

# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Multi Dwelling

Certificate number: 1130450M\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

This certificate is a revision of certificate number 1130450M lodged with the consent authority or certifier on 04 September 2020 with application DA2020/117254.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

Date of issue: Monday, 11 October 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.






Project summary		
Project name	Senior Living at 54 Bardo Rd, Newport_03	
Street address	54 Bardo Road Newport 2106	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited DP 4689	
Lot no.	42	
Section no.	-	
No. of residential flat buildings	1	
No. of units in residential flat buildings	6	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	✓ 42	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 48	Target 45

Certificate Prepared by
Name / Company Name: Loka Consulting Engineers PTY LTD
ABN (if applicable): 16600535457

# Description of project

Project address	
Project name	Senior Living at 54 Bardo Rd, Newport_03
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Plan type and plan number	deposited DP 4689
Lot no.	42
Section no.	-
Project type	
No. of residential flat buildings	1
No. of units in residential flat buildings	6
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Site details	
Site area (m <sup>2</sup> )	1226.32
Roof area (m <sup>2</sup> )	630
Non-residential floor area (m <sup>2</sup> )	0.0
Residential car spaces	8
Non-residential car spaces	0

Common area landscape	
Common area lawn (m <sup>2</sup> )	155.0
Common area garden (m <sup>2</sup> )	0.0
Area of indigenous or low water use species (m <sup>2</sup> )	0.0
Assessor details	
Assessor number	101399
Certificate number	QNH5G31DEZ
Climate zone	56
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No
Project score	
Water	 42 Target 40
Thermal Comfort	 Pass Target Pass
Energy	 48 Target 45

## Description of project

The tables below describe the dwellings and common areas within the project

### Residential flat buildings - Building1, 6 dwellings, 2 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
101	2	89.5	3.9	0.0	0.0
G04	2	104.6	1.2	67.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
102	3	112.4	0.7	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
G01	2	85.7	3.9	40.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
G02	3	107.9	0.7	100.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
G03	3	106.6	3.9	70.0	0.0

## Description of project

The tables below describe the dwellings and common areas within the project

### Common areas of unit building - Building1

Common area	Floor area (m <sup>2</sup> )	Common area	Floor area (m <sup>2</sup> )
Car park area (No. 1)	563.0	Lift car (No.1)	-

### Common areas of the development (non-building specific)

Common area	Floor area (m <sup>2</sup> )
Garbage room (No. 1)	7.0

# Schedule of BASIX commitments

## 1. Commitments for Residential flat buildings - Building1

### (a) Dwellings

(i) Water

(ii) Energy

(iii) Thermal Comfort

### (b) Common areas and central systems/facilities

(i) Water

(ii) Energy

## 2. Commitments for multi-dwelling houses

## 3. Commitments for single dwelling houses

## 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(i) Water

(ii) Energy

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for Residential flat buildings - Building1

#### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> <li>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and</li> <li>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</li> </ul>		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	yes	no	yes	no	no
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	<b>Hot water</b>	<b>Bathroom ventilation system</b>		<b>Kitchen ventilation system</b>		<b>Laundry ventilation system</b>	
<b>Dwelling no.</b>	<b>Hot water system</b>	<b>Each bathroom</b>	<b>Operation control</b>	<b>Each kitchen</b>	<b>Operation control</b>	<b>Each laundry</b>	<b>Operation control</b>
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-



Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
G03	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	2	yes
101, G01	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	2 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes
All other dwellings	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	1-phase airconditioning EER 2.5 - 3.0	3 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	3.5 star	yes	4 star	4 star	-	yes	yes

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			

<b>(iii) Thermal Comfort</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

<b>Thermal loads</b>		
<b>Dwelling no.</b>	<b>Area adjusted heating load (in mJ/m<sup>2</sup>/yr)</b>	<b>Area adjusted cooling load (in mJ/m<sup>2</sup>/yr)</b>
101	22.8	16.3
102	8.6	11.9
G01	26.0	16.9
G02	12.7	20.1
G03	13.3	15.9
All other dwellings	11.2	18.8

**(b) Common areas and central systems/facilities**

<b>(i) Water</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

<b>Common area</b>	<b>Showerheads rating</b>	<b>Toilets rating</b>	<b>Taps rating</b>	<b>Clothes washers rating</b>
All common areas	no common facility	no common facility	4 star	no common laundry facility

<b>Central systems</b>	<b>Size</b>	<b>Configuration</b>	<b>Connection (to allow for...)</b>
Central water tank - rainwater or stormwater (No. 1)	10000.0	To collect run-off from at least: - 321.0 square metres of roof area of buildings in the development - 0.0 square metres of impervious area in the development - 0.0 square metres of garden/lawn area in the development - 0.0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 120.0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Car park area (No. 1)	ventilation exhaust only	carbon monoxide monitor + VSD fan	compact fluorescent	time clock and motion sensors	No
Lift car (No.1)	-	-	light-emitting diode	connected to lift call button	No

Central energy systems	Type	Specification
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 3

#### 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

##### (b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	4 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

	Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Garbage room (No. 1)	ventilation exhaust only	-	light-emitting diode	manual on / manual off	No

## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

## Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

# Nationwide House Energy Rating Scheme — Class 2 summary

## NatHERS Certificate No. QNH5G31DEZ

Generated on 11 Oct 2021 using FirstRate5 v5.3.1a

### Property

**Address** 54 Bardo Road for Section 4.55(8),  
Newport, NSW, 2106

**Lot/DP**

**NatHERS climate zone**

### Accredited assessor



Nermein Loka

Loka Consulting Engineers

info@lcheng.com.au

806659689

**Accreditation No.** 101399

**Assessor Accrediting Organisation** ABSA



**NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME**

The rating above is the average  
of all dwellings in this summary.

For more information on  
your dwelling's rating see:

[www.nathers.gov.au](http://www.nathers.gov.au)

### Verification



To verify this certificate, scan the QR code or visit  
<https://www.fr5.com.au/QRCodeLanding?PublicId=QNH5G31DEZ&GrpCert=1> When using  
either link, ensure you are visiting [www.fr5.com.au](http://www.fr5.com.au).

## Summary of all dwellings

Certificate number and link	Unit number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
7GG0SGCGB8	101	22.8	16.3	39.1	6.9
2XY5GQAJ53	102	8.6	11.9	20.5	8.4
4BVGKQO2UY	G01	26	16.9	42.9	6.7
TSIZ1LNO6G	G02	12.7	20.1	32.8	7.4
C1YHKXNR1I	G03	13.3	15.9	29.2	7.7
9NDGR8Y778	G04	11.2	18.8	30	7.7
Average		15.8	16.7	32.4	7.5

### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.



## Explanatory notes

### About this report

This summary rating is the average rating of all NCC Class 2 dwellings in a development. The individual dwellings' ratings are a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate the energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances, or energy production of solar panels. For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

### Accredited Assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO). AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content, input and creation of the NatHERS Certificate is by the assessor. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

# PROPOSED SENIORS HOUSING

6 DWELLINGS, BASEMENT CARPARKING & ASSOCIATED LANDSCAPING

54 BARDO RD, NEWPORT, NSW 2106

Window System Specification					
<small>Note: Type A performance values apply to awning, bifold, casement, tilt and turn, casement style door and the like. Type B performance values apply to double hung, fixed, louvre, sliding windows, sliding or stacker doors and the like. Window and skylight U and SHGC values are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower than the U and SHGC values of the product specified above.</small>					
Frame	Type	Glass type	Glazing type	U-value	SHGC
Aluminium	A	High-Solar Low-E	Single	5.4	0.49
			Double	4.3	0.47
	B	High-Solar Low-E	Single	5.4	0.58
			Double	4.3	0.53
	A	Low-Solar Low-E	Single	5.6	0.36
			Double	4.9	0.33
B	Low-Solar Low-E	Single	5.6	0.41	
		Double	4.9	0.33	

NatHERs Building Thermal Modelling Performance Specifications	
<small>These are the specifications upon which the certified assessment is based. If details included in these specifications vary from other drawings or written specifications, these specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents. Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower, than the U and SHGC values of the product specified above.</small>	
Thermal Modelling Software: FirstRate5 v5.3.1a (3.21)	
External and Internal Walls Insulation	
External Walls	Brick Veneer - R 2.5 for Unit G01 and G02 Scyon Axon Cladding - R 2.5 For Unit G03, G04, 101 and 102
Party walls	Logic Wall 162mm - None
Internal Walls	Plasterboard Stud Wall - None
Floor, Ceiling and Roof Insulation	
Unit Floor - Suspended Slab 200mm	R 2.5 for all Units
Ceiling	R 6.0 for Unit G03, G04, 101 and 102
Ceiling	None for Unit G01 and G02
Roof - Metal with dark colour	R 1.3 roof blanket with reflective foil sarking
Window/Skylight (*Refer to BASIX Commitment Report and NatHERs Certificates for details)	
All Windows	For Unit G01, G02, G03, 101 and 102, Aluminium Framed Single Glazed High-Solar Gain Low-E (U = 5.4; SHGC = 0.49 for Type A windows or SHGC = 0.58 for Type B windows)
	For Unit G04, Aluminium Framed Single Glazed Low-Solar Gain Low-E (U = 5.6; SHGC = 0.36 for Type A windows or SHGC = 0.41 for Type B windows)
Floor Coverings	
Carpet	Bedroom
Tiles	Kitchen, dining and living areas, toilet, laundry and hallway
54 Bardo Road, Newport NSW - S4.55(8)	

## DRAWING LIST

Drawing No.	Drawing Name	Current Revision	Current Revision Date
DA001	COVER PAGE	M	17/09/21
DA002	DEMOLITION PLAN	G	17/09/21
DA003	SITE ANALYSIS	I	17/09/21
DA005	SITE PLAN	I	17/09/21
DA006	BASEMENT PLAN	Q	17/09/21
DA007	GROUND FLOOR PLAN	S	17/09/21
DA008	LEVEL 1 PLAN	P	17/09/21
DA009	ROOF PLAN	J	17/09/21
DA010	NORTH & WEST ELEVATIONS	K	17/09/21
DA011	SOUTH & EAST ELEVATIONS	J	17/09/21
DA012	SECTION AA & BB	I	17/09/21
DA013	SECTION CC & DD	I	17/09/21
DA014	LANDSCAPE CALCULATION PLAN	L	17/09/21
DA015	DEEP SOIL PLAN	K	17/09/21
DA016	GFA CALCULATIONS	J	17/09/21
DA017	SHADOW DIAGRAMS	H	17/09/21
DA018	SOLAR DIAGRAMS	H	17/09/21
DA019	WINDOW SCHEDULE	F	17/09/21



UNIT NUMBER	ROOM TYPE	AREA	POS/BALCONY AREA [m²]
G01	2 BED	93.2 m²	50.6
G02	3 BED	114.1 m²	143.6
G03	3 BED	118.5 m²	80.2
G04	2 BED	111.8 m²	78.8
T01	2 BED	97.4 m²	10.3
T02	3 BED	118.9 m²	12.8

## YIELD

<b>GROUND FLOOR GFA</b>	472.95m <sup>2</sup>
<b>LEVEL 1 GFA</b>	239.29m <sup>2</sup>
<b>TOTAL GFA</b>	712.24m <sup>2</sup>
<b>SITE AREA</b>	1226.32m <sup>2</sup>
<b>FSR</b>	0.580:1

No.	Date	Description
M	17/09/21	ISSUED FOR S4.55(8) APPROVAL
L	01/04/21	ISSUED FOR APPROVAL
K	16/03/21	ISSUED FOR APPROVAL
J	03/09/20	ISSUED FOR APPROVAL
I	01/09/20	ISSUED FOR COORDINATION
H	31/08/20	ISSUED FOR COORDINATION
G	24/08/20	ISSUED FOR COORDINATION
F	21/08/20	ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED
E	20/08/20	ISSUED FOR COORDINATION; REVISED PLANNING ITEMS
D	18/08/20	ISSUED FOR COORDINATION
C	23/07/20	ISSUED FOR PRE-DA MEETING
B	24/07/20	ISSUED FOR INFORMATION
A	23/06/20	ISSUED FOR INFORMATION

**GILES TRIBE**  
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 E gtr@gilestribe.com.au  
 Giles Tribe Pty Ltd ABN 50 001259 507  
 Mark G Broadley (B22) Stuart D Hill (S458)

Verify all dimensions on site prior to commencement of work. Refer all discrepancies to the Architect for determination. Use figured dimensions in preference to scaling. This drawing is copyright and must not be reprinted, copied or used without the written consent of Giles Tribe Architects.

