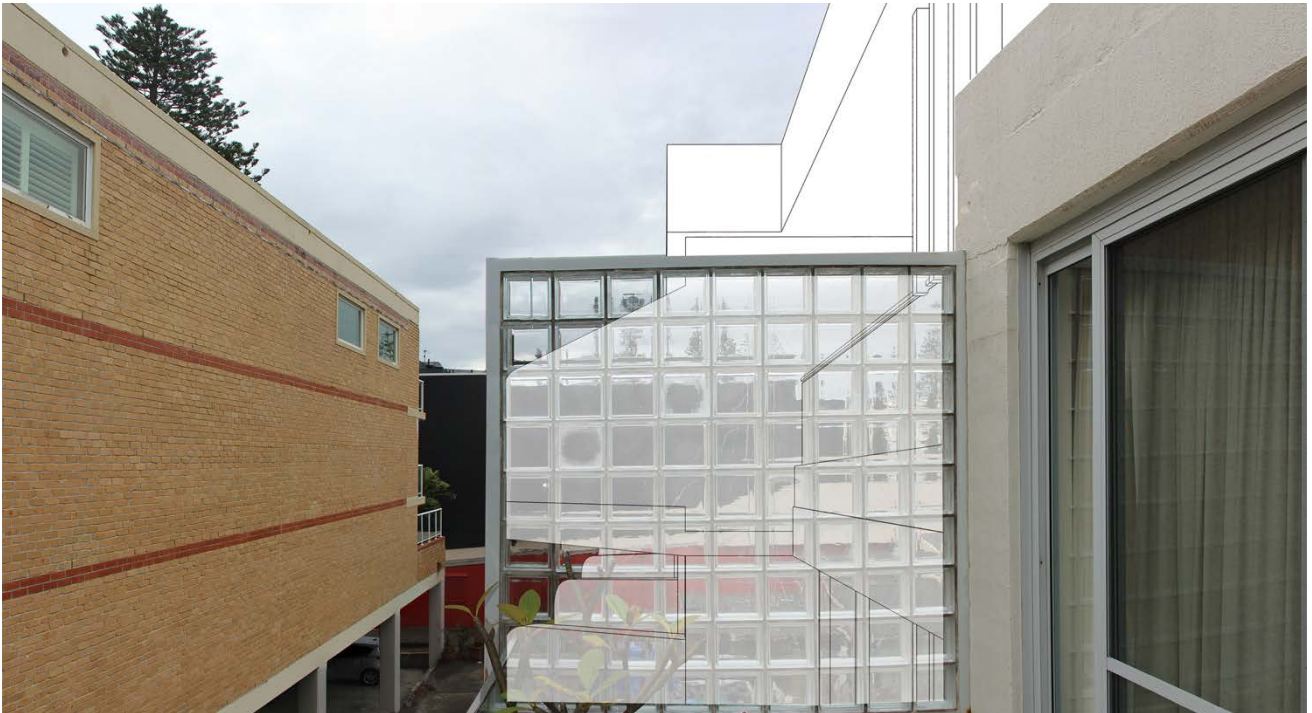


Viewpoint no.28: Existing site photo.

No.1125-1127 Pittwater Road – Level 3 Apartment – at midpoint of north-western corner of apartment block. Lot 501 DP 1035839 / SP 66939

RL +11.78 From standing height on rear balcony – 1m inside western balustrade glazing line, looking north.

Distance to site boundary: 3.8m Distance to proposed building: 3.8m.



Viewpoint no.28: Photomontage of new proposal.



Viewpoint no.28: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 9%

Visual impact ratio of view loss to sky view loss in visible portion. 45%: 55%

Visual Quality Assessment: Scale no.2 Visual Impact Assessment: Scale no.4

This view is from the rear balcony of the apartment at standing height. The view to the subject site, to the east, is across a secondary site boundary. The existing view consists of the walls and roofs of the existing buildings on the site, with sky above and the adjoining property of No.5 Collaroy Street to the west.

The view to the subject site is across a non-primary boundary of this property.

There may be a minor reduction in direct sunlight or ambient daylight onto the balcony as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting sun and light penetration into the open courtyard is a positive outcome for the neighbouring residents.

If the site was developed to its full building envelope potential, the view loss and blocking of natural daylight would be far more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.32: Existing site photo.
No.1125-1127 Pittwater Road – Level 4 Apartment – at midpoint of northern elevation of apartment block. Lot 501 DP 1035839 / SP 66939
RL +14.72 From standing height on main balcony – 1m inside balustrade glazing line, looking north-east.
 Distance to site boundary: 3.1m Distance to proposed building: 3.85m.



Viewpoint no.32: Photomontage of new proposal.



Viewpoint no.32: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 32%

Visual impact ratio of view loss to sky view loss in visible portion. 64%: 36%

Visual Quality Assessment: Scale no.11 Visual Impact Assessment: Scale no.12

This view is from the main north-facing balcony of the apartment at a standing level. The view to the subject site to the east is across a secondary site boundary. The existing view consists of a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site, with 4 storey buildings terminating the greater part of the continuation of these views to the north of the site. A significant proportion of the ocean view is blocked by the new proposal. However, a portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property. The primary view, when taken in the context of the Tenacity case, is to the north.

