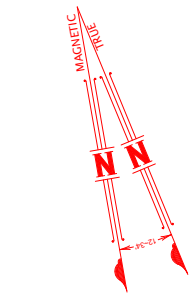


- LEGEND**
- +26.23 Denotes spot height.
  - +25.37 TK Denotes height on top of kerb.
  - T-0.25/4 Denotes tree-diameter/spread/height.
  - Denotes overhead power wires.
  - Denotes Sydney Water Sewer.
  - Plotted approx wide DBYD Sequence No.108549397 Dated 12/04/2021
  - Denotes flow direction of roof waters.
  - 78.37 Denotes ridge and levels.
  - 74.26 Denotes gutter and levels.
  - 83.14 Denotes level on top of wall. All walls Rendered, unless noted otherwise.
  - 70.85 / 75.42 Denotes window and levels.
  - 78.85 / 75.42 Denotes door and levels.

**TREE NOTE**  
The spread and height of each tree is indicative only and cannot be shown accurately without further survey. The shape and size of the spread of the canopy may vary due to lack of uniformity of the branches and trunk. All tree trunks are measured at DBH. (Diameter at Breast Height) approximately 1.3 metres above ground level.



**SITE RATIO'S - EXISTING:**

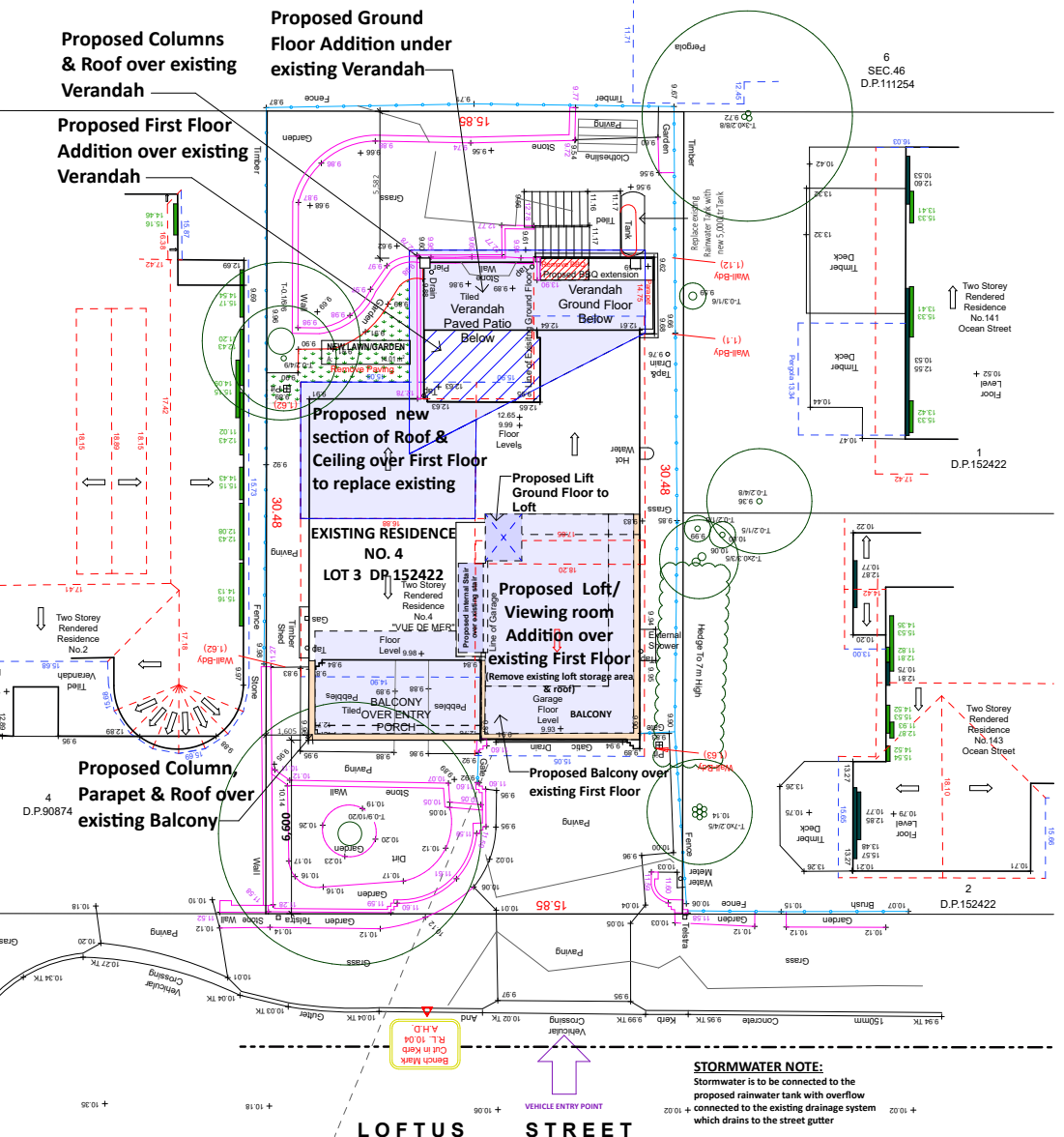
SITE AREA	480.6m <sup>2</sup>
BUILDING FOOTPRINT (Including GARAGE)	167m <sup>2</sup>
PORCH WITH BALCONY OVER	20m <sup>2</sup>
PATIO WITH TERRACE OVER	1m <sup>2</sup>
SHED	101m <sup>2</sup>
PAVED AREAS AND DRIVEWAY AREAS UNDER 2m WIDE	43m <sup>2</sup>
<b>SUM TOTAL</b>	<b>355m<sup>2</sup></b>
EXISTING LANDSCAPED AREA	125.6m <sup>2</sup>
<b>26%</b>	

