

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b) 81A (2) and 81A (4)

Certificate No 2008/2615

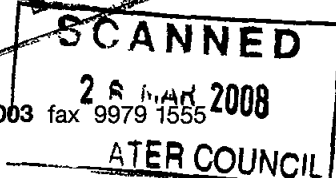
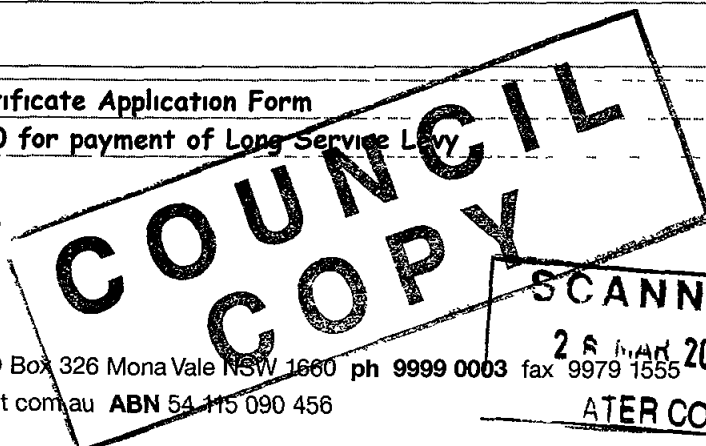
Council	Pittwater
Determination date of issue	Approved 20 March 2008
Subject land Address Lot No, DP No	55 Robertson Road, Scotland Island Lot 122 DP 12749
Applicant Name Address Contact No (phone)	Colin Scully PO Box 204, Church Point NSW 2105 9999 6272
Owner Name Address Contact No (phone)	Jill Scully 14 Macfarlane Street, Davidson NSW 2085 9999 6272
Description of Development Type of Work	Jetty Ramp & Pontoon
Builder or Owner/Builder Name	East Coast Wharf Constructions
Value of Work Building	\$35 000 00

Attachments

- Copy of completed Construction Certificate Application Form
- Pittwater Council receipt no 233610 for payment of Long Service Levy

R# 236055.

25/3/08



Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp

- Architectural Plans, reference nos 2621-DA01B, dated October 2006 & 2621-DA02, dated March 2007 prepared by Stephen Crosby & Associates Pty Ltd
- Construction Specifications, prepared by Stephen Crosby, dated 14 February 2008, accompanied by Engineer's design certification, reference no VS 24417, prepared by Jack Hodgson Consultants Pty Ltd, dated 30 March 2007

Certificate

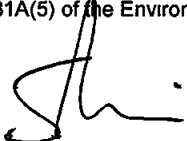
I hereby certify that the above Plans documents or Certificates satisfy

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

Signed

Date of endorsement
Certificate No


20 MAR 2008
2008/2615

Certifying Authority

Name of Accredited Certifier
Accreditation No
Accreditation Authority
Contact No
Address

Stephen Pinn
BPB0326
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No
Date of Determination

N0115/07
1 August 2007 (Modified 7 March 2008)