There may be a very small reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.35: Existing site photo.
No.1125-1127 Pittwater Road – Level 4 Apartment – at midpoint of northern elevation of apartment block. Lot 501 DP 1035839 / SP 66939
RL +14.72 From standing height in main living room – 1m inside glazing line, looking north-east.
 Distance to site boundary: 5.6m Distance to proposed building: 6.35m.



Viewpoint no.35: Photomontage of new proposal.



Viewpoint no.35: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 17%

Visual impact ratio of view loss to sky view loss in visible portion. 72%: 28%

Visual Quality Assessment: Scale no.11 Visual Impact Assessment: Scale no.11

This view is from the main living room of the apartment at a standing level. The view to the subject site to the east is across a secondary site boundary. The existing view consists of a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site, with 4 storey buildings terminating the greater part of the continuation of these views to the north of the site. A significant proportion of the ocean view is blocked by the new proposal. However, a portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property. The primary view, when taken in the context of the Tenacity case, is to the north.

There may be a very small reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.36: Existing site photo.

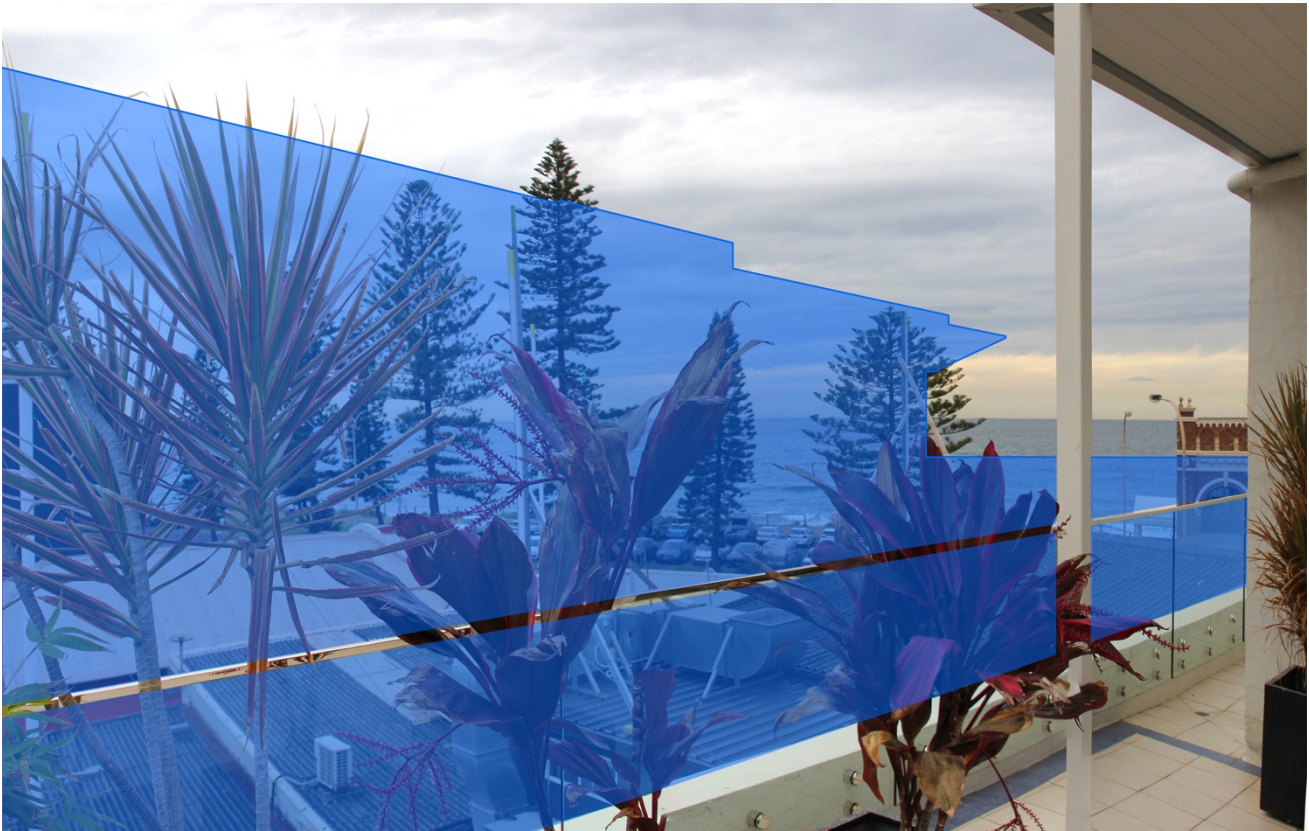
No.1125-1127 Pittwater Road – Level 4 Apartment – at north-western corner of apartment block. Lot 501 DP 1035839 / SP 66939

RL +14.72 From standing height in rear balcony – 1.5m inside balustrade glazing line, looking east-north-east.

Distance to site boundary: 1.6m Distance to proposed building: 1.6m.