(Landscape Open Space & Busland setting requirements- 40%)

**SITE RATIO'S - PROPOSED:**

SITE AREA	480.6m <sup>2</sup>
BUILDING FOOTPRINT (Including GARAGE)	188.5m <sup>2</sup>
PORCH WITH BALCONY OVER	20m <sup>2</sup>
SHED	1m <sup>2</sup>
PAVED AREAS AND DRIVEWAY AREAS UNDER 2m WIDE	42m <sup>2</sup>
<b>SUM TOTAL</b>	<b>358.5m<sup>2</sup></b>
PROPOSED LANDSCAPED AREA	142.1m <sup>2</sup>
<b>39.5%</b>	

(Landscape Open Space & Busland setting requirements- 40%)

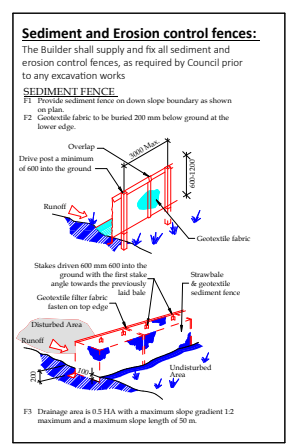


**LANDSCAPE PLAN NOTES:**  
The proposal has been designed to ensure that the objectives of Part 7.6 of the Northern Beaches OCP Biodiversity protection are met. The proposed Development will be over existing Hardstand & Dwelling. It is proposed to remove 14m<sup>2</sup> of existing paving and to extend the Lawn/Garden area (Area Shown Hatched) to increase the Landscape Open Space & Busland setting requirements from the existing 26% to 29.5%. The proposal does not require removal of any trees or shrubs. All existing vegetation and all existing trees are to remain on site. The proposal is unlikely to impact the ecological processes necessary for the continued existence of flora and fauna nor is it likely to impact the recovery of native flora and fauna or their habitats and we believe it will not impact on flora and fauna.

There are no changes to existing footings & all new footings required for the proposed Development are **not within the critical root zone** of any trees on the site or of any trees on any neighbouring site or Council land.