BCA Classification

10b

Jan06/180

R 233610
\$123.00

SPECIFICATION

14/02/08

NEW JETTY RAMP & PONTOON
55 ROBERTSON RD, SCOTLAND IS

- JETTY Nominal length 26.5m x width 1.4 / 1.5m
- DOUBLE PILE JETTY
- Piles generally Turpentine piles 300dia (all approximately equal in diameter) socketed 1.5m min into rock or 2.4m min into seabed at nominal 4.3m cnts
 - Headstocks doubled 200 x 100mm hardwood ends and pile checkouts tar painted
 - Runners, 2 off 200 x 75mm hardwood with alcove capping
 - Decking 150 x 38/45 hardwood chamfered top edges, unpainted
 - Toe rails 100 x 50 dressed hardwood chamfered top edges painted white
 - Fixings Hot dipped galvanised M16 bolts
Deck screws 14G bugle head stainless screws - depth to suit 38 decking boards
- MONO PILE JETTY
- Piles generally 400 dia high MPA spun concrete socketed 3.6m min into rock or 4.6m min into seabed at nominal 4.3m cnts
 - Headstocks Concrete formed in situ, heavily reinforced
 - Runners 2 off 200 x 75mm hardwood with alcove capping
 - Decking, Thruflow mesh with 200x75 galvanised steel channel runners
 - Toe rails 100 x 50 dressed hardwood chamfered top edges painted white
- RAMP
- Frame Nominal length 7.2m x width 1.4m
150 x 50 aluminium welded frame
 - Decking, Thru Flow mesh decking
 - Hinge brackets Heavy duty hinge brackets hot dipped galv

- PONTOON LOCATER PILES 2 off
- Piles Turpentine piles 300dia positioned either side of pontoon shaped painted white and crowned with black painted metal ring Top of piles to finish at 2.50 AHD

- PONTOON.
- Floats, Tubular IPS flotation system
 - Frame 150 x 50 Aluminium frame
 - Deck Thru Flow mesh decking
 - Whalers 200 x 38 timber whalers around outer edges of pontoon
 - Fender strip White polyethylene fender strip all round
 - Cleats 4 large cast alloy cleats 2 per pontoon edge

MAINTENANCE PERIOD

3 month service after completion to tighten bolts and touch up paint etc

STEPHEN CROSBY

WARNING

The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve

- * The applicant's responsibility to obtain approval from Sydney Water or other utilities
- * The Structural Engineer of their responsibility to ensure the structural adequacy of the project
- * The applicant's Structural Engineer or other Professional of their responsibility to ensure these stamped details are consistent with the issued Construction Certificate

PLANS OR DOCUMENT CERTIFICATION

- I am a qualified Civil & Structural Engineer
- I hold the following qualifications: M. Eng. Sc.
- I.E. Aust. N Per 3 Civil & Structural No. 149788

Further I am appropriately qualified to certify this component of the project

I hereby state that these plans or details comply with the conditions of development consent. The provisions of the Building Code of Australia and/or appropriate Australian/Industry standards.

JACK HODGSON

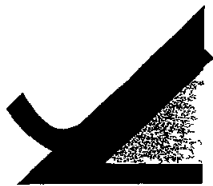
15/2/08

Name

Date

Signature

COUNCIL COPY



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN 94 053 405 011

VS 24417
30th March 2007
Page 1

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir,

55 ROBERTSON ROAD, SCOTLAND ISLAND

We have examined the plan of the proposed jetty prepared by Stephen Crosby & Associates Pty Ltd

We have checked the various members structurally and are satisfied that they are adequate to support the loads likely to be imposed on them, including the loads from wave action

The pontoon locating piles are of adequate size to maintain the pontoon in position during any likely storm surge or wave action

JACK HODGSON CONSULTANTS PTY LIMITED

**J D Hodgson M Eng Sc ,
F I E Aust , CP ENG
Civil & Structural Engineer,
Nper3, Struc Civil. No 149788
Director**

DIRECTOR J D HODGSON, M Eng Sc F I E Aust Nper3 Struc Civil 149788

67 Darley Street Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone 9979 6733 Facsimile 9979 6926

19 FEB 2008

APPLICATION FOR A CONSTRUCTION CERTIFICATE

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible

Mr ☒ Mrs ☐ Ms ☐ Dr ☐ Other

Given Names (or ACN)

COLIN

Family Name (or Company)

SCULLY

Postal Address (we will post all mail to this address)

PO BOX 204

CHURCH POINT, NSW

Post Code 2105

Daytime telephone

02) 9999 6272

Alternate no.

S. CROSBY

Mobile no.

0409 047513

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

JILL SCULLY

Address

14 MACFARLANE ST.

DAVIDSON, NSW 2085

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

Jill A Scully

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg, power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no.