Viewpoint no.36: Photomontage of new proposal.



Viewpoint no.36: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 38%

Visual impact ratio of view loss to sky view loss in visible portion. 72%: 28%

Visual Quality Assessment: Scale no.10 Visual Impact Assessment: Scale no.11

This view is from the main rear balcony of the apartment at a standing level. The view to the subject site to the east is across a secondary site boundary. The existing view consists of a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site, with 4 storey buildings terminating the greater part of the continuation of these views to the north of the site. A significant proportion of the ocean view is blocked by the new proposal. However, a portion of the ocean view is retained as a result of the view corridor created by the positioning of the upper level accommodation.

The view to the subject site is across a non-primary boundary of this property. The primary view, when taken in the context of the Tenacity case, is to the north.

There may be a moderate reduction in direct sunlight or ambient daylight as a result of the new proposal in this location.

Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.



Viewpoint no.40: Existing site photo.
No.1125-1127 Pittwater Road – Level 4 Apartment – at north-eastern corner of apartment block. Lot 501 DP 1035839 / SP 66939
RL +15.12 From sitting height on main balcony – 1m inside balustrade glazing line, looking north.
Distance to site boundary: 1.1m Distance to proposed building: 1.25m.



Viewpoint no.40: Photomontage of new proposal.



Viewpoint no.40: Extent of Visual Impact indicated in blue overlay.

Visual impact – portion of building visible in view – 31%

Visual impact ratio of view loss to sky view loss in visible portion. 92%: 8%

Visual Quality Assessment: Scale no.11 Visual Impact Assessment: Scale no.3

This view is from the main eastern balcony of the apartment at a sitting level. The view to the subject site to the east is across a secondary site boundary. The existing view consists of a portion of ocean to the north of the Collaroy Hotel and the existing rooftops of buildings already on the site, with 4 storey buildings terminating the greater part of the continuation of these views to the north of the site. The main view from this location is to the east and remains uninterrupted by the new proposal. The entire ocean view is retained.

The view to the subject site is across a non-primary boundary of this property. The primary view, when taken in the context of the Tenacity case, is to the north.

There may be a very minor reduction in ambient daylight as a result of the new proposal in this location.

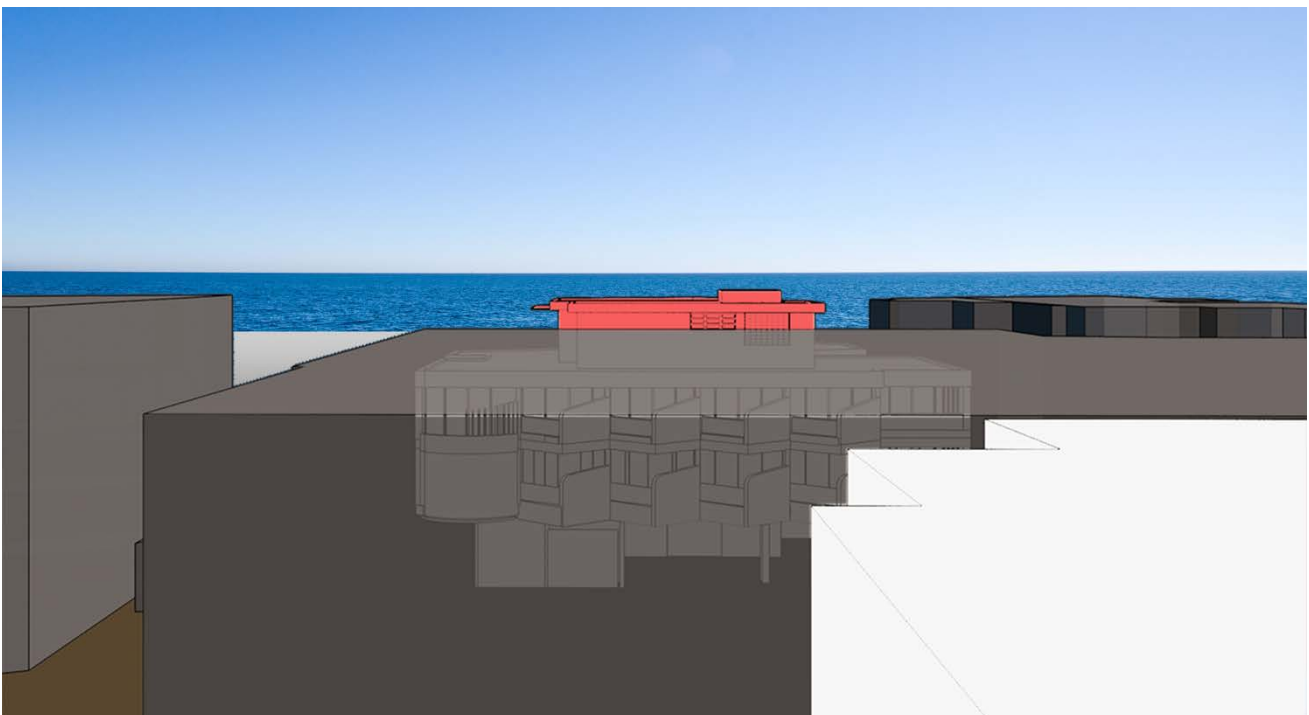
Under the conditions determined in the Tenacity case, this view would be considered a secondary view, being across a side boundary. The historical value of the view across an underdeveloped site should not prohibit the landowner from developing that site to its full amenity within the applicable statutory regulations. In this respect, it can be considered that the skilful level of design, permitting a view corridor to be maintained respects the guidelines of the Tenacity case, when everything is taken into consideration.