**STORMWATER NOTE:**  
Stormwater is to be connected to the proposed rainwater tank with overflow connected to the existing drainage system which drains to the street gutter.

CUSTOM ORB ACCENT 35 "Colorbond" sheet roof to the proposed front Balcony fixed over timber roof framing "Vergola" roof system fixed to manufacturers detail and specification  
300mm box gutter to the First floor Balcony Roof.  
Note: The Builder shall ensure adequate flashing and waterproofing is supplied and fixed.



**NOTES:**  
All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees. Check all Levels and Dimensions on site prior to commencing work and advise LIFESTYLE HOME DESIGNS of any discrepancies or errors. Finished ground levels on the plan are subject to the site conditions. Do not scale from drawings. Figure dimensions to be given preference over scale. All Figure dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

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**BASIS INFORMATION REQUIREMENTS:**  
**LIGHTING:**  
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

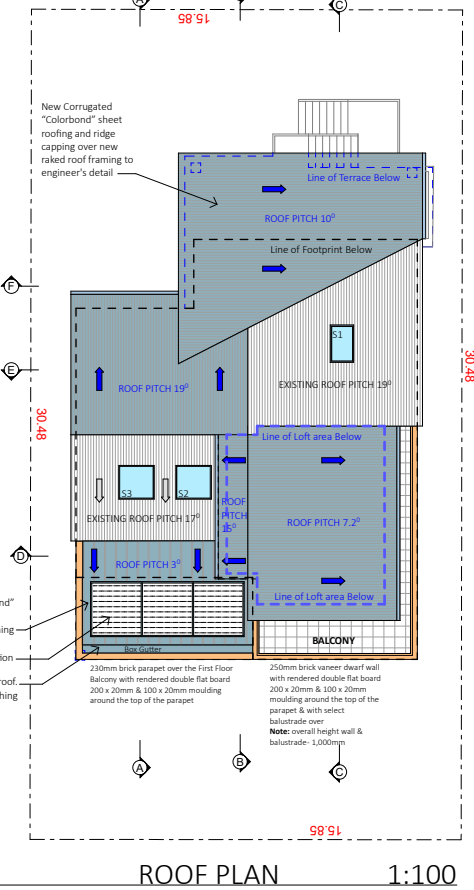
**WATER COMMITMENTS:**  
New or altered fixture requirements  
Showers must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

**HOT WATER SYSTEM:**  
Any new hot water system shall be a gas instantaneous system in accordance with the Basis certificate

**INSULATION REQUIREMENTS:**  
Construction / Additional insulation requirement (R-value)  
concrete slab on ground floor / nil  
floor above existing dwelling or building / nil  
external wall: cavity brick (R0.67) / nil  
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
external wall: framed (weatherboard, fibro, metal clad) (R0.40) / R1.30 (or R1.70 including construction)  
internal wall shared with garage: plasterboard (R0.36) / nil  
raked ceiling, pitched/skillion roof: framed / ceiling: R0.50 (up)  
roof: foil backed blanket 175 mm  
roof colour: light colour (solar absorption <0.475)

**WINDOWS & GLAZED DOORS:**  
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basis certificate.  
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door. You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance. There are criteria for low eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed doors.

**SKYLIGHTS:**  
All skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basis certificate.  
Each skylight may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIS certificate.