55

Street name

ROBERTSON ROAD

Suburb

SCOTLAND ISLAND

Post code

2105

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no.

122

DP no.

12749

COUNCIL
COPY

4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

JETTY, RAMP & PONTON

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work \$ 35,000

6. Development Consent

Council Consent no. N0115/07

Date of Determination 01/08/2007

(mod 7.3.08)

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification

10b

8. Builder's details

If known, to be completed in the case of residential building work

Name

EAST COAST WHARF

License no.

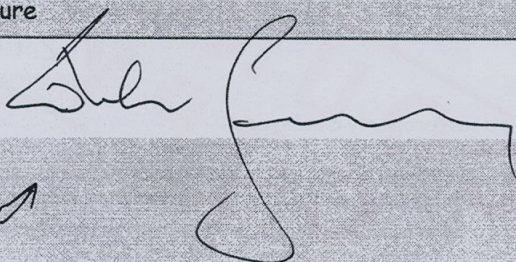
Owner/builder permit no.

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is, to the best of my knowledge, true and correct.

Signature

Date

X 

14 / 2 / 08

Colin

SUBMISSION REQUIREMENTS

A GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes [checked] No []

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes [checked] No []

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION

B ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable	In the case of an application for a Construction Certificate for building work
[checked]	[]	[]	Three (3) copies of detailed architectural plans and specifications
[checked]	[]	[]	The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to: a) show a plan of each floor section b) show a plan of each elevation of the building c) show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground d) indicate the height, design and full construction details e) indicate the provision for fire safety and fire resistance (if any)
[]	[]	[checked]	Where the proposed building work involves any alteration or addition to, or rebuilding of an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.
[]	[]	[checked]	3 copies of a specification: a) to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply b) state whether the materials proposed to be used are new or second hand and give particular
[]	[]	[checked]	Where the proposed building work involves a modification to previously approved plans and specifications, the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification.
[]	[]	[checked]	If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?
[]	[]	[checked]	Except in the case of an application for, or in respect of domestic building work: a) a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and b) if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed. c) This list must describe the extent, capability and basis of design of each of the measures concerned.
[checked]	[]	[]	All other documentation to satisfy conditions of Development Consent

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12,000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5,000. In addition to this permit, all projects valued in excess of \$12,000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph 133220).

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.2% of the cost of works is payable on projects valued \$25 000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non-profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be addressed to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)?	Gross floor area of building (m ²) as proposed NA
What are the current uses of all or parts of the building(s)/land? Residential	Location 55 Robertson Rd Use Scotland Island
Does the site contain a dual occupancy?	What is the gross floor area of the proposed addition or new building (sq metres)?
What are the proposed uses of all parts of the building(s) land? Residential	Number of pre-existing dwellings
Number of dwellings to be demolished 0	How many dwellings proposed?
How many storeys will the building consist of? NA	Will the new building be attached to the existing building? NO Will the new building be attached to any new building?