If the site was developed to its full building envelope potential, the view loss of ocean would be more significant, as can be observed in the views prepared in Appendix A.

3.2.2 Assessment at selected viewpoints from No.7-11, Collaroy Street.



Selected neighbouring property viewpoint locations from Nos. 7-11, Collaroy Street, for visual impact assessments, shown in plan.



Viewpoint no.1:

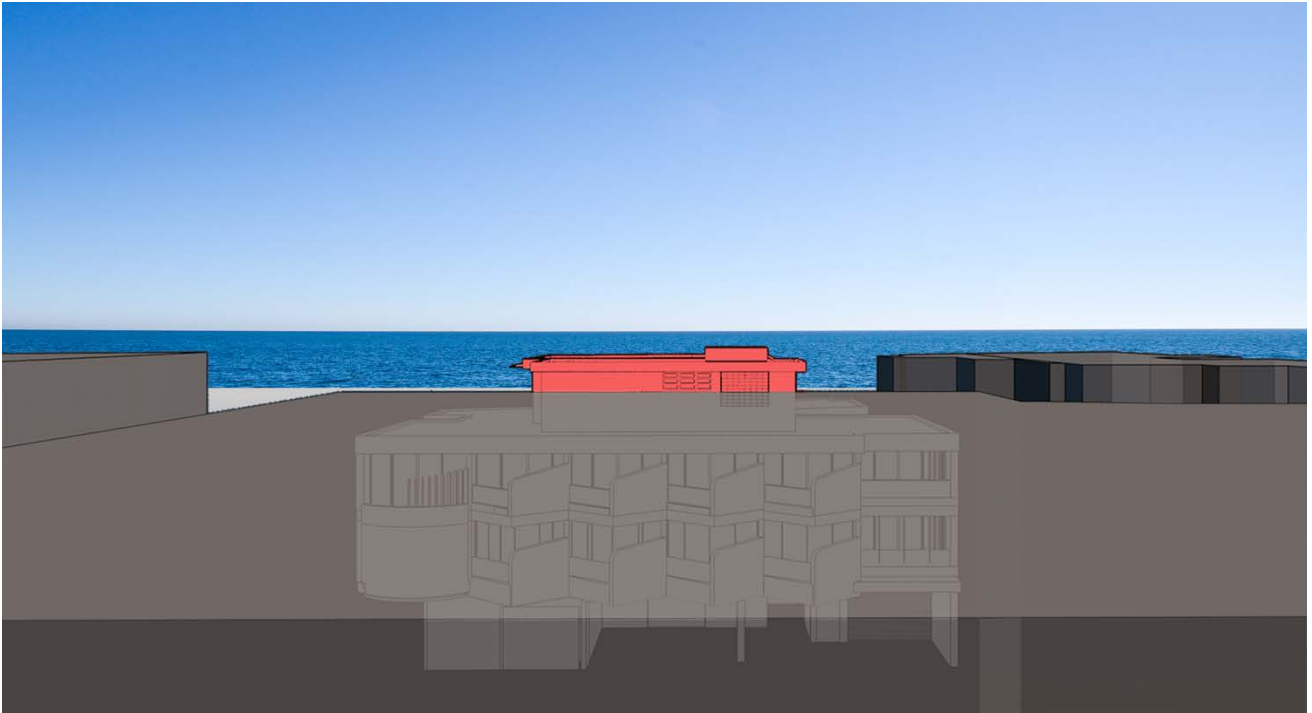
Nos. 7-11, Collaroy Street – Level 3 Apartment – at north-western corner of apartment block. Lot 17 - SP57694

RL +18.60 From standing height on main balcony – 1m inside balustrade glazing line, looking east.

Extent of Visual Impact indicated in red overlay.

Visual impact – portion of building visible in view – 14%

Visual impact ratio of view loss to sky view loss in visible portion. 100%: 0%



Viewpoint no.2:

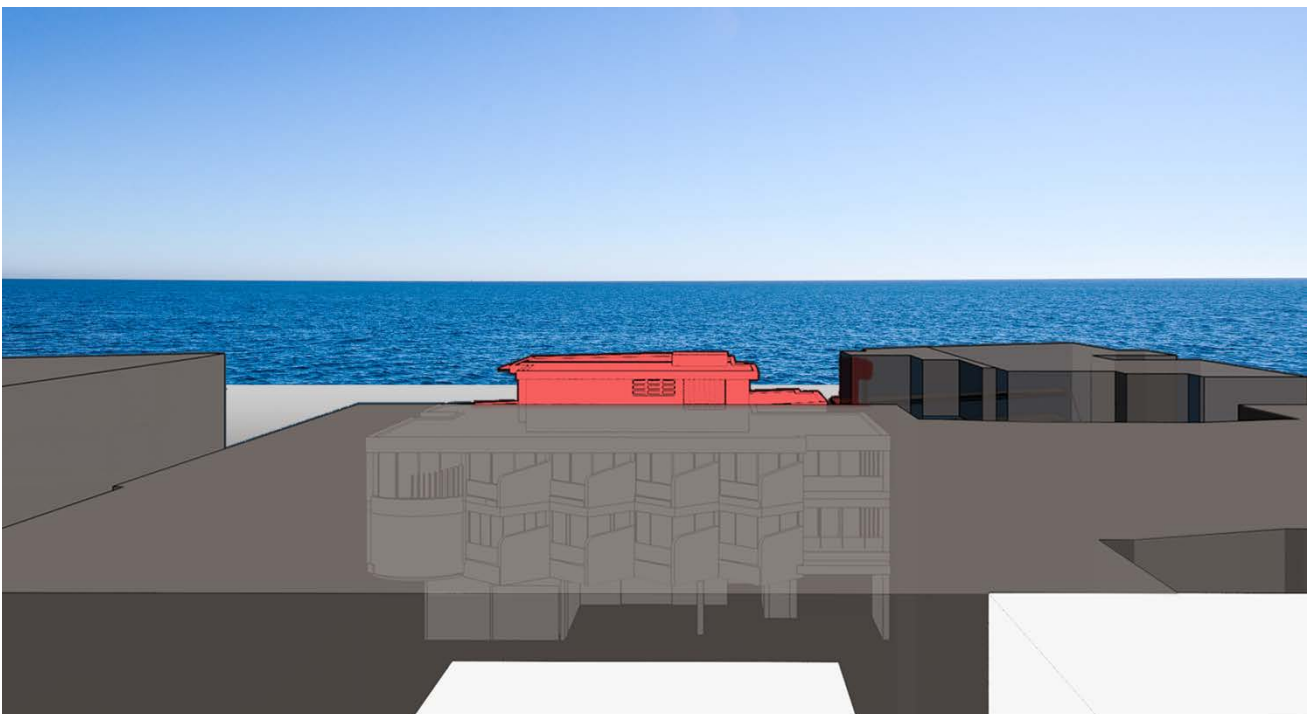
Nos. 7-11, Collaroy Street – Level 3 Apartment – at north-eastern corner of apartment block. Lot 18 - SP57694

RL +18.60 From standing height on main balcony – 1m inside balustrade glazing line, looking east.

Extent of Visual Impact indicated in red overlay.

Visual impact – portion of building visible in view – 14%

Visual impact ratio of view loss to sky view loss in visible portion. 100%: 0%



Viewpoint no.3:

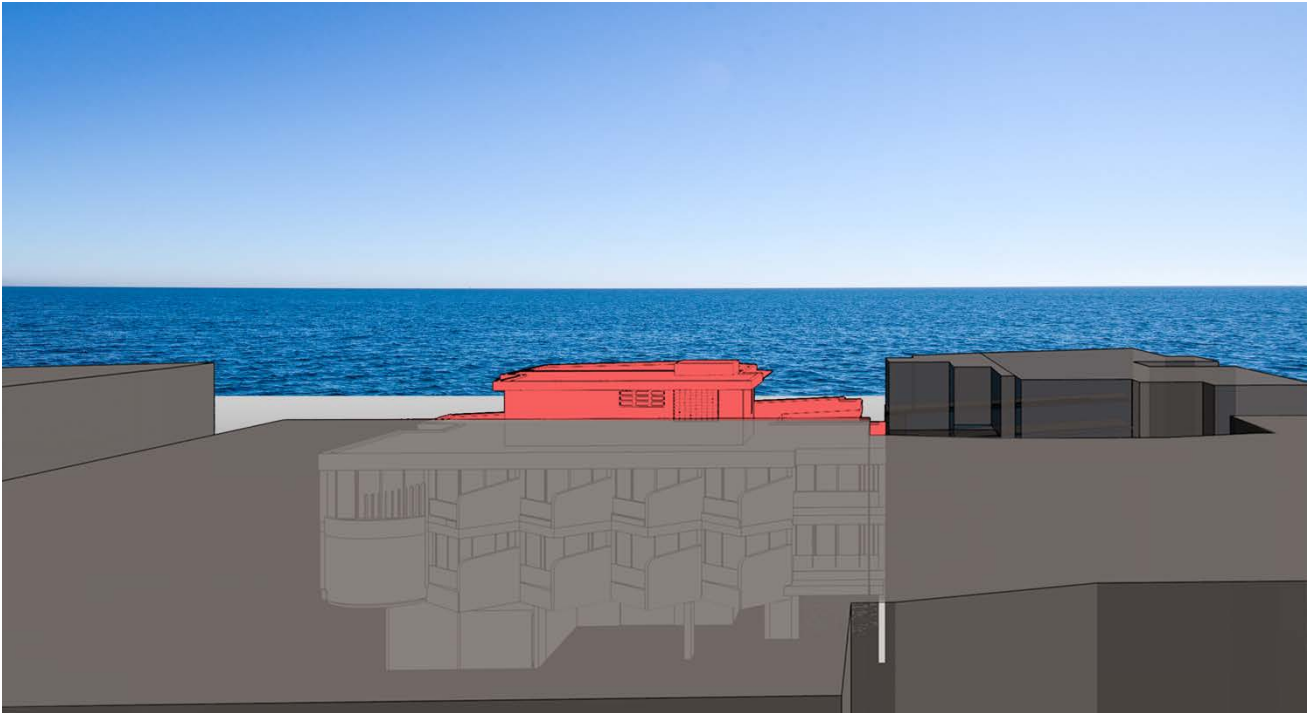
Nos. 7-11, Collaroy Street – Level 4 Apartment – at north-eastern corner of apartment block. Lot 26 - SP57694