1 SITE PLAN & LANDSCAPE PLAN 1:100  
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT / SEDIMENT & EROSION CONTROL

2 ROOF PLAN 1:100

Project North

LEVEL 1, 10/14 NARABANG WAY - BELMORE  
PH. (02)9986 1311 FAX (02)9986 1322

Client  
**MR GOMES & MS DACOSTA**

Project Name  
**ALTERATIONS & ADDITIONS  
LOT 3 DP 152422  
4 LOFTUS STREET  
NARRABEEN NSW 2101**

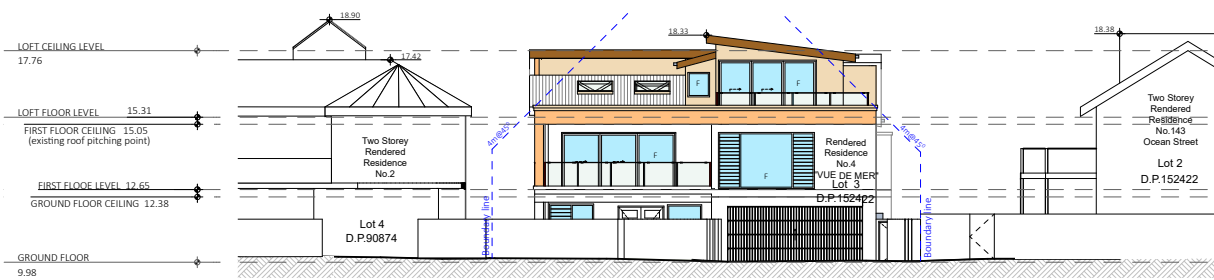
Drawing Title: **ROOF PLAN &  
SITE PLAN & LANDSCAPE PLAN**

Scale: 1:100 (A1) Date: OCTOBER 2022

Council: NORTHERN BEACHES Checked By: J. ADAMS

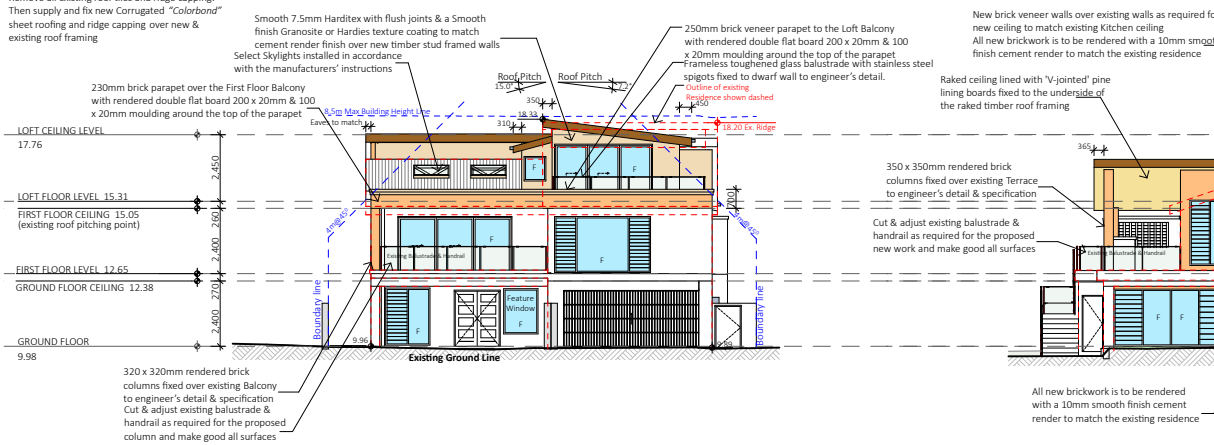
Project No.: **2037** Drawing #: **DA01**