Client: **Built Property**  
 Project:

**54 BARDO ROAD  
 NEWPORT 2106  
 NSW**

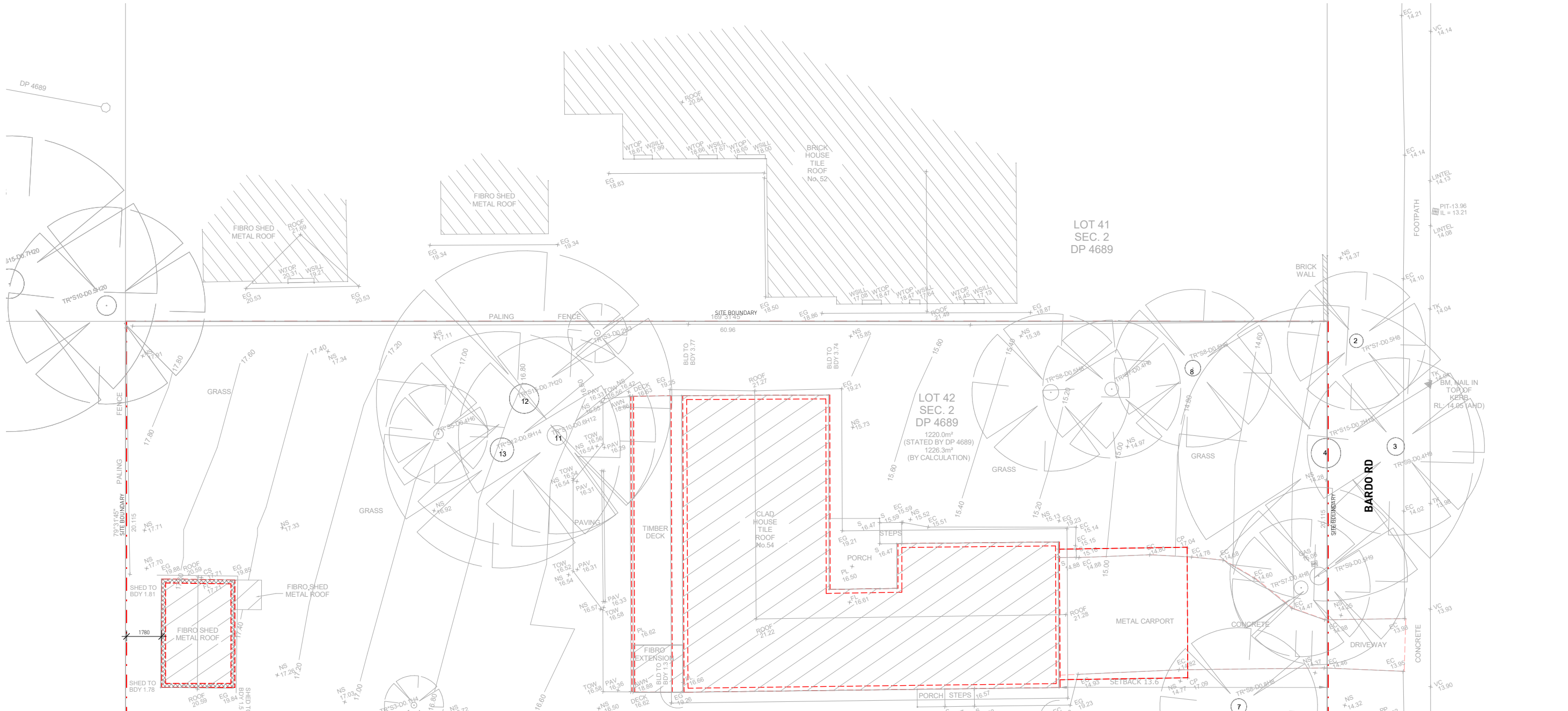
Drawing: **COVER PAGE**

Status: **FOR S4.55 APPROVAL**

Scale: Job No. Drawing No. Rev.  
 Sheet Size: A1 **20055 DA001 M**  
 Date: 01/25/07  
 Drawn: YL Reviewed: YY



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**1 DEMOLITION PLAN**  
DA002 1 : 100



No	Date	Description
G	17/09/21	ISSUED FOR S4.55(8) APPROVAL
F	03/09/20	ISSUED FOR APPROVAL
E	01/08/20	ISSUED FOR COORDINATION
D	20/08/20	ISSUED FOR COORDINATION; REVISED PLANNING ITEMS
C	18/08/20	ISSUED FOR COORDINATION
B	29/07/20	ISSUED FOR PRE-DA MEETING
A	24/07/20	ISSUED FOR INFORMATION

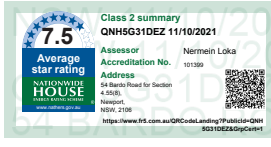
**GILES TRIBE**  
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E giles@tribe.com.au  
Giles Tribe Pty Ltd ABN 50 001259 507  
Mark G Bready (S22) Stuart D Hill (S459)

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


Client:  
**Built Property**  
Project:  
**54 BARDO ROAD  
NEWPORT 2106  
NSW**

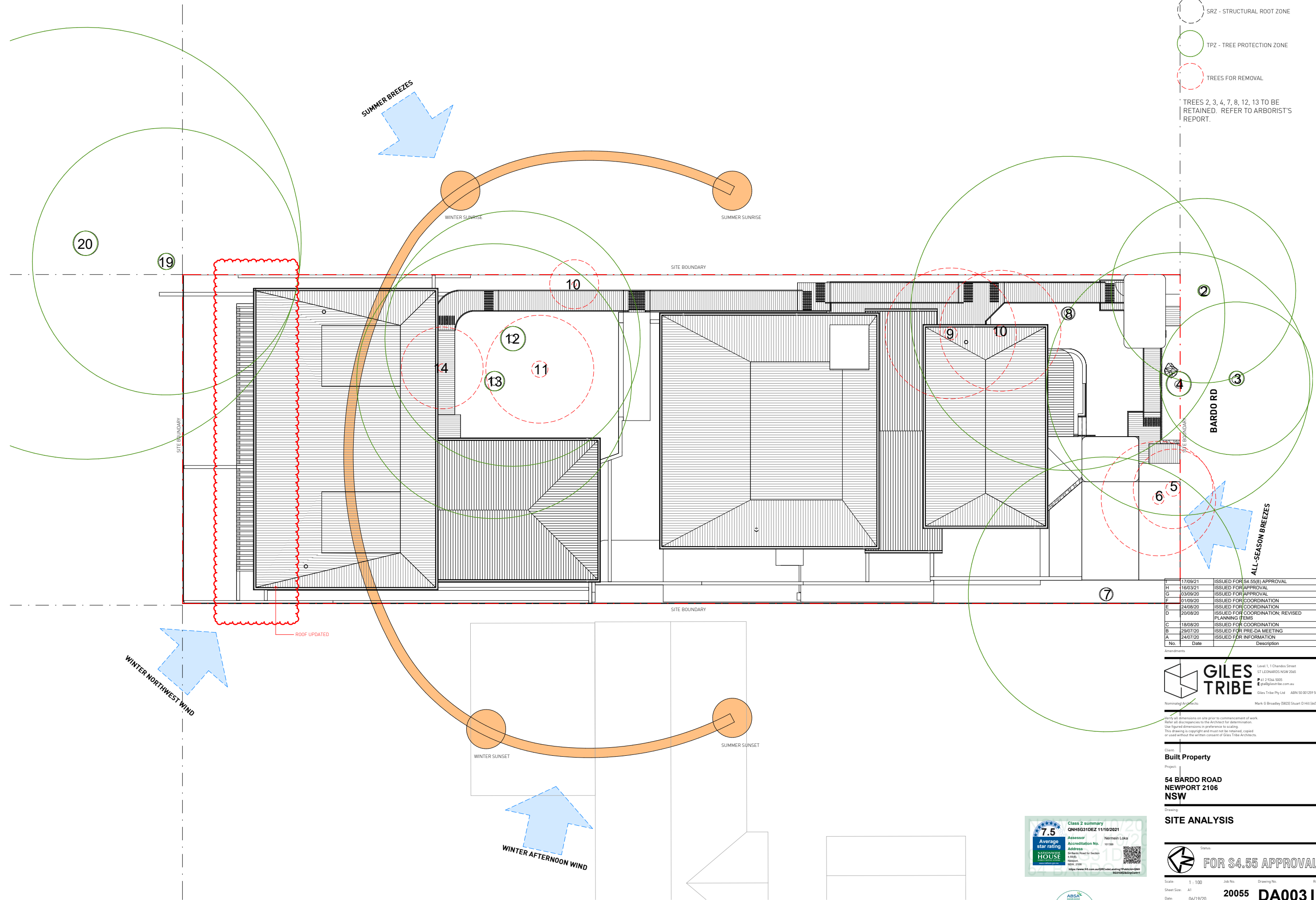
Drawing:  
**DEMOLITION PLAN**  
Status:  
**FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev.  
Sheet Size: A1  
Date: 06/19/20 **2055 DA002 G**  
Drawn: YL Reviewed: YY



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-  SRZ - STRUCTURAL ROOT ZONE
  -  TPZ - TREE PROTECTION ZONE
  -  TREES FOR REMOVAL
- TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



No.	Date	Description
17/09/21		ISSUED FOR S4.55(8) APPROVAL
H	16/03/21	ISSUED FOR APPROVAL
G	03/09/20	ISSUED FOR APPROVAL
F	01/09/20	ISSUED FOR COORDINATION
E	24/08/20	ISSUED FOR COORDINATION
D	20/08/20	ISSUED FOR COORDINATION, REVISED PLANNING ITEMS
C	18/08/20	ISSUED FOR COORDINATION
B	29/07/20	ISSUED FOR PRE-DA MEETING
A	24/07/20	ISSUED FOR INFORMATION

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 Giles Tribe Pty Ltd ABN 50 001259 507  
 Mark G Broadley (S22) Stuart D Hill (S45R)

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**Built Property**  
 Client:  
 Project:  
**54 BARDO ROAD  
 NEWPORT 2106  
 NSW**

**SITE ANALYSIS**  
 Status:  
**FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev.  
 Sheet Size: A1  
 Date: 06/19/20 **20055 DA003 I**  
 Drawn: YL Reviewed: YY

**7.5**  
 Average star rating  
 GREENHOUSE HOUSE  
 Class 2 summary  
 QNHSG31DEZ 11/10/2021  
 Assessor: Nirmeln Loka  
 Accreditation No. 10718  
 Address: 54 Bardo Road for Section 4.55(8)  
 Newport, NSW 2106  
 https://www.nsw.gov.au/qnr/qnr.html#Public-Open-Access-Details

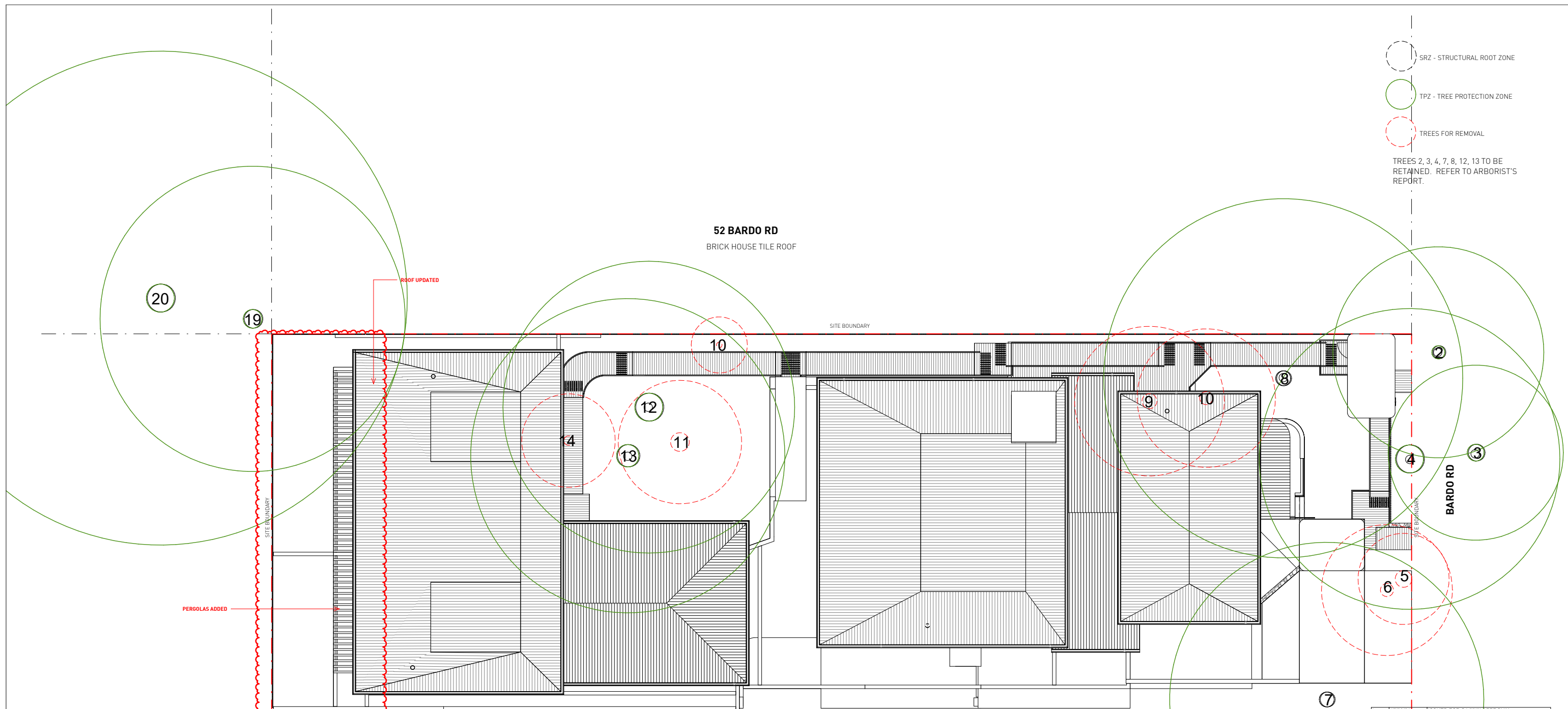


-  SRZ - STRUCTURAL ROOT ZONE
-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.