RL +21.36 From standing height on main balcony – 1m inside balustrade glazing line, looking east.

Extent of Visual Impact indicated in red overlay.

Visual impact – portion of building visible in view – 21%

Visual impact ratio of view loss to sky view loss in visible portion. 100%: 0%



Viewpoint no.4:

**Nos. 7-11, Collaroy Street – Level 4 Apartment – at midpoint of eastern elevation. Lot 27 - SP57694
 RL +21.36 From standing height on main balcony – 1m inside balustrade glazing line, looking east.
 Extent of Visual Impact indicated in red overlay.**

Visual impact – portion of building visible in view – 21%

Visual impact ratio of view loss to sky view loss in visible portion. 100%: 0%



Viewpoint no.5:

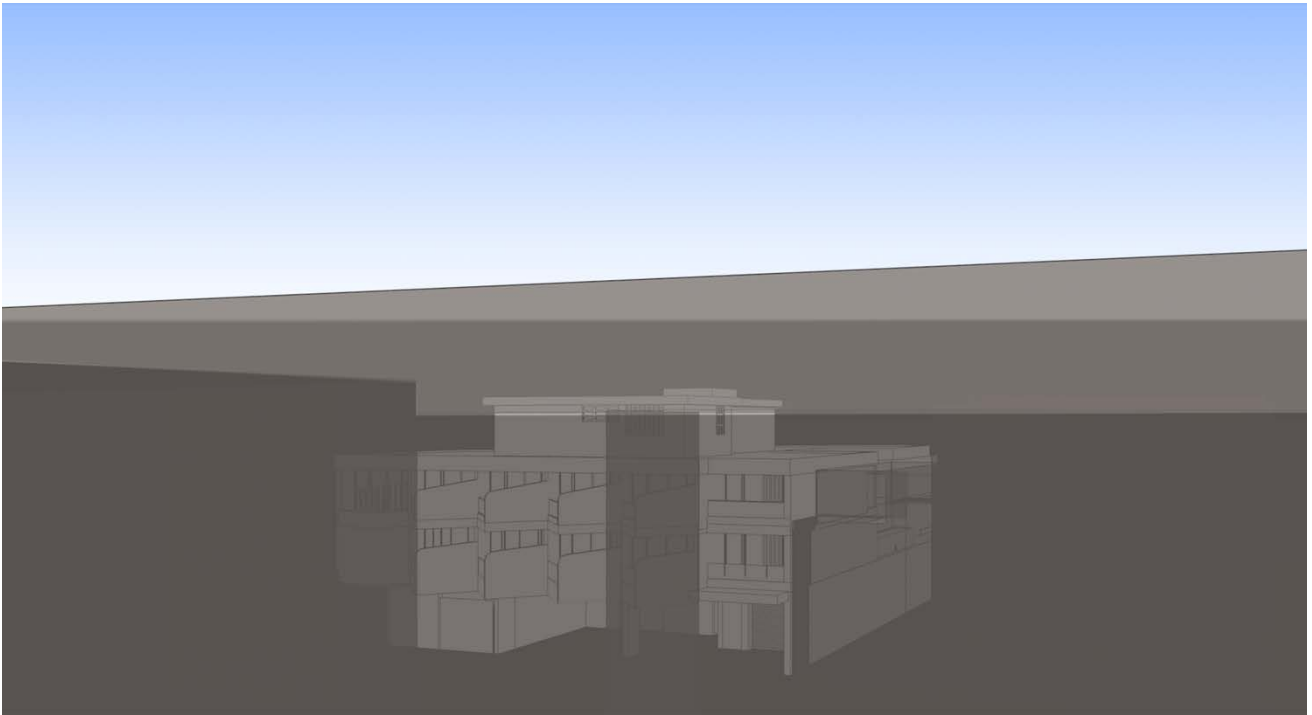
Nos. 7-11, Collaroy Street – Level 3 Apartment – at south-eastern corner of apartment block. Lot 22 - SP57694

RL +18.60 From standing height on main balcony – 1m inside balustrade, looking north-east.

Extent of Visual Impact indicated in red overlay.