ANNEXURE "A" Plot Date: 29/03/2023



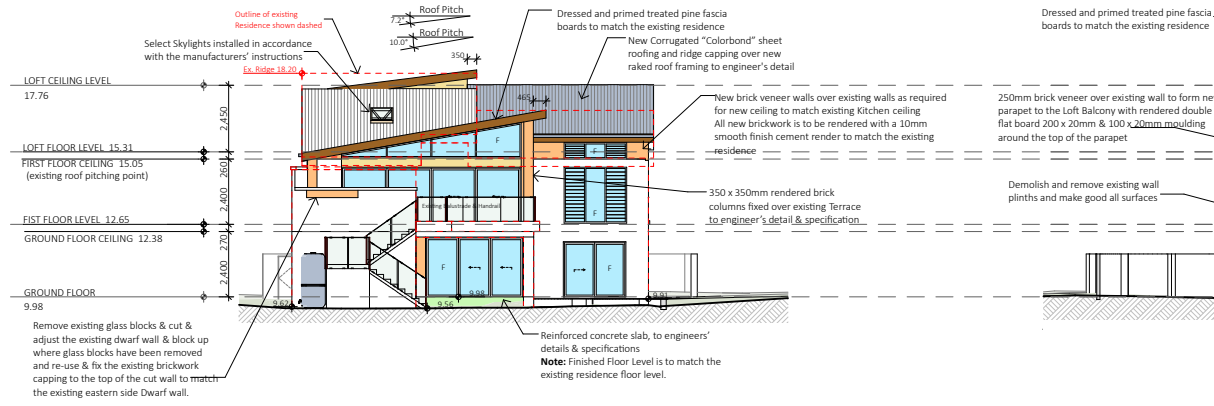
1 STREET VIEW NORTH ELEVATION 1:100

**GENERAL NOTE:**  
Remove all existing roof tiles and ridge capping. Then supply and fix new Corrugated "Colorbond" sheet roofing and ridge capping over new & existing roof framing



2 NORTH ELEVATION 1:100

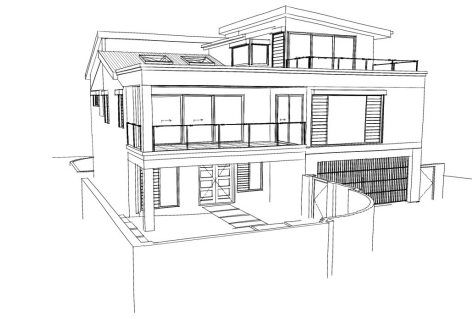
**GENERAL NOTE:**  
Remove all existing roof tiles and ridge capping. Then supply and fix new Corrugated "Colorbond" sheet roofing and ridge capping over new & existing roof framing



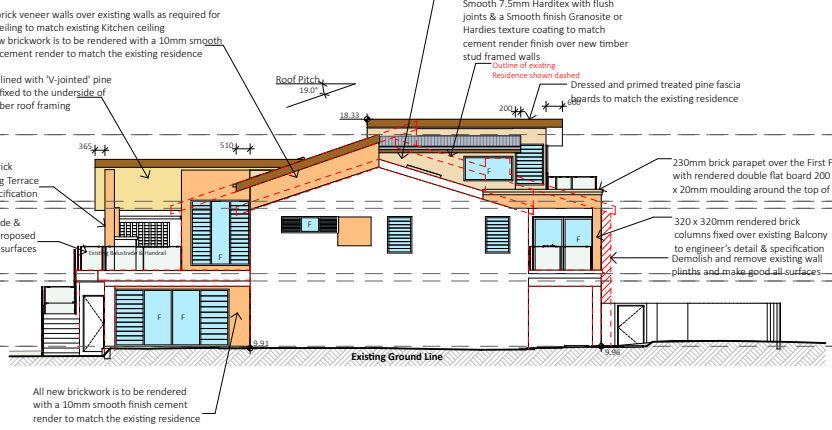
4 SOUTH ELEVATION 1:100

Remove existing glass blocks & cut & adjust the existing dwarf wall & block up where glass blocks have been removed and re-use & fix the existing brickwork capping to the top of the cut wall to match the existing eastern side Dwarf wall.

Reinforced concrete slab, to engineers' details & specifications  
**Note:** Finished Floor Level is to match the existing residence floor level.