**52 BARDO RD**  
BRICK HOUSE TILE ROOF

**56 BARDO RD**  
BRICK HOUSE TILE ROOF



No.	Date	Description
H	17/08/21	ISSUED FOR S4.55(6) APPROVAL
H	16/03/21	ISSUED FOR APPROVAL
G	03/09/20	ISSUED FOR APPROVAL
F	01/09/20	ISSUED FOR COORDINATION
E	20/08/20	ISSUED FOR COORDINATION; REVISED PLANNING ITEMS
D	18/08/20	ISSUED FOR COORDINATION
C	23/07/20	ISSUED FOR PRE-DA MEETING
B	24/07/20	ISSUED FOR INFORMATION
A	21/07/20	ISSUED FOR INFORMATION

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E gtr@tribe.com.au  
Giles Tribe Pty Ltd ABN 50 001259 507  
Mark G Broadley (S22) Stuart D Hill (S45R)  
Nominated Architects

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Client: **Built Property**  
Project: **54 BARDO ROAD NEWPORT 2106 NSW**  
Drawing: **SITE PLAN**

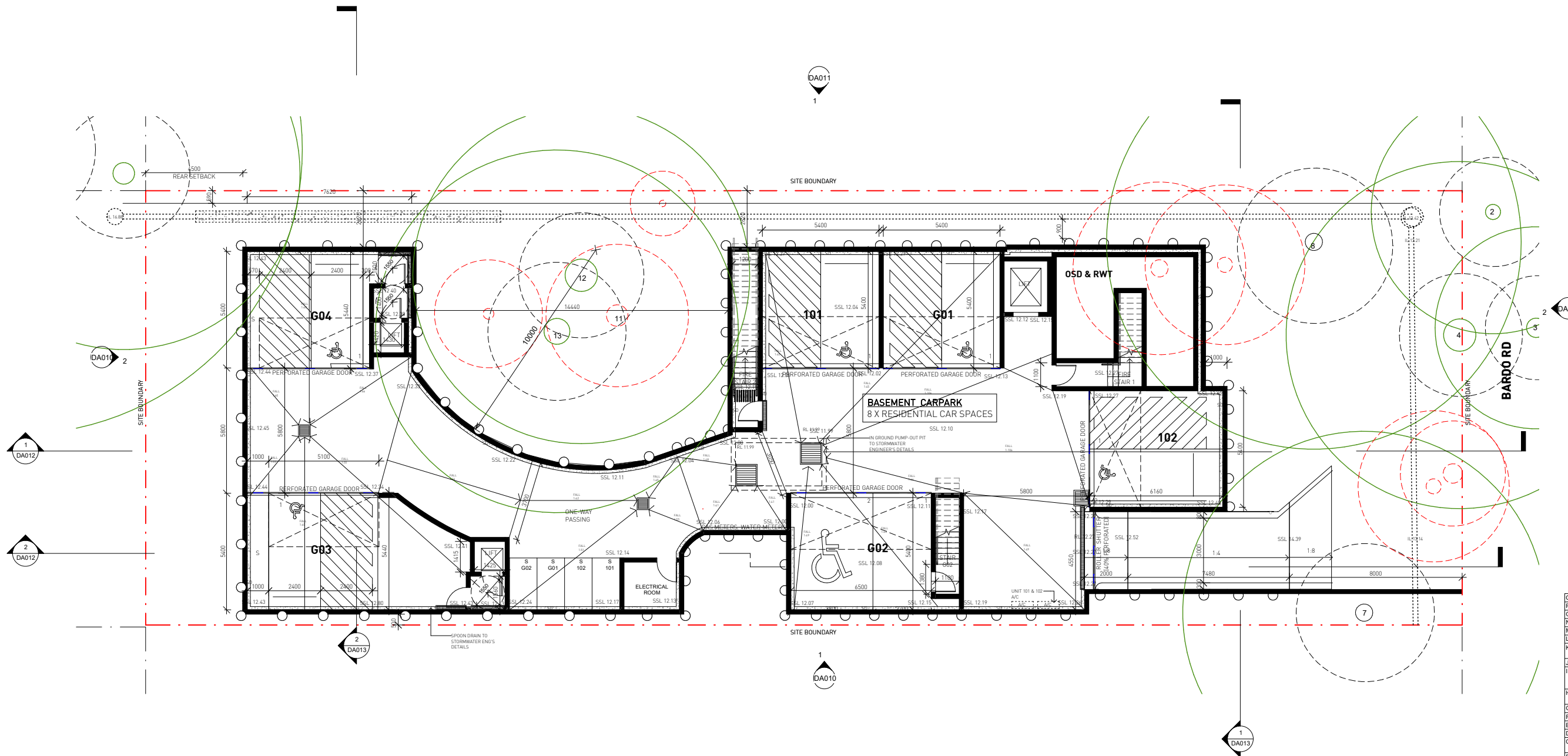
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Scale: 1 : 100 Job No. Drawing No. Rev.  
Sheet Size: A1  
Date: 06/19/20 **20055 DA005 I**  
Drawn: YL Reviewed: YY



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-  SRZ - STRUCTURAL ROOT ZONE
  -  TPZ - TREE PROTECTION ZONE
  -  TREES FOR REMOVAL
- TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



**1 BASEMENT PLAN**  
1 : 100

No	Date	Description
Q	08/10/21	ISSUED FOR S4 55(8) APPROVAL
P	01/04/21	ISSUED FOR APPROVAL
O	16/03/21	ISSUED FOR APPROVAL
N	03/09/20	ISSUED FOR APPROVAL
M	01/09/20	ISSUED FOR COORDINATION
L	31/08/20	ISSUED FOR COORDINATION
K	24/08/20	ISSUED FOR COORDINATION; BASEMENT AMENDED
J	24/08/20	ISSUED FOR COORDINATION
I	21/08/20	ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED
H	20/08/20	ISSUED FOR COORDINATION; REVISED PLANNING ITEMS
G	18/08/20	ISSUED FOR COORDINATION
F	29/07/20	ISSUED FOR PRE-DA MEETING
E	24/07/20	ISSUED FOR INFORMATION
D	21/07/20	ISSUED FOR INFORMATION
C	03/07/20	ISSUED FOR INFORMATION; INTERNAL LIFT ADDED TO REAR UNITS
B	26/06/20	ISSUED FOR INFORMATION
A	23/06/20	ISSUED FOR INFORMATION

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Giles Tribe Pty Ltd ABN 50 001259 507  
Mark G Broadley (S22) Stuart D Hill (S458)

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Use figured dimensions in preference to scaling.  
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Client:  
**Built Property**  
Project:  
**54 BARDO ROAD  
NEWPORT 2106**

Drawing:  
**BASEMENT PLAN**  
Status:  
**FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev.  
Sheet Size: A1  
Date: 08/04/21 **20055 DA006 Q**  
Drawn: Author Reviewed: Checker



Frame	Type	Glass type	Glazing type	U-value	SHGC
Aluminium	A	High-Solar Low-E	Single	5.4	0.49
			Double	4.3	0.47
			Single	5.4	0.58
	B	Low-Solar Low-E	Double	4.3	0.53
			Single	5.6	0.36
			Double	4.9	0.33
B	E	Single	5.6	0.41	
		Double	4.9	0.33	

**NatHERS Building Thermal Modelling Performance Specifications**

These are the specifications upon which the certified assessment is based. If details included in these specifications vary from other drawings or written specifications, these specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents. Window and skylight U and SHGC values are according to NRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower, than the U and SHGC values of the product specified above.

**Thermal Modelling Software: FirstRate5 v5.3.1a (3.2.1)**

**External and Internal Walls Insulation**

External Walls	Brick Veneer - R 2.5 for Unit G01 and G02 Scyon Axon Cladding - R 2.5 for Unit G03, G04, 101 and 102
Party walls	Logic Wall 162mm - None
Internal Walls	Plasterboard Stud Wall - None

**Floor, Ceiling and Roof Insulation**

Unit Floor - Suspended Slab 200mm	R 2.5 for all Units
Ceiling	R 6.0 for Unit G03, G04, 101 and 102
Ceiling	None for Unit G01 and G02
Roof - Metal with dark colour	R 1.3 roof blanket with reflective foil sarking

**Window/Skylight (\*Refer to BASIX Commitment Report and NatHERS Certificates for details)**

All Windows	For Unit G01, G02, G03, 101 and 102, Aluminium Framed Single Glazed High-Solar Gain Low-E (U = 5.4 ; SHGC = 0.49 for Type A windows or SHGC = 0.58 for Type B windows) For Unit G04, Aluminium Framed Single Glazed Low-Solar Gain Low-E (U = 5.6 ; SHGC = 0.36 for Type A windows or SHGC = 0.41 for Type B windows)
-------------	--

**Floor Coverings**

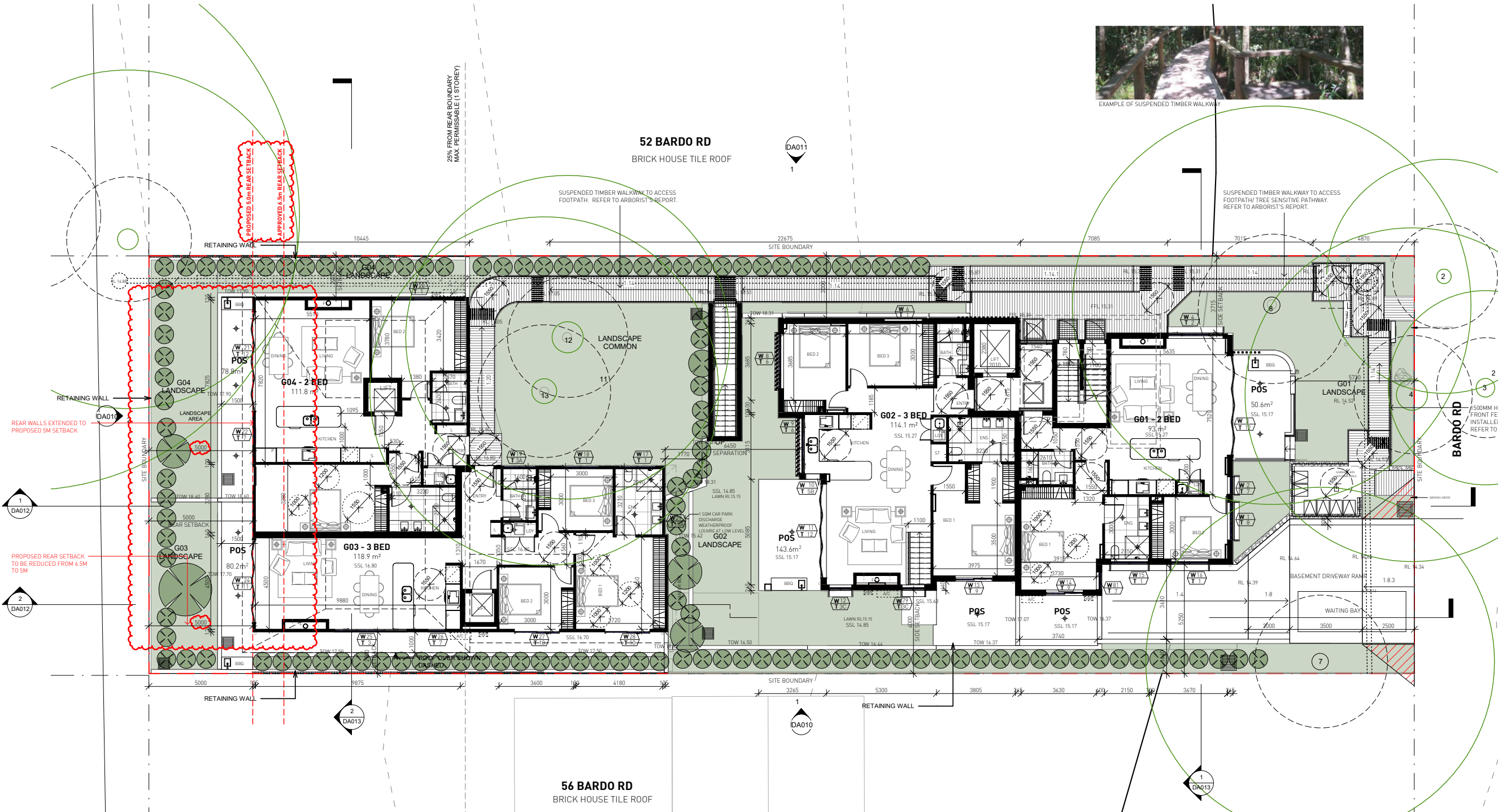
Carpet	Bedroom
Tiles	Kitchen, dining and living areas, toilet, laundry and hallway

54 Bardo Road, Newport NSW - S4.55(8)

**7.5**  
Average star rating  
NATIONAL HOUSE ENERGY RATING  
Class 2 summary  
ONH5G31DEZ 11/10/2021  
Assessor: Nermin Loka  
Address: 54 Bardo Road, Newport, NSW, 2106  
Phone: 2106 2106  
Website: www.nhr.com.au



C:\Users\Newport\Documents\54 Bardo Rd, Newport, NSW\2106, CC, beam-cheming@tribe.com



- SRZ - STRUCTURAL ROOT ZONE
- TPZ - TREE PROTECTION ZONE
- TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.

**1 GROUND FLOOR PLAN**  
1 : 100

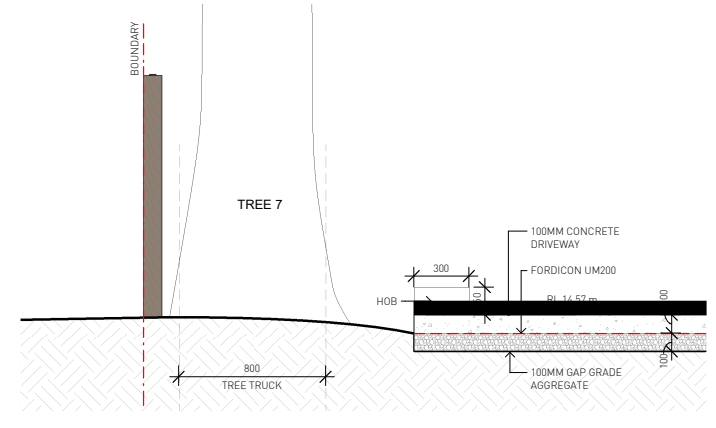
No.	Date	Description
S	08/10/21	ISSUED FOR S4.55(8) APPROVAL
R	14/05/21	ISSUED FOR APPROVAL
Q	01/04/21	ISSUED FOR APPROVAL
P	16/03/21	ISSUED FOR APPROVAL
O	03/09/20	ISSUED FOR APPROVAL; ARBORIST INPUT
N	02/09/20	ISSUED FOR COORDINATION; ARBORIST INPUT
M	01/09/20	ISSUED FOR COORDINATION
L	31/08/20	ISSUED FOR COORDINATION
K	24/08/20	ISSUED FOR COORDINATION; BASEMENT AMENDED
J	24/08/20	ISSUED FOR COORDINATION
I	21/08/20	ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED
H	20/08/20	ISSUED FOR COORDINATION; REVISED PLANNING ITEMS
G	18/08/20	ISSUED FOR COORDINATION
F	29/07/20	ISSUED FOR PRE-DA MEETING
E	24/07/20	ISSUED FOR INFORMATION
D	21/07/20	ISSUED FOR INFORMATION
C	03/07/20	ISSUED FOR INFORMATION; INTERNAL LIFT ADDED TO REAR UNITS
B	28/06/20	ISSUED FOR INFORMATION
A	23/06/20	ISSUED FOR INFORMATION

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E giles@tribe.com.au  
Giles Tribe Pty Ltd ABN 50 001259 507  
Mark G Broadley (S22) Stuart D Hill (S458)

Client: **Built Property**  
Project: **54 BARDO ROAD NEWPORT 2106**

Drawing: **GROUND FLOOR PLAN**

Status: **FOR S4.55 APPROVAL**  
Scale: As indicated Job No. Drawing No. Rev.  
Sheet Size: A1  
Date: 08/04/21 **20055 DA007 S**  
Drawn: Author Reviewed: Checker