Visual impact – portion of building visible in view – 14%

Visual impact ratio of view loss to sky view loss in visible portion. 100%: 0%



Viewpoint no.6:

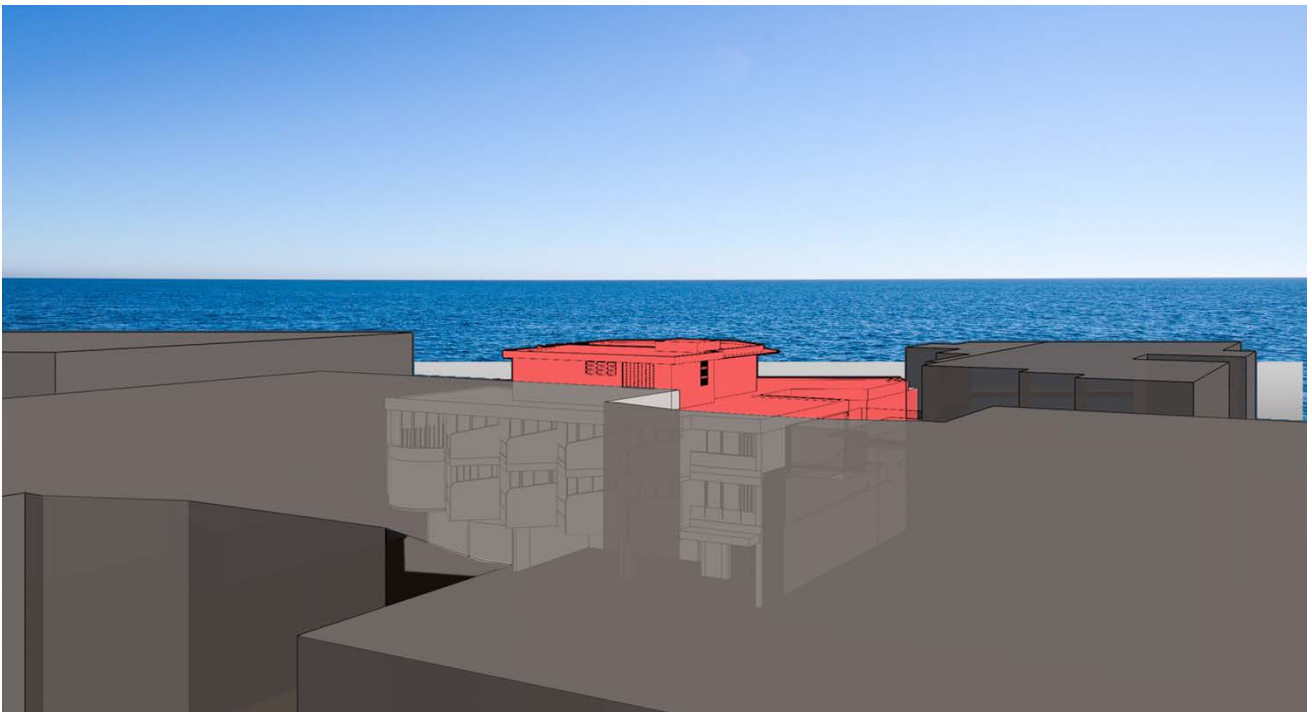
Nos. 7-11, Collaroy Street – Level 2 Apartment – at south-eastern corner of apartment block. Lot TBA - SP57694

RL +15.76 From standing height on main balcony – 1m inside balustrade, looking north-east.

Extent of Visual Impact indicated in red overlay.

Visual impact – portion of building visible in view – 0%

Visual impact ratio of view loss to sky view loss in visible portion. N/A



Viewpoint no.7:

Nos. 7-11, Collaroy Street – Level 4 Apartment – at south-eastern corner of apartment block. Lot 29 - SP57694

RL +21.36 From standing height on main balcony – 1m inside balustrade, looking north-east.

Extent of Visual Impact indicated in red overlay.

Visual impact – portion of building visible in view – 28%

Visual impact ratio of view loss to sky view loss in visible portion. 100%: 0%



Viewpoint no.8:

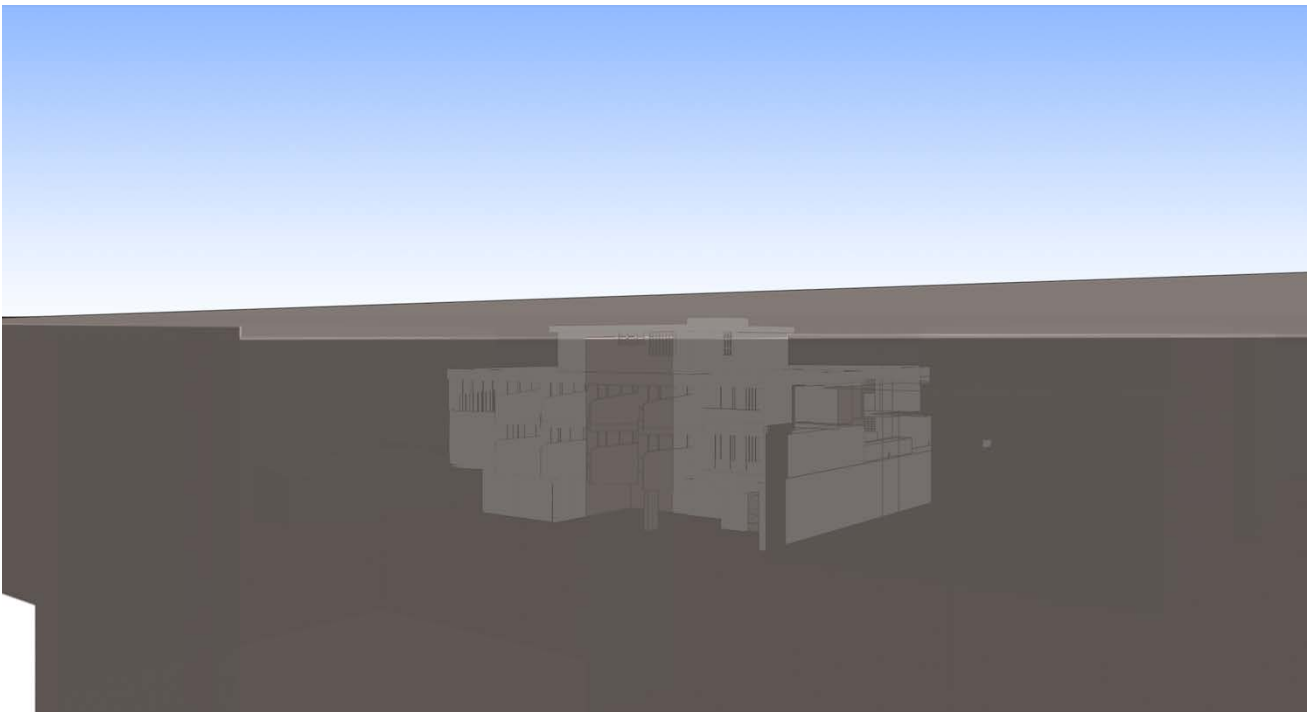
Nos. 7-11, Collaroy Street – Level 4 Apartment – at south-eastern corner of apartment block. Lot 22 - SP57694

RL +18.60 From standing height on main balcony – 1m inside balustrade, looking north-east.

Extent of Visual Impact indicated in red overlay.

Visual impact – portion of building visible in view – 12%

Visual impact ratio of view loss to sky view loss in visible portion. 100%: 0%



Viewpoint no.9:

Nos. 7-11, Collaroy Street – Level 2 Apartment – at south-eastern corner of apartment block. Lot TBA - SP57694

RL +15.76 From standing height on main balcony – 1m inside balustrade, looking north-east.

Extent of Visual Impact indicated in red overlay.

Visual impact – portion of building visible in view – 0%

Visual impact ratio of view loss to sky view loss in visible portion. N/A

4. CONCLUSIONS + PLANNING SCHEME PROVISIONS RELATING TO VISUAL IMPACTS

The proposed development, in terms of appearance will enhance the significance of the general Locality. The proposed development will be in the public interest, as it will provide improved services, social interaction and longevity to the property without adverse impacts to adjoining commercial or residential premises. It is our opinion that the development should be approved by Council, based on the following: The proposed use will not result in adverse impacts to the surrounding commercial residential land uses and improve upon the amenity and services for the locality. The new use will ultimately have minimal environmental impact and will not result in adverse impacts to adjoining premises. The proposal will not result in any exacerbation of on-site or off-site impacts; The proposal complies with all relevant LEP and DCP objectives, or where non-compliances are identified the development is, in our opinion, acceptable in the circumstances as per the reasons set out in this statement and would have no adverse impact to any adjoining properties and the locality.

The additional height proposed will ensure that the development maintains a complimentary and compatible streetscape height and form consistent with the heights and form of recently approved and constructed shop top housing development along this section of Pittwater Road. We note that all floor levels are nearly identical to those established by the shop top housing developments to the north and south of the site. A localised depression towards the rear of the site appears to have been artificially created contributing to the building height breach in this location. It can also be argued that the 11 metre height standard has been effectively abandoned along this particular section of Pittwater Road in favour of a consistent and cohesive streetscape and urban design outcome.

In relation to visual impact, any view loss caused as a result of the non-compliance would require Step 4 of the Tenacity ruling to be considered, specifically in relation to a more skilful design. Since this design largely complies with the DCP and LEP requirements, the assessment should be based upon the nature and quality of the views and whether the skill of the design has enabled these views to be maintained, where possible. As will be seen in Appendix A, a building that maximises the permissible building envelope would create greater view loss than the current proposal, which has sought to maintain view corridors, where appropriate, while still giving the landowner the amenity required from the development.

I would strongly recommend that this application be approved, with respect to visual impact, on the grounds stated in this report.

5. APPENDICES

- 5.1 APPENDIX A: Full Panoramic Photomontages of the Proposed Development from local viewpoints + verification diagrams.
- 5.2 APPENDIX B: Land and Environment Court: Guidelines for Photomontages.
- 5.3 APPENDIX C: Aspinall CV and Expert Witness experience.
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