MATERIALS TO BE USED

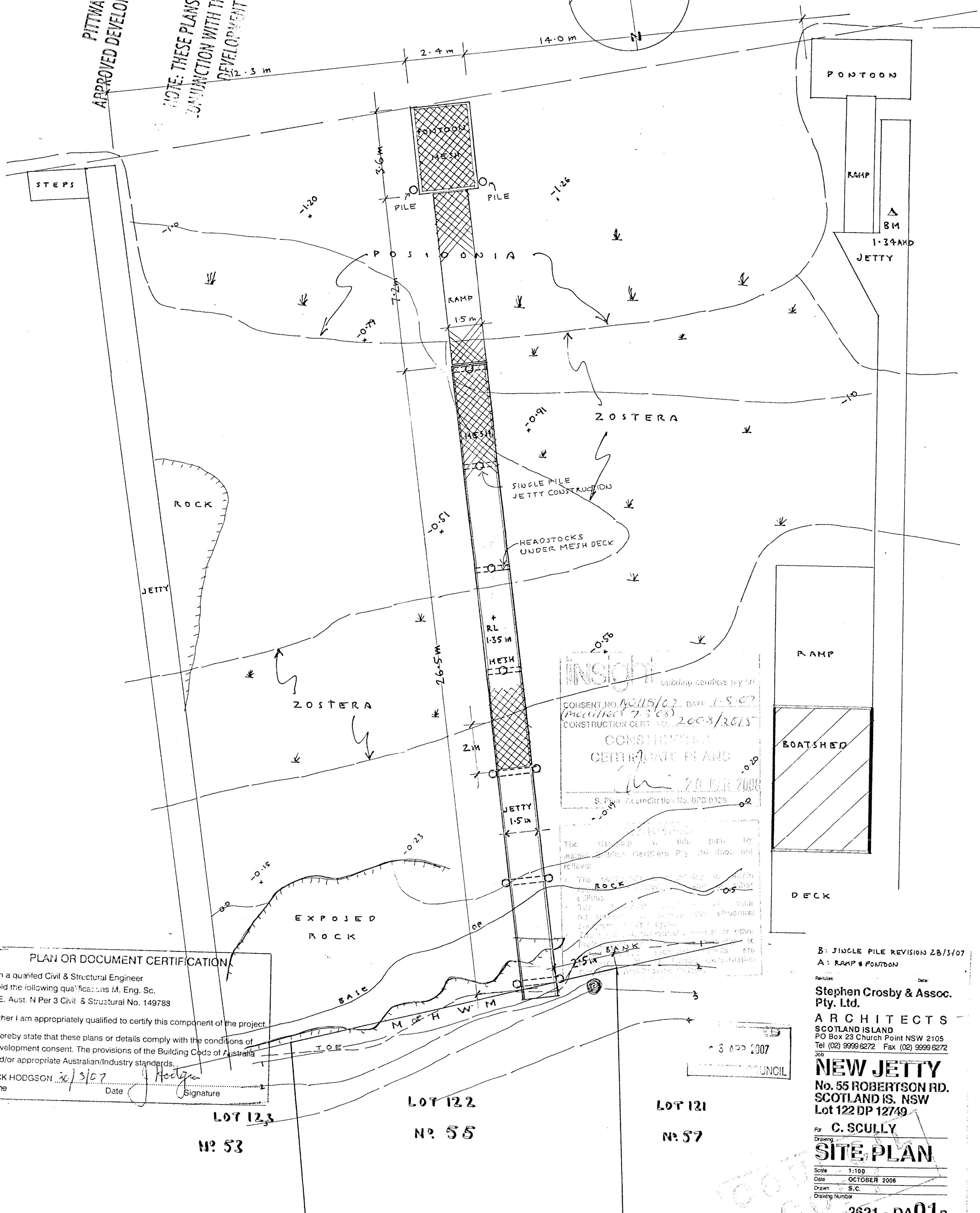
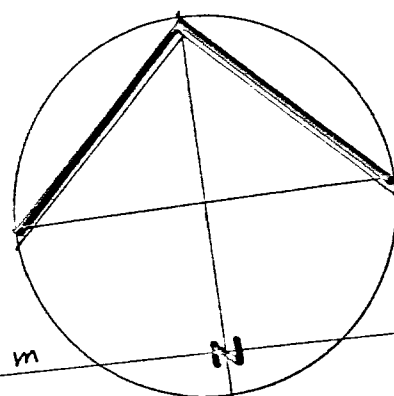
The following information must be supplied for the Australian Bureau of Statistics

Place a tick (✓) in the box which best describes the materials the new work will be constructed of