**2 DRIVEWAY DETAIL SECTION**  
1 : 20

Class 2 summary  
**7.5** Average star rating  
NATIONAL BEST INTEREST HOUSE  
Assessor: Neelima Loka  
Accreditation No. 10199  
Address: 45/55B, Newpark NSW 2106  
Website: www.nbh.com.au

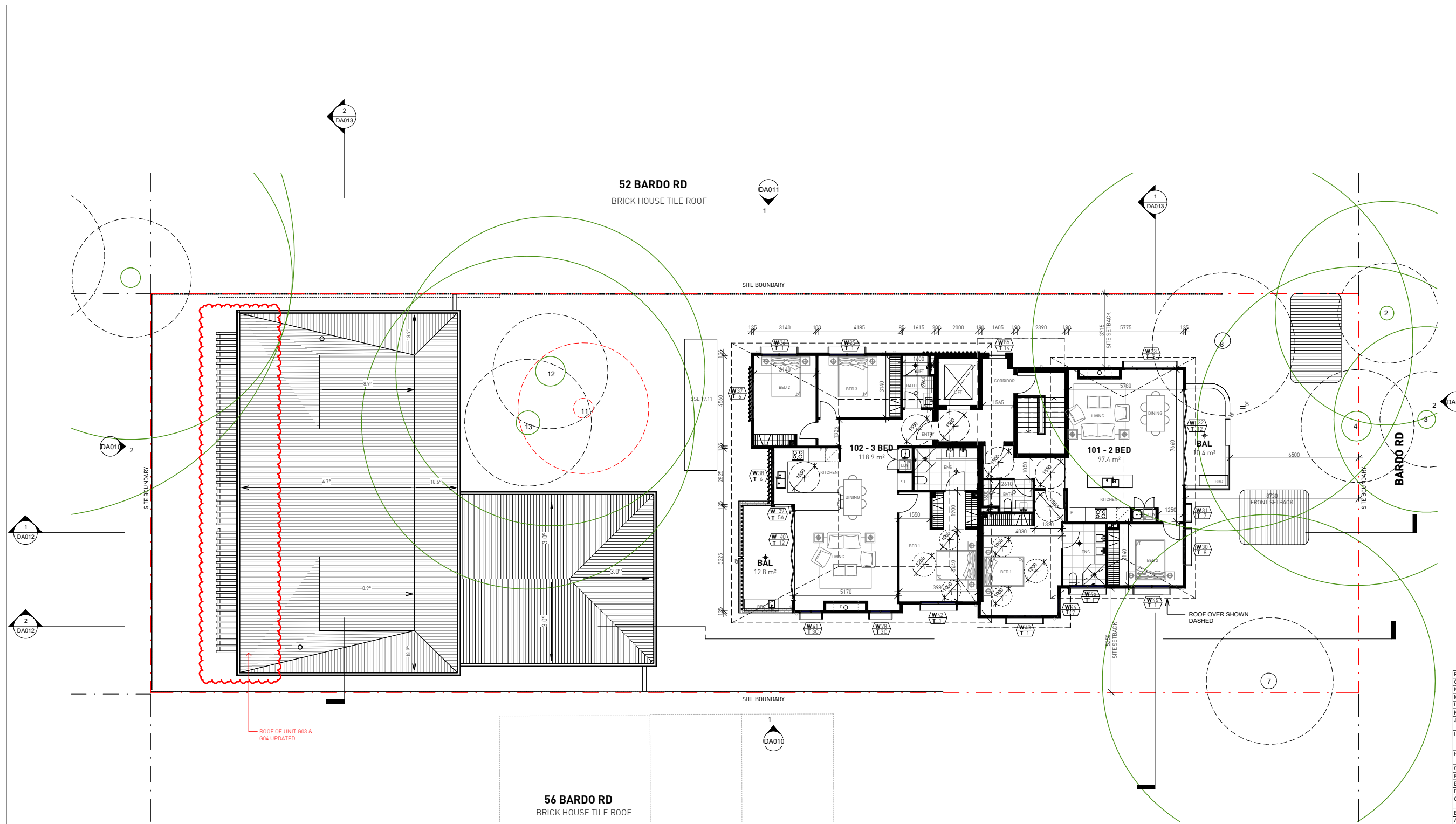
ABSAC  
Australian Building Standards Accreditation  
Neelima Loka  
10199



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-  SRZ - STRUCTURAL ROOT ZONE
-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



No	Date	Description
P	17/09/21	ISSUED FOR S4 55(B) APPROVAL
O	01/04/21	ISSUED FOR APPROVAL
N	16/03/21	ISSUED FOR APPROVAL
M	03/09/20	ISSUED FOR APPROVAL
L	01/09/20	ISSUED FOR COORDINATION
K	31/08/20	ISSUED FOR COORDINATION
J	24/08/20	ISSUED FOR COORDINATION; BASEMENT AMENDED
I	21/08/20	ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED
H	20/08/20	ISSUED FOR COORDINATION; REVISED PLANNING ITEMS
G	18/08/20	ISSUED FOR COORDINATION
F	29/07/20	ISSUED FOR PRE-DA MEETING
E	24/07/20	ISSUED FOR INFORMATION
D	21/07/20	ISSUED FOR INFORMATION
C	03/07/20	ISSUED FOR INFORMATION; INTERNAL LIFT ADDED TO REAR UNITS
B	28/06/20	ISSUED FOR INFORMATION
A	23/06/20	ISSUED FOR INFORMATION

**GILES TRIBE**  
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 ST LEONARDS NSW 2065  
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 E giles@tribe.com.au  
 Giles Tribe Pty Ltd ABN 50 001259 507  
 Nominated Architects Mark G Bredley (B22) Stuart D Hill (B49)

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Client: **Built Property**  
 Project: **54 BARDO ROAD NEWPORT 2106**

**LEVEL 1 PLAN**  
 Status: **FOR S4.55 APPROVAL**  
 Scale: 1:100 Job No. Drawing No. Rev.  
 Sheet Size: A1  
 Date: 08/04/21 **2055 DA008 P**  
 Drawn: Author Reviewed: Checker

**1 LEVEL 1 PLAN**  
 DA008 1:100






**7.5**  
 Average star rating  
 Green Star House  
 Assessor: Nirmeh Loka  
 Accreditation No.: 10436  
 Address: 54 Bardo Road for Section 4 (Hill)  
 Newport, NSW 2106  
 https://www.its.com.au/QRCodeLoading?PublicId=Qm8102&id=10436

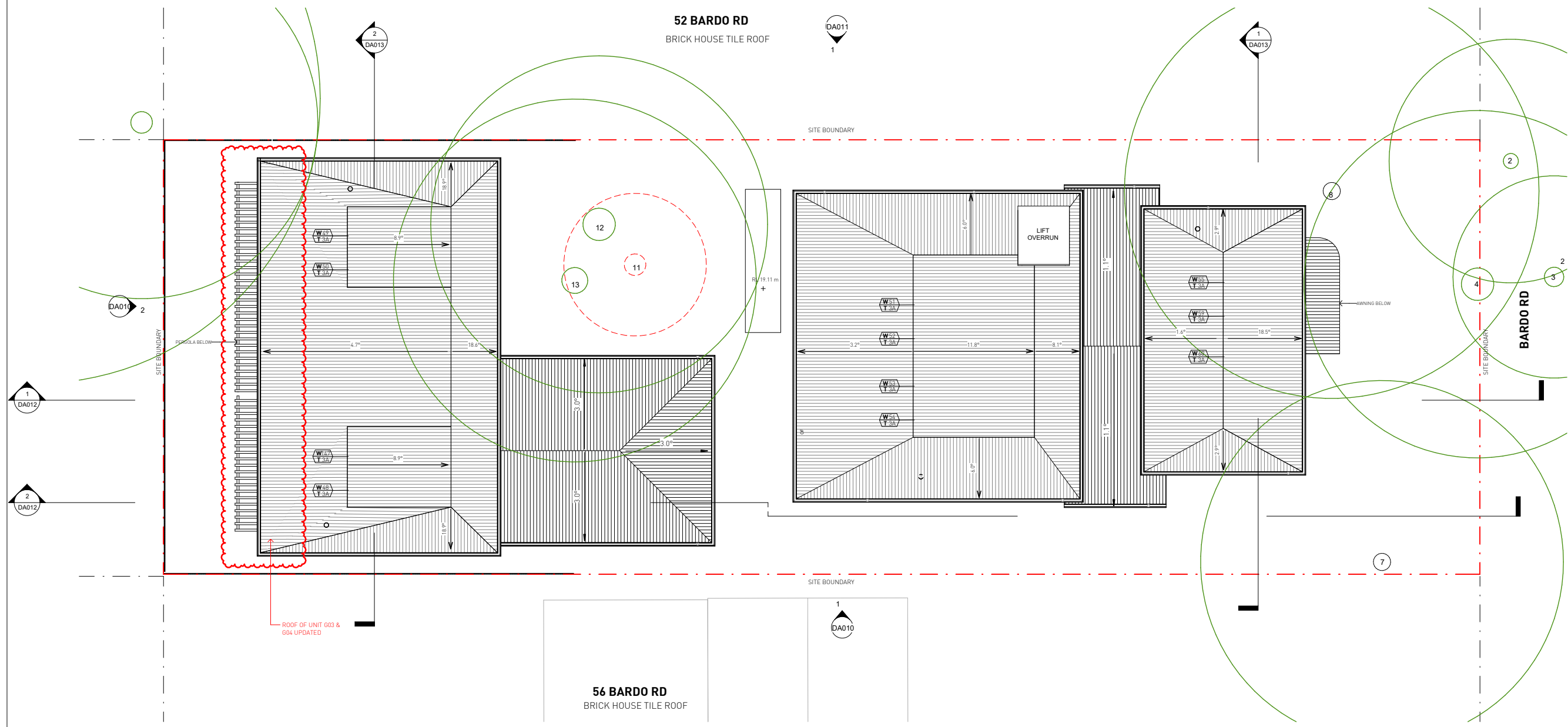
**ABSA**  
 Australian Building Sustainability Association  
 Accreditation No. 101288  
 Approved by NSW Government

C:\Users\Newport\Documents\54 Bardo Rd, Newport, NSW\2106\_CC\_lev1m\_cheng402101.rvt



-  SRZ - STRUCTURAL ROOT ZONE
-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



**1 ROOF PLAN**  
1 : 100

No.	Date	Description
J	17/09/21	ISSUED FOR S4 55(8) APPROVAL
I	16/03/21	ISSUED FOR APPROVAL
H	03/09/20	ISSUED FOR APPROVAL
G	01/09/20	ISSUED FOR COORDINATION
F	31/08/20	ISSUED FOR COORDINATION
E	21/08/20	ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED
D	20/08/20	ISSUED FOR COORDINATION; REVISED PLANNING ITEMS
C	18/08/20	ISSUED FOR COORDINATION
B	29/07/20	ISSUED FOR PRE-DA MEETING
A	24/07/20	ISSUED FOR INFORMATION

**GILES TRIBE**  
Level 1, 1 Chandos Street  
ST LEONARDS NSW 2285  
P 11 2 934 5095  
E giles@tribe.com.au  
Giles Tribe Pty Ltd ABN 50 011259 507  
Mark G Bradley (S22) Stuart D Hill (S458)

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Client:  
**Built Property**  
Project:  
**54 BARDO ROAD  
NEWPORT 2106**

Drawing:  
**ROOF PLAN**

Status:  
**FOR S4.55 APPROVAL**

Scale: 1 : 100 Job No. Drawing No. Rev.  
Sheet Size: A1 **20055 DA009 J**  
Date: 08/04/21  
Drawn: Author Reviewed: Checker

**NatHERS Building Thermal Modelling Performance Specifications**

These are the specifications upon which the certified assessment is based. If details included in these specifications vary from other drawings or written specifications, these specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents. Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower, than the U and SHGC values of the product specified above.

**Thermal Modelling Software: FirstRate5 v5.3.1a (3.21)**

**External and Internal Walls Insulation**

External Walls	Brick Veneer - R 2.5 for Unit G01 and G02 Scyon Axon Cladding - R 2.5 For Unit G03, G04, 101 and 102
Party walls	Logic Wall 162mm - None
Internal Walls	Plasterboard Stud Wall - None

**Floor, Ceiling and Roof Insulation**

Unit Floor - Suspended Slab 200mm	R 2.5 for all Units
Ceiling	R 6.0 for Unit G03, G04, 101 and 102
Ceiling	None for Unit G01 and G02
Roof - Metal with dark colour	R 1.3 roof blanket with reflective foil sarking

**Window/Skylight (\*Refer to BASIX Commitment Report and NatHERS Certificates for details)**

All Windows	For Unit G01, G02, G03, 101 and 102, Aluminium Framed Single Glazed High-Solar Gain Low-E (U = 5.4 ; SHGC = 0.49 for Type A windows or SHGC = 0.58 for Type B windows) For Unit G04, Aluminium Framed Single Glazed Low-Solar Gain Low-E (U = 5.6 ; SHGC = 0.36 for Type A windows or SHGC = 0.41 for Type B windows)
-------------	--

**Floor Coverings**

Carpet	Bedroom
Tiles	Kitchen, dining and living areas, toilet, laundry and hallway

54 Bardo Road, Newport NSW - S4.55(8)

**Window System Specification**

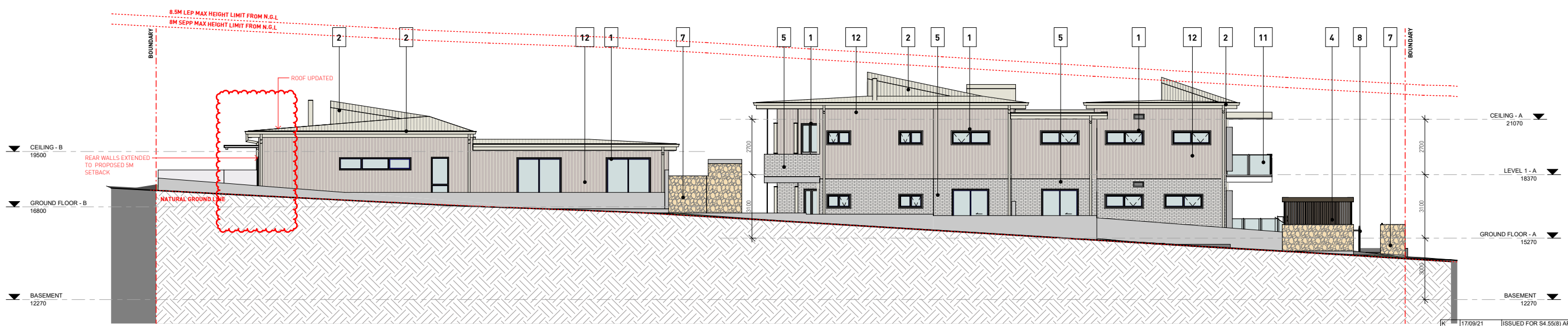
Note: Type A performance values apply to awning, bifold, casement, tilt and turn, casement style door and the like. Type B performance values apply to double-hung, fixed, louvre, sliding windows, sliding or stacker doors and the like. Window and skylight U and SHGC values are according to NFRC. Alternate products or specifications may be used if their U-value is lower, and the SHGC value is less than 5% higher or lower than the U and SHGC values of the product specified above.