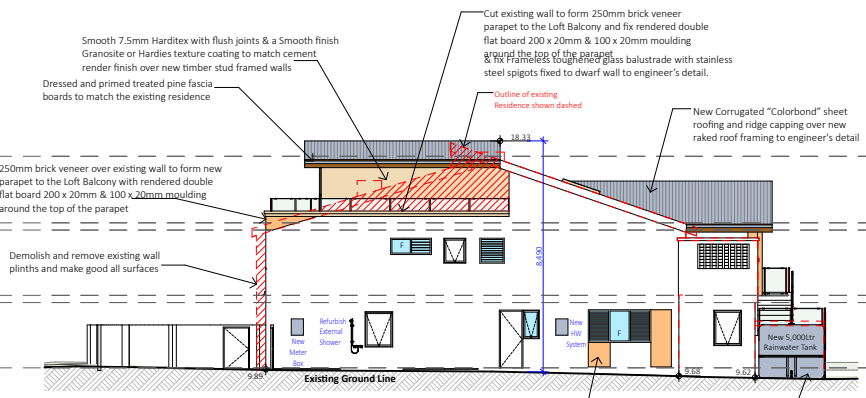


6 PERSPECTIVE VIEW 1:100



3 EAST ELEVATION 1:100

All new brickwork is to be rendered with a 10mm smooth finish cement render to match the existing residence



5 WEST ELEVATION 1:100

All new brickwork is to be rendered with a 10mm smooth finish cement render to match the existing residence

Replace existing Rainwater Tank with new 5,000Ltr Tank with the overflow connected to the existing stormwater disposal system, which drains to the street gutter.

**NOTES:**  
All work is to comply with the National Construction Code (NCC / Building Code of Australia), the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.  
  
The Builder is to give all notices, obtain all permits and pay all fees. Check all Levels and Dimensions on site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors. Finished ground levels on the plan are subject to the site conditions. Do not scale from drawings. Figured dimensions to be given preference over scale. All figured dimensions to be checked on site.  
  
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**BASIX INFORMATION REQUIREMENTS:**

**LIGHTING:**  
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

**WATER COMMITMENTS:**  
New or altered fixture requirements  
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating.

**HOT WATER SYSTEM:**  
Any new hot water system shall be a gas instantaneous system in accordance with the Basix certificate

**INSULATION REQUIREMENTS:**  
Construction / Additional insulation requirement (R-value)  
concrete slab on ground floor / nil  
floor above existing dwelling or building / nil  
external wall: cavity brick (R0.67) / nil  
external wall: brick veneer (R0.54) / R1.16 (or R1.70 including construction)  
external wall: framed (weatherboard, fibro, metal clad) (R0.40) / R1.30 (or R1.70 including construction)  
internal wall shared with garage: plasterboard (R0.36) / nil  
raked ceiling, pitched/skillion roof: framed / ceiling: R0.50 (up)  
roof: foil backed blanket (R3 mm)  
roof colour: light colour (solar absorption <0.475)

**WINDOWS & GLAZED DOORS:**  
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basix certificate  
You have selected one or more standard windows or glazed doors (i.e. standard aluminium or timber frames and single clear or toned glass). Your windows must either match the description or have better performance than the typical performance of that type of window or glazed door. You have selected one or more high performance windows or glazed doors (i.e. improved frames, pyrolytic low-e glass or clear/air gap/clear glazing, or toned/air gap/clear glazing). You will need to provide certification that the installed window or glazed door has the required performance. There are criteria for low eaves, pergolas, balconies or awnings are constructed to ensure adequate shading of the window or glazed doors.

**SKYLIGHTS:**  
All Skylight numbers shown on the window and door schedule correspond to matching skylight numbers shown in the Basix certificate.  
Each skylight may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table on the BASIX certificate.



Client  
**MR GOMES & MS DACOSTA**  
Project Name  
**ALTERATIONS & ADDITIONS**  
**LOT 3 DP 152422**  
**4 LOFTUS STREET**  
**NARRABEEN NSW 2101**

Drawing Title:  
**ELEVATIONS**

Scale: 1:100 (A1)	Date: OCTOBER 2022
Council: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: <b>2037</b>	Drawing #: <b>DA04</b>
ANNEXURE "A"	Plot Date: 29/03/2023