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	<input type="checkbox"/>	Concrete	<input type="checkbox"/>	Aluminium	<input type="checkbox"/>	Timber	<input type="checkbox"/>
Full brick	<input type="checkbox"/>	Timber	<input type="checkbox"/>	Concrete		Steel	<input type="checkbox"/>
Single brick	<input type="checkbox"/>	Other	<input type="checkbox"/>	Concrete tile	<input type="checkbox"/>	Other	<input type="checkbox"/>
Concrete block	<input type="checkbox"/>	Unknown	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Concrete/masonry	<input type="checkbox"/>			Fibreglass	<input type="checkbox"/>		
Concrete	<input type="checkbox"/>			Masonry/terracotta shingle	<input type="checkbox"/>		
Steel	<input type="checkbox"/>			Tiles	<input type="checkbox"/>		
Fibrous cement	<input type="checkbox"/>			Slate	<input type="checkbox"/>		
Hardiplank	<input type="checkbox"/>			Steel	<input type="checkbox"/>		
Timber/weatherboard	<input type="checkbox"/>			Terracotta tile	<input type="checkbox"/>		
Cladding aluminium	<input type="checkbox"/>			Other	<input type="checkbox"/>		
Curtain glass	<input type="checkbox"/>			Unknown	<input type="checkbox"/>		
Other	<input type="checkbox"/>						
Unknown	<input type="checkbox"/>						

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

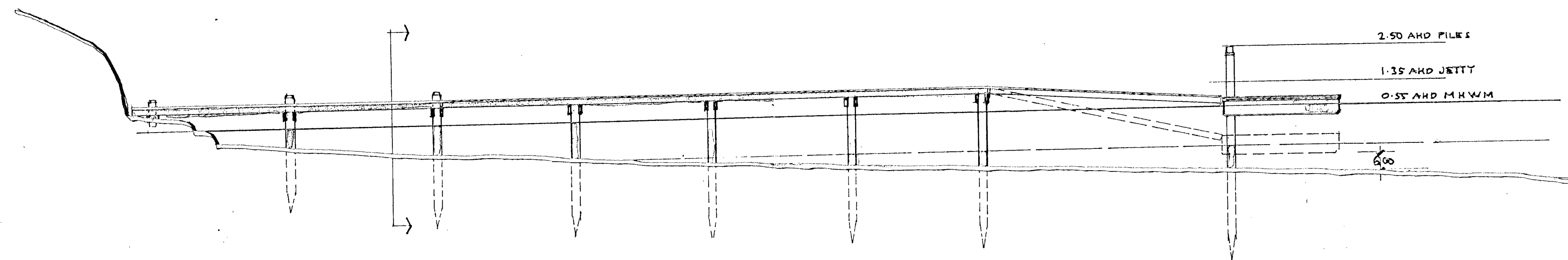
T T W A T E R



I am a qualified Civil & Structural Engineer
I hold the following qualifications M. Eng. Sc.
F.I.E. Aust. N Per 3 Civil & Structural No. 149788
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of
development consent. The provisions of the Building Code of Australia
and/or appropriate Australian/Industry standards.