Frame	Type	Glass type	Glazing type	U-value	SHGC
Aluminium	A	High-Solar	Single	5.4	0.49
			Double	4.3	0.47
	B	Low-E	Single	5.4	0.58
			Double	4.3	0.53
Aluminium	A	Low-Solar Low	Single	5.6	0.36
			Double	4.9	0.33
	B	E	Single	5.6	0.41
			Double	4.9	0.33

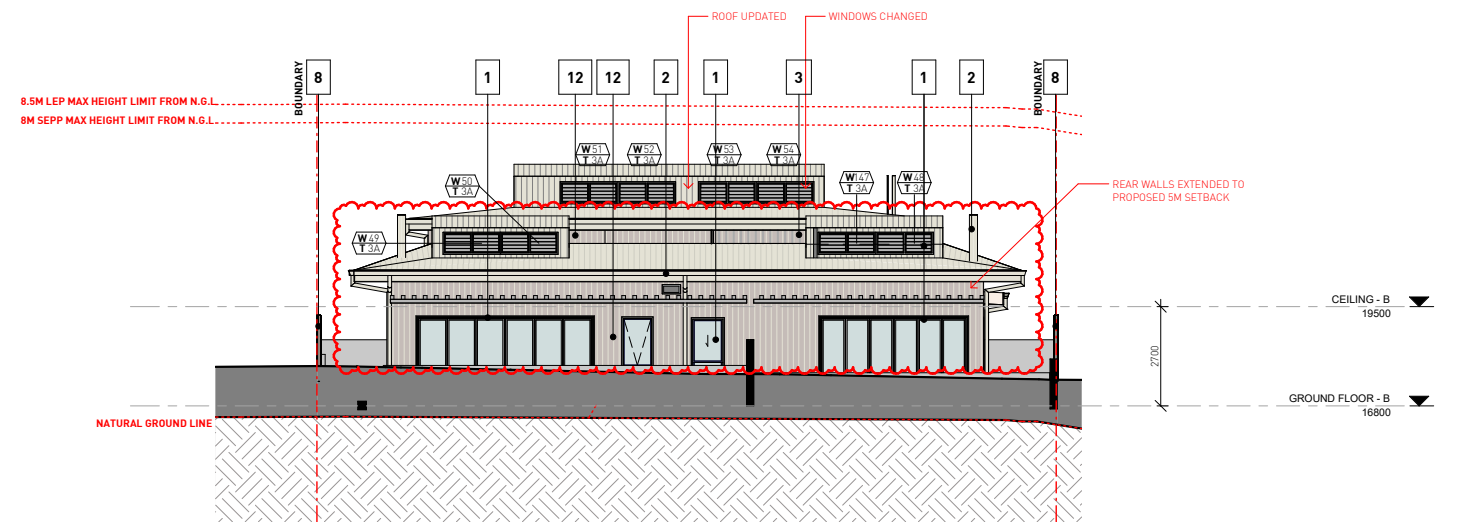


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- 1 **ALUMINIUM WINDOW & SLIDING DOOR FRAMES, LOUVRES, HOODS POWDERCOATED**  
DURALLOY ANOTEC  
- SILVER GREY MATT (27251272)  
OR SIMILAR
- 2 **METAL DECK ROOF, GUTTER, DOWNPIPE**  
SURFMIST\*  
COLORBOND SURFMIST OR SIMILAR
- 3 **ALUMINIUM PRIVACY SLATS**  
FIXED ALUMINIUM  
PRIVACY SCREENS
- 4 **INTERPON POWDERCOAT**  
COLOUR - ANODIC BRONZE  
(GY114A) OR SIMILAR
- 5 **PGH BRICKS -**  
-MORADA CENIZA KINEAR  
287X90X48MM
- 6 **ENTRANCE DOOR**  
DULUX PAINT RENDER COLOUR  
- PIPE CLAY (S16A1) OR SIMILAR
- 7 **PLANTER BOX, RETAINING WALL**  
SANDSTONE
- 8 **FENCE**  
EXTERNAL TIMBER-LOOK FENCING
- 9 **SOFFIT**  
TIMBER-LOOK PANEL- URBANLINE  
SELEKTA CLAD (DARK CEDAR) OR  
SIMILAR
- 10 **ENTRANCE PAVERS**  
BLUESTONE TILES
- 11 **FRAMELESS GLASS BALUSTRADE**
- 12 **SCYON AXON CLADDING**



1 **WEST ELEVATION**  
DA010 1:100



2 **NORTH ELEVATION**  
DA010 1:100

No.	Date	Description
K	17/09/21	ISSUED FOR S4.55(8) APPROVAL
J	16/03/21	ISSUED FOR APPROVAL
I	03/09/20	ISSUED FOR APPROVAL
H	01/09/20	ISSUED FOR COORDINATION
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A	24/07/20	ISSUED FOR INFORMATION

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E giles@tribe.com.au  
Giles Tribe Pty Ltd ABN 50 001259 507  
Mark G Broadley (S22) Stuart D Hill (S45R)

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Client: **Built Property**  
Project: **54 BARDO ROAD NEWPORT 2106 NSW**  
Drawing: **NORTH & WEST ELEVATIONS**

Status: **FOR S4.55 APPROVAL**

Scale: 1:100 Job No. Drawing No. Rev.  
Sheet Size: A1 2055 **DA010 K**  
Date: 06/19/20 Drawn: YL Reviewed: YV

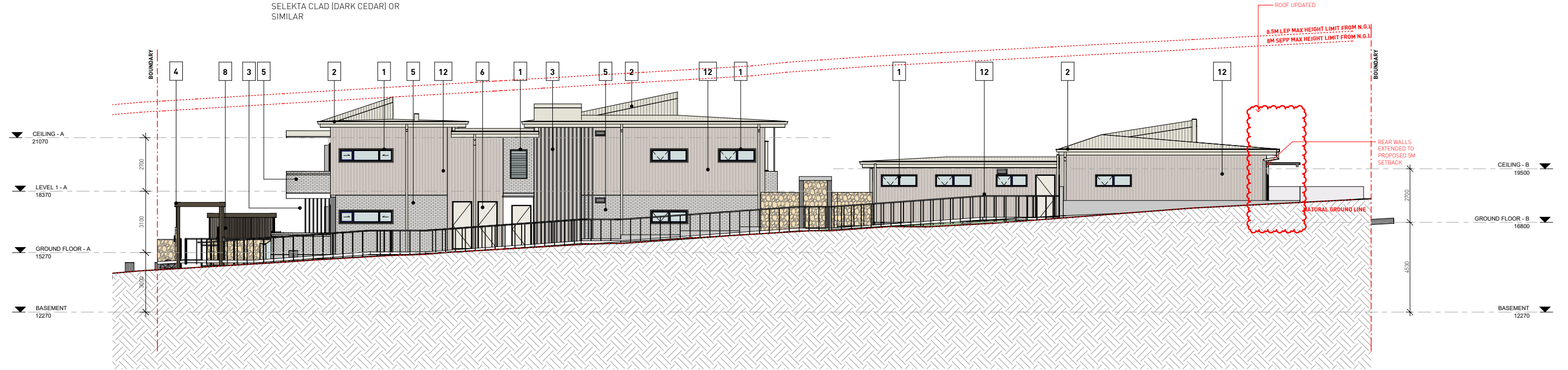




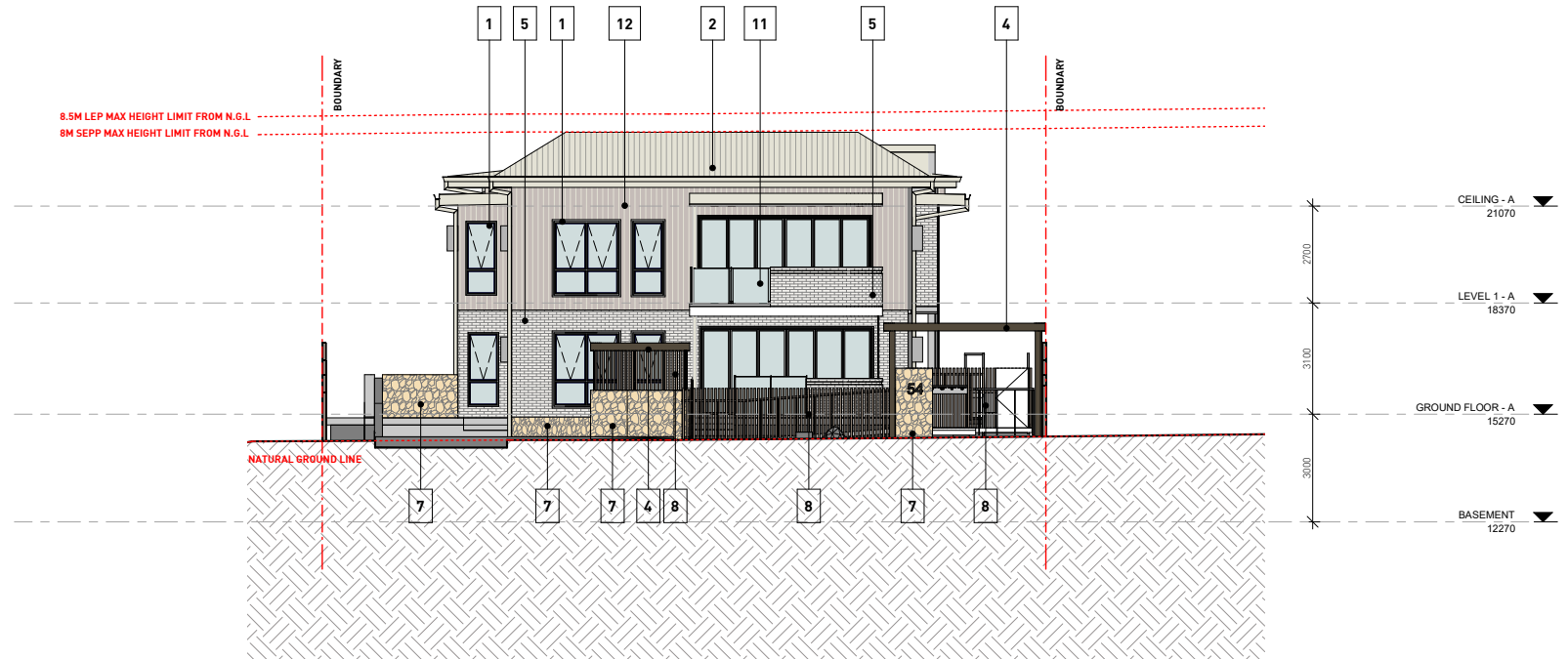
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DURALLOY ANOTEC  
- SILVER GREY MATT (27251272)  
OR SIMILAR
- 2 **METAL DECK ROOF, GUTTER, DOWNPIPE**  
COLORBOND SURFMIST OR SIMILAR
- 3 **ALUMINIUM PRIVACY SLATS**  
FIXED ALUMINIUM  
PRIVACY SCREENS
- 4 **INTERPON POWDERCOAT**  
COLOUR - ANODIC BRONZE  
(6Y114A) OR SIMILAR
- 5 **PGH BRICKS -**  
-MORADA CENIZA KINEAR  
287X90X48MM
- 6 **ENTRANCE DOOR**  
DULUX PAINT RENDER COLOUR  
- PIPE CLAY (S16A1) OR SIMILAR
- 7 **PLANTER BOX, RETAINING WALL**  
SANDSTONE



- 8 **FENCE**  
EXTERNAL TIMBER-LOOK FENCING
- 9 **SOFFIT**  
TIMBER-LOOK PANEL- URBANLINE  
SELEKTA CLAD (DARK CEDAR) OR  
SIMILAR
- 10 **ENTRANCE PAVERS**  
BLUESTONE TILES
- 11 **FRAMELESS GLASS BALUSTRADE**
- 12 **SCYON AXON CLADDING**



1 **EAST ELEVATION**  
1 : 100



2 **SOUTH ELEVATION**  
1 : 100



No.	Date	Description
J	17/09/21	ISSUED FOR S4.55(8) APPROVAL
I	16/03/21	ISSUED FOR APPROVAL
H	03/09/20	ISSUED FOR APPROVAL
G	01/09/20	ISSUED FOR COORDINATION
F	31/08/20	ISSUED FOR COORDINATION
E	21/08/20	ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED; BASEMENT AMENDED; WINDOW TAGS ADDED
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C	18/08/20	ISSUED FOR COORDINATION
B	29/07/20	ISSUED FOR PRE-DA MEETING
A	24/07/20	ISSUED FOR INFORMATION

**GILES TRIBE**  
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Giles Tribe Pty Ltd ABN 50 001259 507  
Mark G Broadley (S22) Stuart D Hill (S45F)

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Client: **Built Property**  
Project: **54 BARDO ROAD NEWPORT 2106 NSW**  
Drawing: **SOUTH & EAST ELEVATIONS**

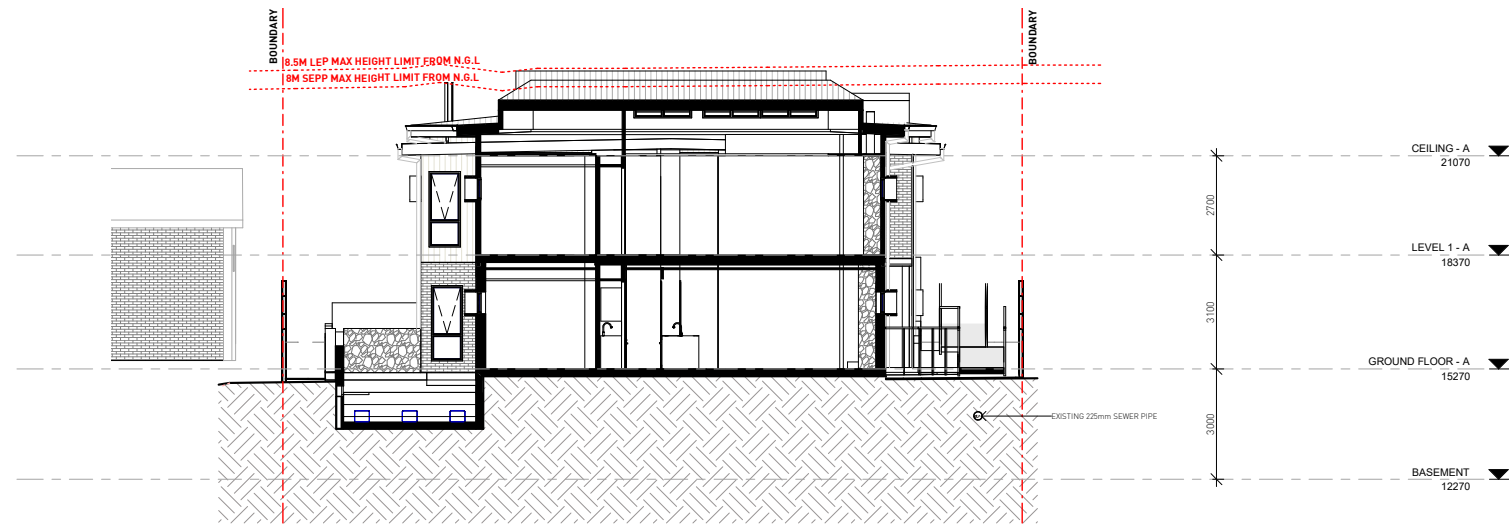
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**7.5**  
Average star rating  
NORTONWELL HOUSE  
10/10  
Class 2 summary  
QNHS631DEZ 11/10/2021  
Assessor: Neimien Loka  
Accreditation No.: 101349  
Address: 54 Bardo Road for Section 4 (SHL), Newport, NSW 2106  
https://www.nsw.gov.au/qnc-portal/reading?ProductID=QNC-NSW1026&ProjectID=1

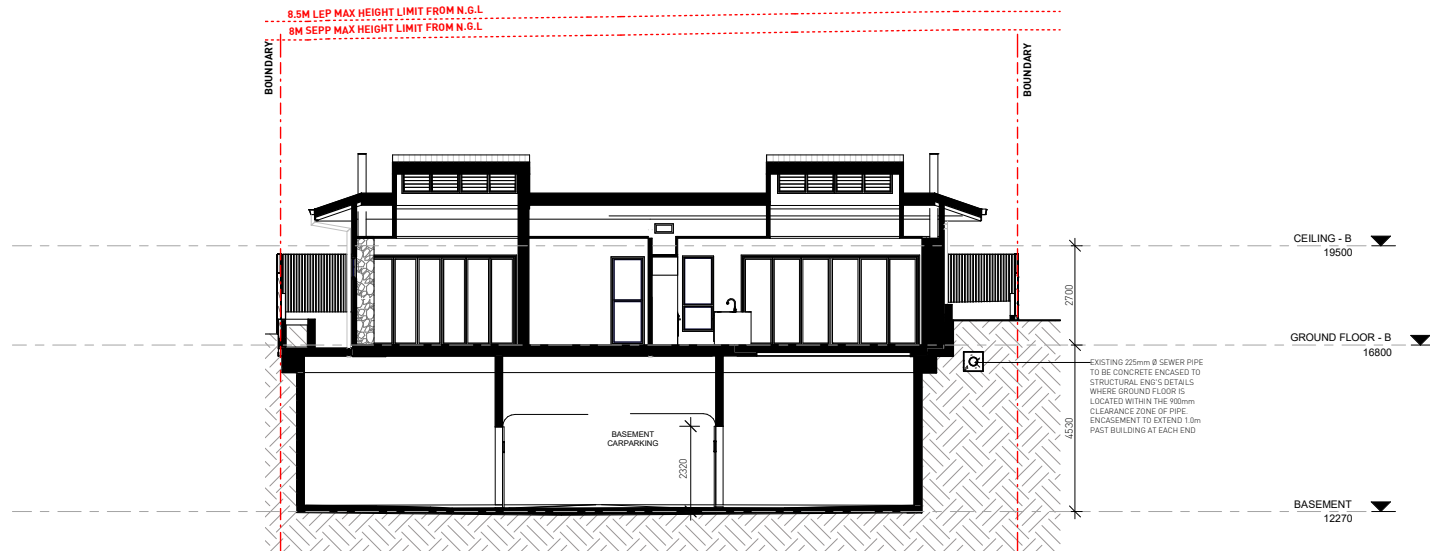


Scale: 1 : 100 Job No. Drawing No. Rev.  
Sheet Size: A1 Date: 06/19/20 **20055 DA011 J**  
Drawn: YL Reviewed: YY





1 SECTION CC  
1:100



2 SECTION DD  
1:100

No	Date	Description
I	17/09/21	ISSUED FOR S4.55(8) APPROVAL
H	16/03/21	ISSUED FOR APPROVAL
G	03/09/20	ISSUED FOR APPROVAL
F	01/09/20	ISSUED FOR COORDINATION
E	31/08/20	ISSUED FOR COORDINATION
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C	18/08/20	ISSUED FOR COORDINATION
B	29/07/20	ISSUED FOR PRE-DA MEETING
A	24/07/20	ISSUED FOR INFORMATION

Amendments

**GILES TRIBE**  
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E gtr@tribe.com.au  
ABN 50 001259 507

Nominated Architects: Mark G Broadley (S22) Stuart D Hill (S45F)

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Client: **Built Property**  
Project: **54 BARDO ROAD  
NEWPORT 2106  
NSW**

Drawing: **SECTION CC & DD**  
Status: **FOR S4.55 APPROVAL**

Scale: 1:100 Job No. Drawing No. Rev.  
Sheet Size: A1 **20055 DA0131**  
Date: 06/19/20 Drawn: YL Reversed: YY

**7.5**  
Average star rating  
NATIONWIDE HOUSE




Class 2 summary  
QNHS31DEZ 11/10/2021

Assessor: Nirmeen Loka  
Accreditation No. 107491  
Address: 54 Bardo Road for Section A (S4.55), Newport, NSW, 2106  
https://www.rsl.com.au/GIC-Code-Leading-Property-Qnr

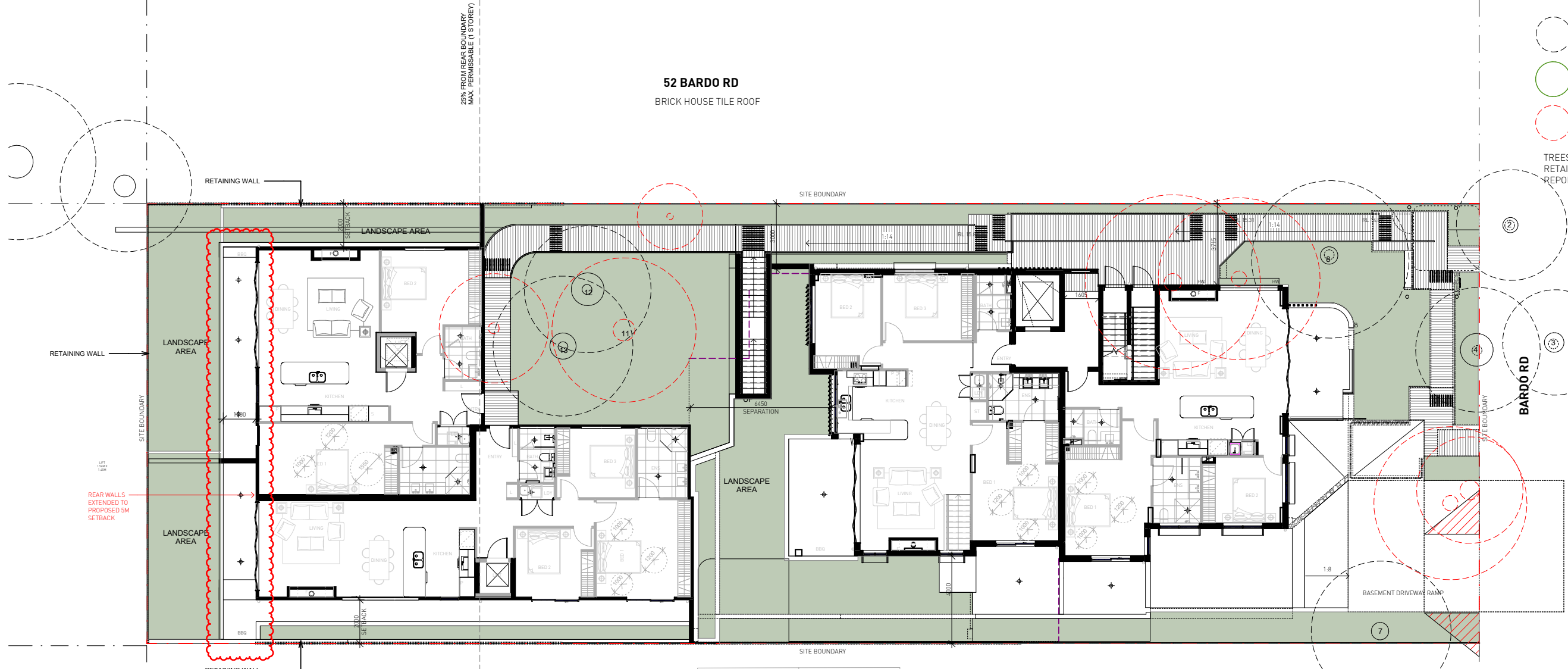


**LANDSCAPING AREA**  
(382.74 m<sup>2</sup> = 31.21%)

**REQUIREMENT: 30% OF SITE AREA**  
(1226.32m<sup>2</sup> X 0.3 = 367.90 m<sup>2</sup>)

-  SRZ - STRUCTURAL ROOT ZONE
-  TPZ - TREE PROTECTION ZONE
-  TREES FOR REMOVAL

TREES 2, 3, 4, 7, 8, 12, 13 TO BE RETAINED. REFER TO ARBORIST'S REPORT.



No.	Date	Description
L	17/09/21	ISSUED FOR S4 55(8) APPROVAL
K	16/03/21	ISSUED FOR APPROVAL
J	03/09/20	ISSUED FOR APPROVAL
I	01/09/20	ISSUED FOR COORDINATION
H	31/08/20	ISSUED FOR COORDINATION
G	24/08/20	ISSUED FOR COORDINATION; BASEMENT AMENDED
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Nominated Architects

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Client: **Built Property**  
Project: **54 BARDO ROAD NEWPORT 2106 NSW**  
Drawing: **LANDSCAPE CALCULATION PLAN**

Status: **FOR S4.55 APPROVAL**

Scale: 1:100 Job No. Drawing No. Rev.  
Sheet Size: A1 **20055 DA014 L**  
Date: 06/19/20 Drawn: Author Reviewed: Checker

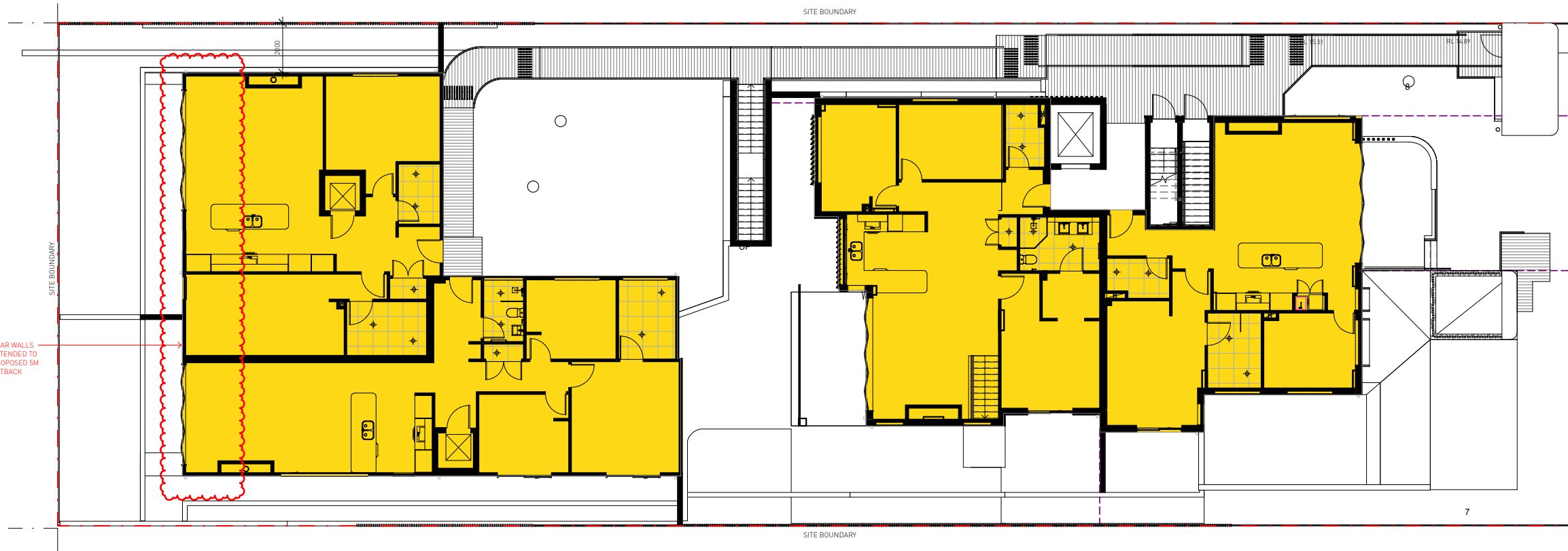


Class 2 summary  
**7.5** Average star rating  
ONHS031DEZ 11/10/2021  
Assessor's Accreditation No. Nirmen Loka  
Address 54 Bardo Road, Newport, NSW, 2106  
https://www.nsw.gov.au/QRCode/Listing?ProductID=001