JACK HODGSON *30/3/07* *J Hodgson*
Name Date Signature

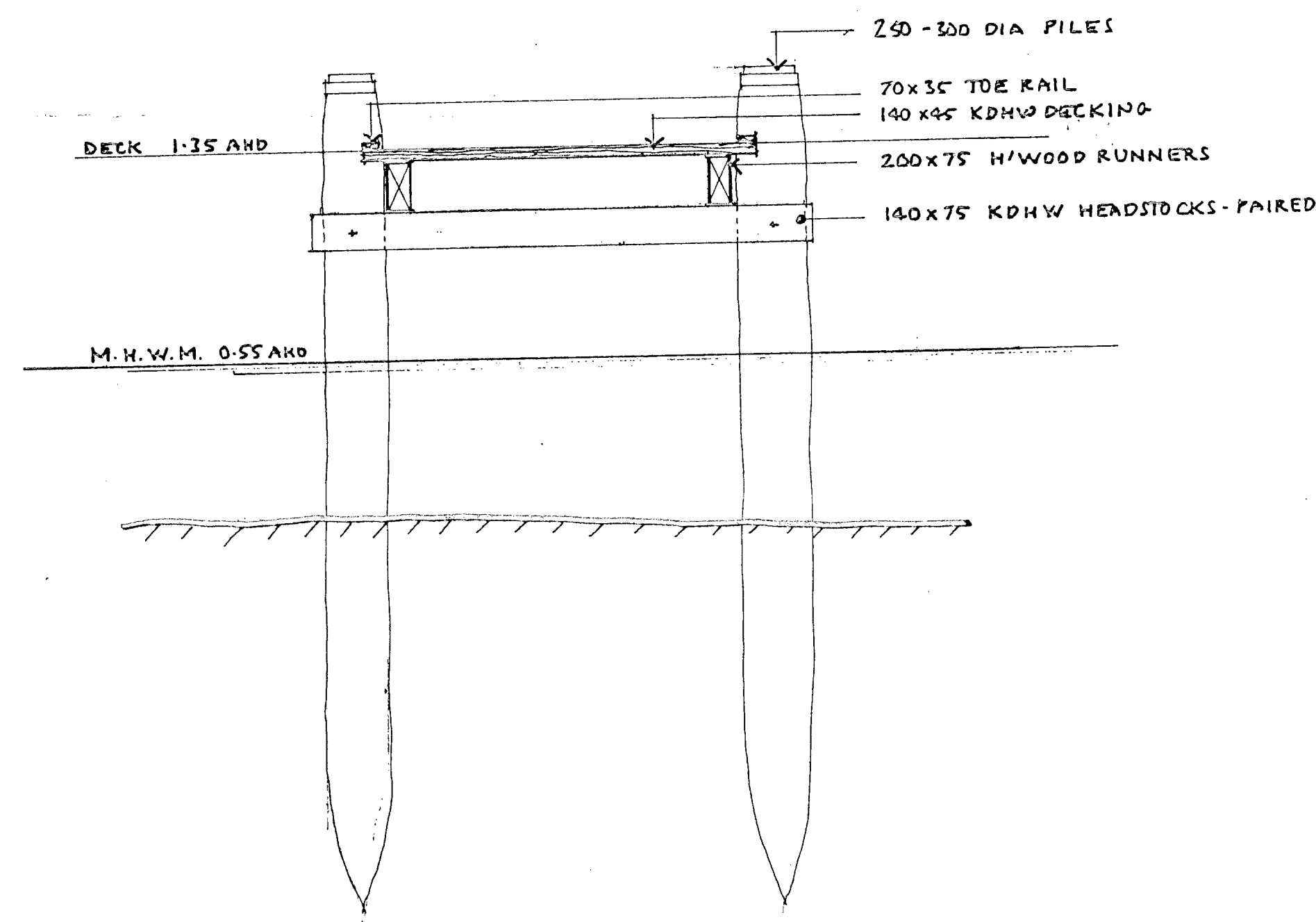
2621 - DA01B



LONG SECTION - ELEVATION 1:100

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT



CROSS SECTION 1:20

PLAN OR DOCUMENT CERTIFICATION

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and/or appropriate Australian/Industry standards.
JACK HODGSON 30/3/07
Name Date Signature

SEALING
8 APR 2007
PITTWATER COUNCIL

Stephen Crosby & Assoc.
Pty. Ltd.
ARCHITECTS
SCOTLAND ISLAND
PO Box 23 Church Point NSW 2105
Tel (02) 9999 6272 Fax (02) 9999 6272
Job
NEW JETTY
No. 55 ROBERTSON RD.
SCOTLAND IS. NSW
Lot 122 DP 12749

For C. SCULLY
Drawing
**SECTION &
ELEVATION**
Scale 1:100, 1:20
Date MARCH 2007
Drawn S.C.
Drawing Number
2621 - DA02