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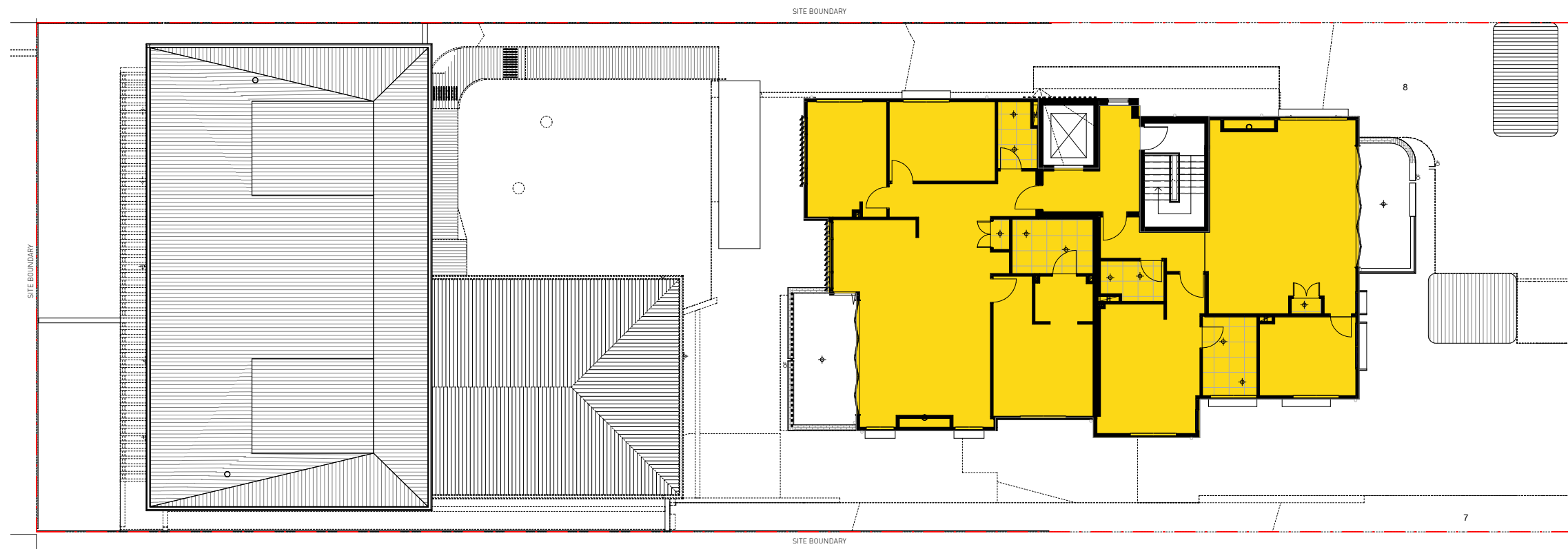


1 GFA - GROUND FLOOR  
DA016 1:100

GROUND FLOOR GFA	472.95m <sup>2</sup>
LEVEL 1 GFA	239.29m <sup>2</sup>
TOTAL GFA	712.24m <sup>2</sup>
SITE AREA	1226.32m <sup>2</sup>
FSR	0.580:1

GFA CALCULATION UPDATED

BARDO RD



2 GFA - LEVEL 1  
DA016 1:100

BARDO RD

No.	Date	Description
J	17/09/21	ISSUED FOR S4.55(8) APPROVAL
I	16/03/21	ISSUED FOR APPROVAL
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A	24/07/20	ISSUED FOR INFORMATION

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Client: **Built Property**  
Project: **54 BARDO ROAD  
NEWPORT 2106  
NSW**  
Drawing: **GFA CALCULATIONS**

7.5 Average star rating  
NATIONWIDE HOUSE

Class 2 summary  
QH5G31DEZ 11/10/2021  
Assessor: Nermin Loka  
Accreditation No.: 102030  
Address: 54 Bardo Road for Section 4.4.1.1.1, Newport, NSW 2106  
https://www.nsw.gov.au/qrc-cod-reading/PhotoCode-Qnr

FOR S4.55 APPROVAL

Scale: 1:100 Job No. Drawing No. Rev.  
Sheet Size: A1  
Date: 06/19/20 **20055 DA016 J**  
Drawn: Author Reviewed: Checker



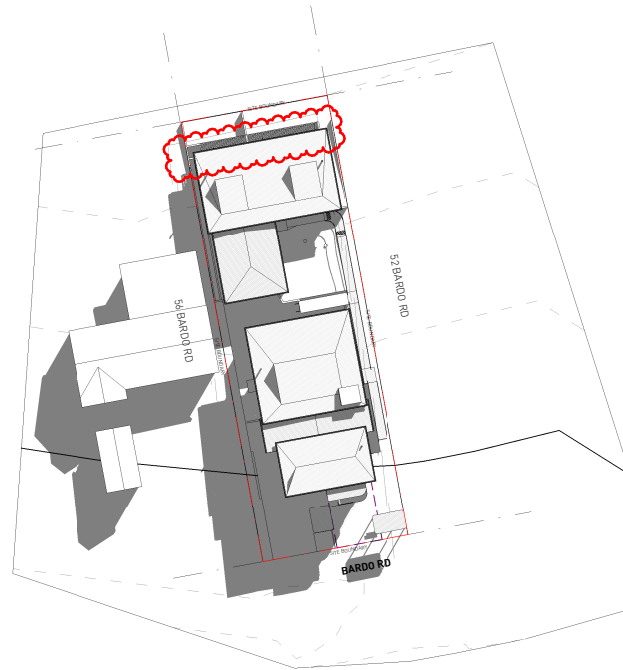
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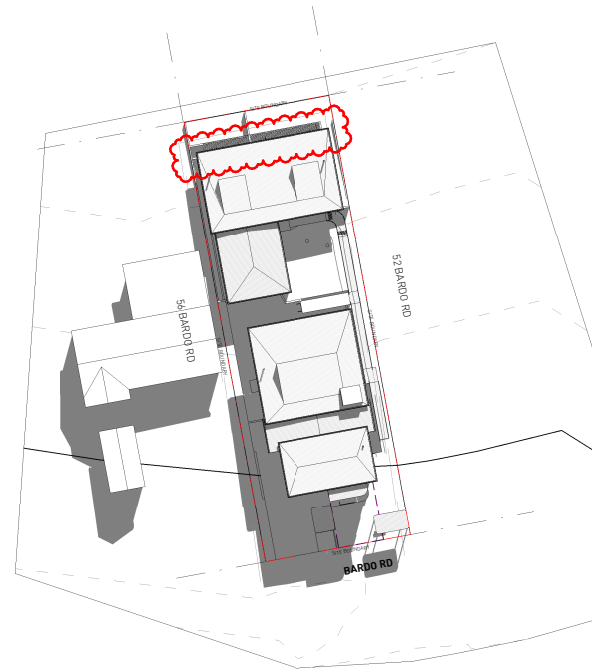
SHADOW DIAGRAMS REVISED



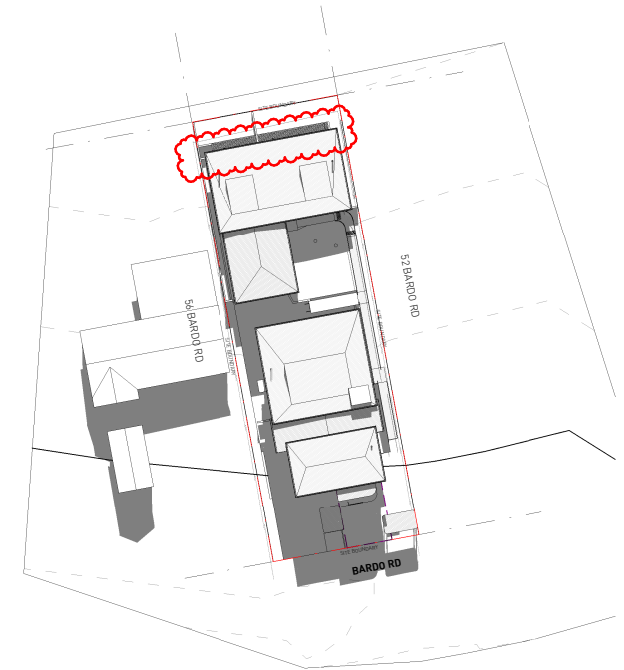
1 SHADOW - JUNE 21 9AM  
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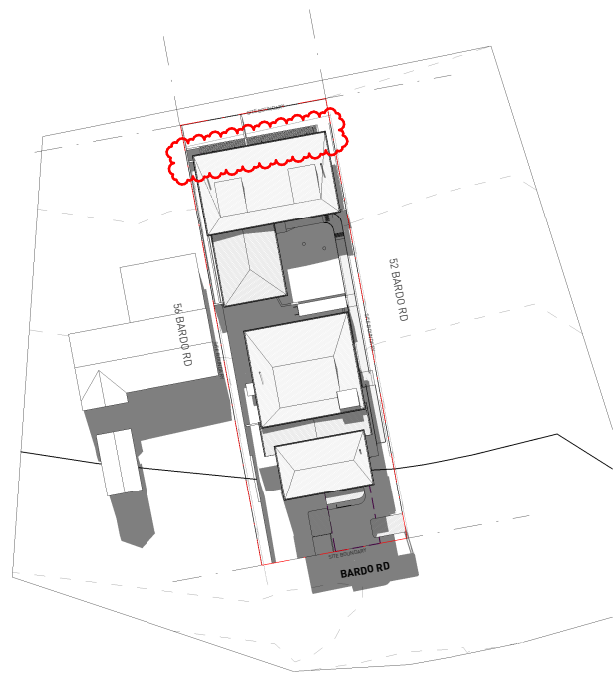
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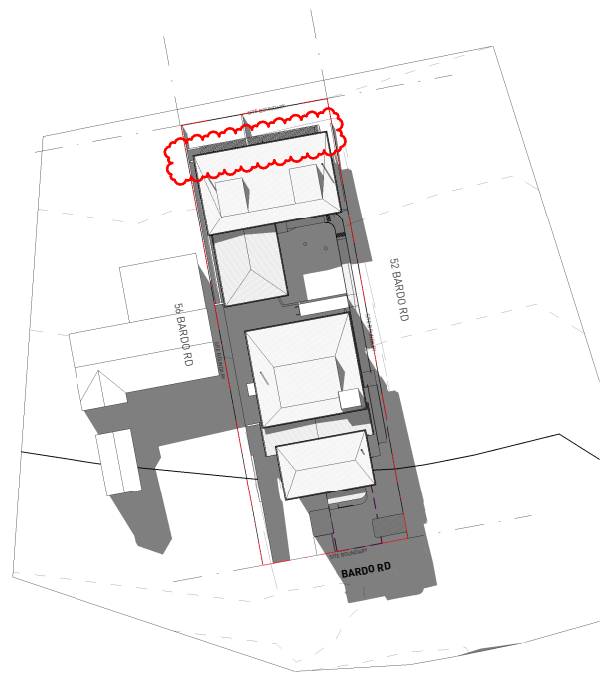
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DA017 1:500



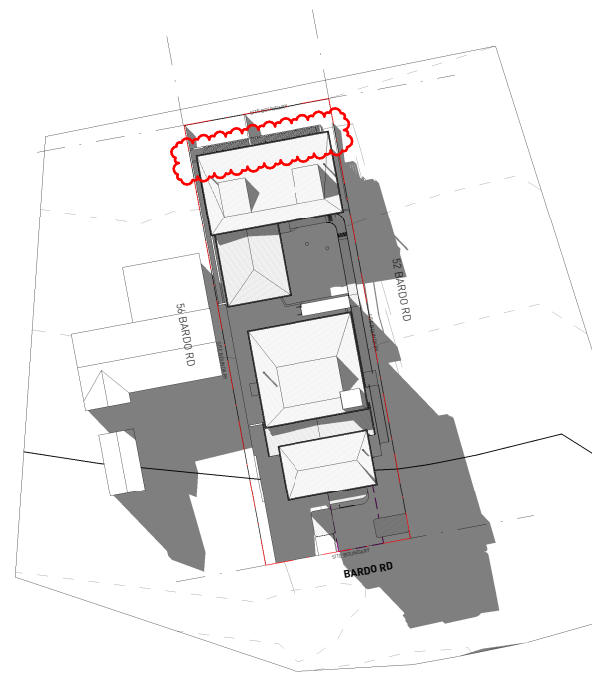
4 SHADOW - JUNE 21 12PM  
DA017 1:500



5 SHADOW - JUNE 21 1PM  
DA017 1:500



6 SHADOW - JUNE 21 2PM  
DA017 1:500



7 SHADOW - JUNE 21 3PM  
DA017 1:500

0 2m 5m 10m 20m 50m  
SCALE 1:500

No	Date	Description
H	17/09/21	ISSUED FOR S4.55(8) APPROVAL
G	11/03/21	ISSUED FOR APPROVAL
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Amendments

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Client:

**Built Property**

Project:

**54 BARDO ROAD  
NEWPORT 2106  
NSW**

Drawing:

**SHADOW DIAGRAMS**

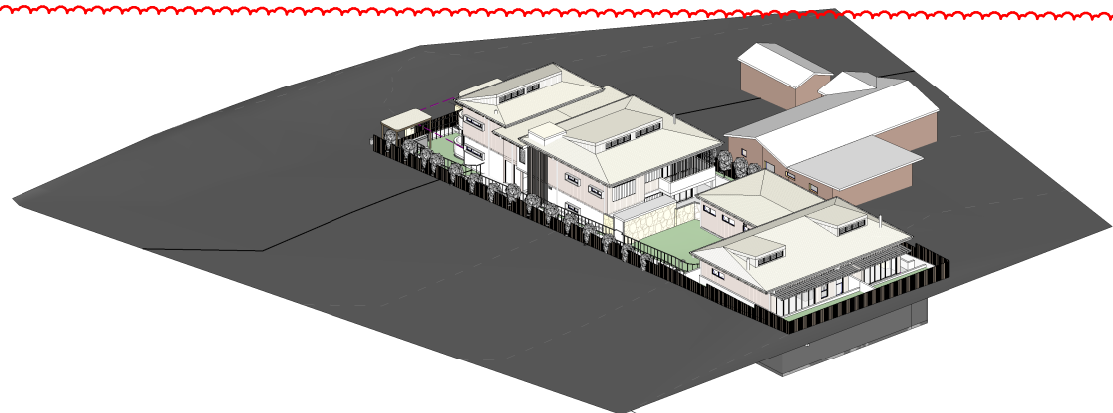
Status:  
**FOR S4.55 APPROVAL**

Scale: 1:500 Job No. Drawing No. Rev.  
Sheet Size: A1  
Date: 06/19/20 **20055 DA017 H**  
Drawn: YL Reviewed: YY





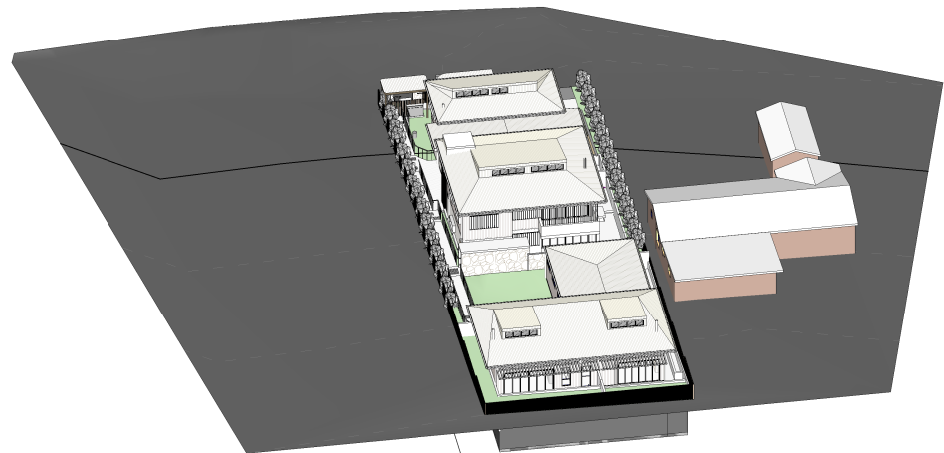
1 SOLAR - JUNE 21 9AM



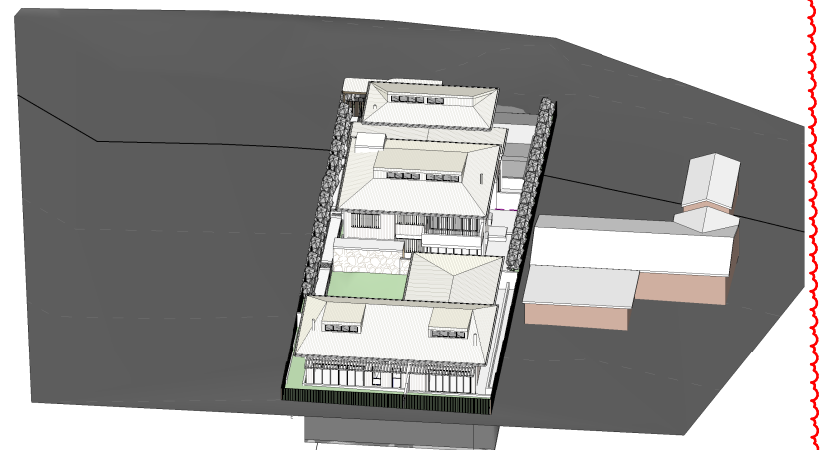
2 SOLAR - JUNE 21 10AM



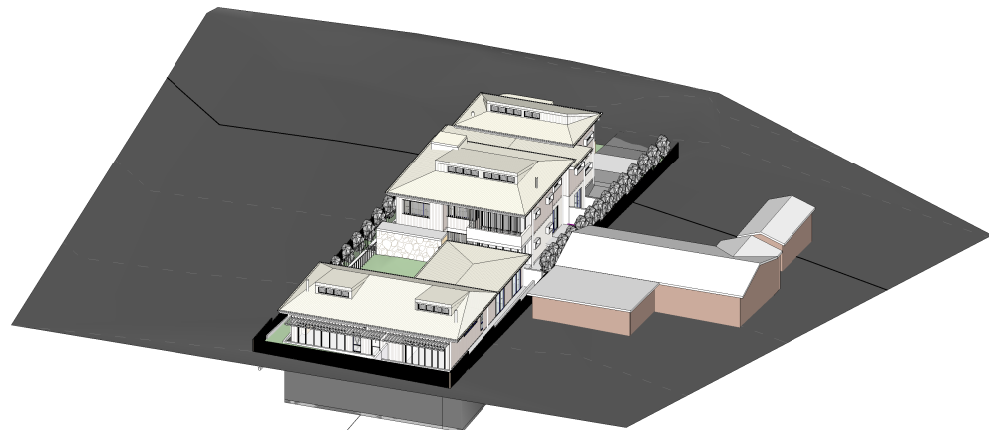
3 SOLAR - JUNE 21 11AM



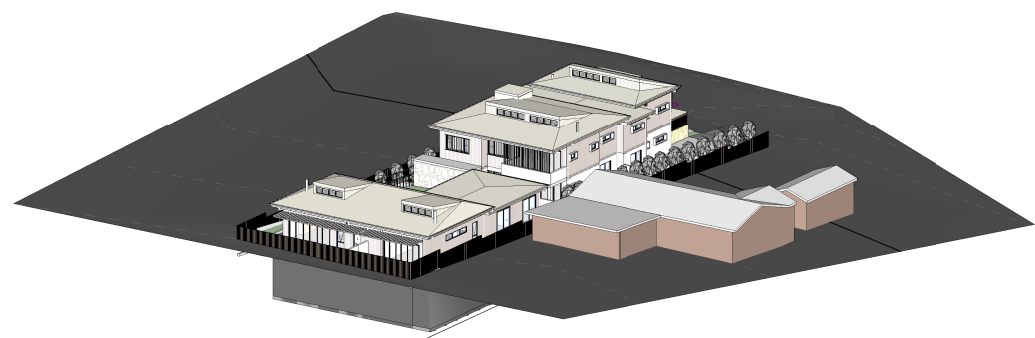
4 SOLAR - JUNE 21 12PM



5 SOLAR - JUNE 21 1PM



6 SOLAR - JUNE 21 2PM



7 SOLAR - JUNE 21 3PM

SOLAR DIAGRAM REVISED

No.	Date	Description
HI	17/09/21	ISSUED FOR S4.55(8) APPROVAL
G	10/03/21	ISSUED FOR APPROVAL
F	03/09/20	ISSUED FOR APPROVAL
E	01/09/20	ISSUED FOR COORDINATION
D	20/08/20	ISSUED FOR COORDINATION; REVISED PLANNING ITEMS
C	18/08/20	ISSUED FOR COORDINATION
B	29/07/20	ISSUED FOR PRE-DA MEETING
A	24/07/20	ISSUED FOR INFORMATION

Amendments

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Giles Tribe Pty Ltd ABN 50 001259 507  
Mark G Broadley (B22) Stuart D Hill (B491)

Verify all dimensions on site prior to commencement of work.  
Refer all discrepancies to the Architect for determination.  
Use figured dimensions in preference to scaling.  
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Client: **Built Property**

Project: **54 BARDO ROAD NEWPORT 2106 NSW**

Drawing: **SOLAR DIAGRAMS**

Status: **FOR S4.55 APPROVAL**

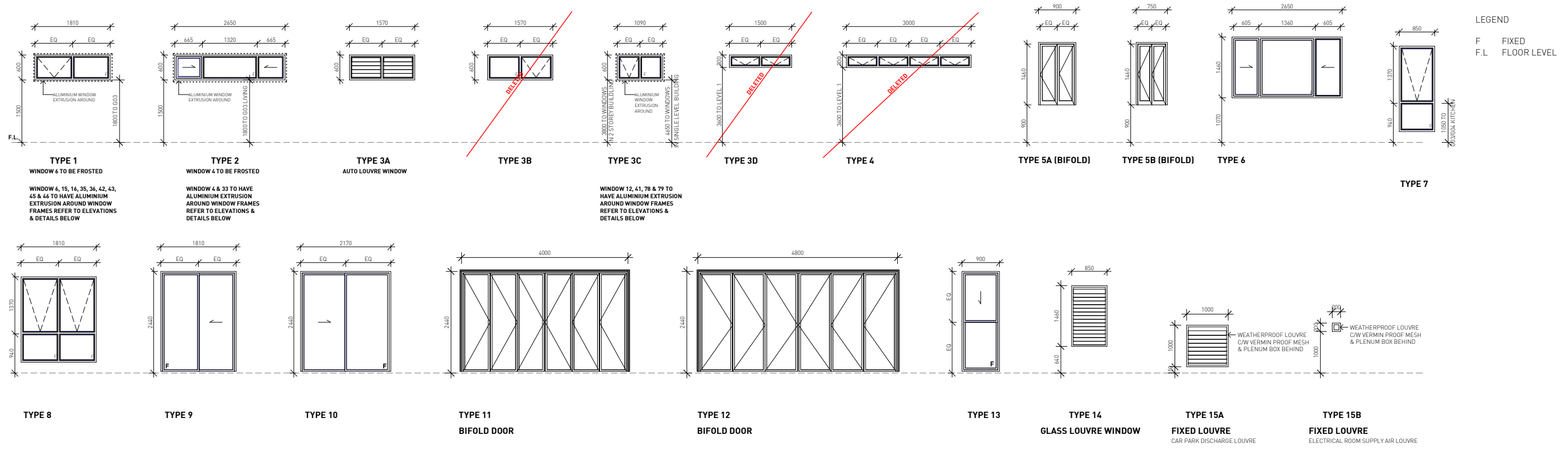
**7.5** Average star rating  
NATIONWIDE HOUSE

Class 2 summary  
QHSG31DEZ 11/10/2021

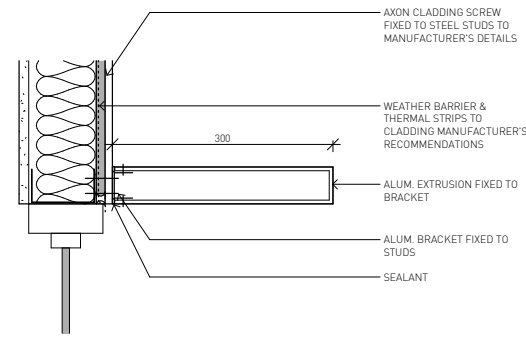
Assessor: Norman Loka  
Accreditation No: 101386  
Address: 54 Bardo Road for Building 4/58B, Newport NSW 2106  
http://www.ric.com.au/ric/ric.html?building=QHSG31DEZ



Scale:	Job No.:	Drawing No.:	Rev.:
Sheet Size: A1		<b>20055 DA018 H</b>	
Date: 06/19/20		Drawn: YL	Reviewed: YY



## WINDOW SCHEDULE



## 1 WINDOW EXTRUSION DETAILS

DA019 1 : 5

Window System Specification					
Note: Type A performance values apply to awning, bifold, casement, tilt and turn, casement style door and the like. Type B performance values apply to double hung, fixed, louvre, sliding windows, sliding or stacker doors and the like. Window and skylight U and SHGC values are according to NHERS. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 5% higher or lower than the U and SHGC values of the product specified above.					
Frame	Type	Glass type	Glazing type	U-value	SHGC
Aluminium	A	High-Solar Low-E	Single	5.4	0.49
			Double	4.3	0.47
			Single	5.4	0.58
			Double	4.3	0.53
	B	Low-Solar Low E	Single	5.6	0.36
			Double	4.9	0.33
			Single	5.6	0.41
			Double	4.9	0.33

NathERS Building Thermal Modelling Performance Specifications	
These are the specifications upon which the certified assessment is based. If details included in these specifications vary from other drawings or written specifications, these specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents. Window and skylight U and SHGC values, if specified, are according to NHERS. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 5% higher or lower than the U and SHGC values of the product specified above.	
Thermal Modelling Software: FirstRate v5.3.1a (3.21)	
<b>External and Internal Walls Insulation</b>	
External Walls	Brick Veneer - R 2.5 for Unit G01 and G02 Scyon Axon Cladding - R 2.5 For Unit G03, G04, 101 and 102
Party walls	Logic Wall 162mm - None
Internal Walls	Plasterboard Stud Wall - None
<b>Floor, Ceiling and Roof Insulation</b>	
Unit Floor - Suspended Slab 200mm	R 2.5 for all Units
Ceiling	R 6.0 for Unit G03, G04, 101 and 102
Ceiling	None for Unit G01 and G02
Roof - Metal with dark colour	R 1.3 roof blanket with reflective foil sarking
<b>Window/Skylight (*Refer to BASIX Commitment Report and NatHERS Certificates for details)</b>	
All Windows	For Unit G01, G02, G03, 101 and 102, Aluminium Framed Single Glazed High-Solar Gain Low-E (U = 5.4 ; SHGC = 0.49 for Type A windows or SHGC = 0.58 for Type B windows) For Unit G04, Aluminium Framed Single Glazed Low-Solar Gain Low-E (U = 5.6 ; SHGC = 0.36 for Type A windows or SHGC = 0.41 for Type B windows)
<b>Floor Coverings</b>	
Carpet	Bedroom
Tiles	Kitchen, dining and living areas, toilet, laundry and hallway
54 Bardo Road, Newport NSW - S4.55(8)	



No	Date	Description
F	17/09/21	ISSUED FOR S4.55(8) APPROVAL
E	11/03/21	ISSUED FOR APPROVAL
D	03/09/20	ISSUED FOR APPROVAL
C	01/09/20	ISSUED FOR COORDINATION
B	24/08/20	ISSUED FOR COORDINATION
A	21/08/20	ISSUED FOR COORDINATION; ACCESS COMMENTS INCORPORATED, BASEMENT AMENDED, WINDOW TAGS ADDED

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Client: **Built Property**  
Project: **54 BARDO ROAD NEWPORT 2106 NSW**  
Drawing: **WINDOW SCHEDULE**

Status: **FOR S4.55 APPROVAL**

Scale: As indicated Job No. Drawing No. Rev.  
Sheet Size: A1  
Date: 08/20/20 **20055 DA019 F**  
Drawn: YL Reviewed: YY