



# ACTION PLANS

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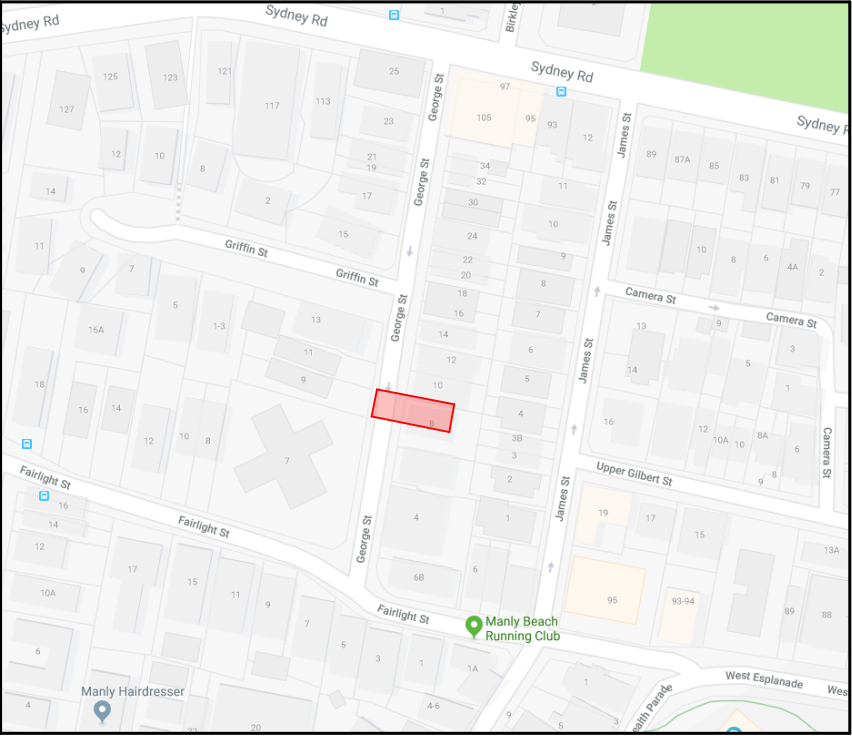
## DEVELOPMENT APPLICATION

These plans are for Development Approval only.

ITEM DETAILS  
UNIT 1 SP 11802  
SITE AREA : 324.7m<sup>2</sup>  
FRONTAGE : 10.67m

LEP	CONTROL	EXISTING	PROPOSED	COMPLIANCE
LAND ZONING	R1			
MIN. LOT SIZE	250m <sup>2</sup>	324.7m <sup>2</sup>	unchanged	YES
FLOOR SPACE RATIO:	0.75:1 (243.52m <sup>2</sup> )	0.91:1 (295.31m <sup>2</sup> )	0.97:1(318.13m <sup>2</sup> )	NO
HEIGHT OF BUILDING:	11m	10.45m	unchanged	YES
ACID SULFATE	CLASS 5			
DCP				
TOTAL OPEN SPACE (TOS) :	50% (162.35m <sup>2</sup> )	19%(61.68m <sup>2</sup> )	22.6%(73.41m <sup>2</sup> )	NO
TOS AS LANDSCAPE AREA:	30% OF TOS (48.71m <sup>2</sup> )	34.66m <sup>2</sup>	unchanged	NO
FRONT SETBACK:	Average - 4.485	0.1m	unchanged	NO
REAR SETBACK:	8.0m	5.1m	unchanged	NO
SIDE SETBACK:	1/3 of wall height	N:0.9m	unchanged	NO
		S:0.87m	unchanged	NO
WALL HEIGHT:	9m	5.94m	9.56m	NO

# 1/12 GEORGE STREET MANLY NSW 2095



### NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS: METHOD OF EXCAVATIONAND FILL - PART 3.1.1 OF NCC
- SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SEPARATION - PART 3.7.1 OF NCC
- SMOKE ALARMS - PART 3.7.2 OF NCC
- HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
- MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
- LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
- VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
- BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
- ALL CONSTRUCTION TO COMPLY TO AS3959- 1991

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	18/09/2019
DA01	SITE ANALYSIS	18/09/2019
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT PLAN	18/09/2019
DA03	EXISTING LOWER GROUND FLOOR PLAN	18/09/2019
DA04	EXISTING GROUND FLOOR PLAN	18/09/2019
DA05	EXISTING FIRST FLOOR PLAN	18/09/2019
DA06	PROPOSED LOWER GROUND FLOOR PLAN	18/09/2019
DA07	PROPOSED GROUND FLOOR PLAN	18/09/2019
DA08	PROPOSED FIRST FLOOR PLAN	18/09/2019
DA09	NORTH ELEVATION	18/09/2019
DA10	EAST ELEVATION	18/09/2019
DA11	SOUTH ELEVATION	18/09/2019
DA12	WEST ELEVATION	18/09/2019
DA13	LONG SECTION	18/09/2019
DA14	CROSS SECTION	18/09/2019
DA15	AREA CALCULATIONS	18/09/2019
DA16	SAMPLE BOARD	18/09/2019
DA17	WINTER SOLSTICE 9 AM	18/09/2019
DA18	WINTER SOLSTICE 12 PM	18/09/2019
DA19	WINTER SOLSTICE 3 PM	18/09/2019
DA20	BASIX COMMITMENTS	18/09/2019



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B	29/07/2019	REVISED DA SET	DLR	

## LEGEND

EXISTING	EXISTING METAL ROOF
PROPOSED	EXISTING TILED ROOF
NEW FLOOR	PROPOSED METAL ROOF
DEMOLISHED	PROPOSED TILE ROOF

## CLIENT

MELITA POWYS &  
GARY O'SULLIVAN

## PROJECT ADDRESS

1/12 GEORGE STREET  
MANLY NSW 2095

## DRAWING NO.

DA01

## DATE

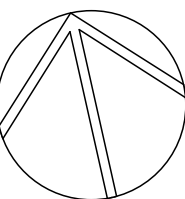
18 September 2019

## DRAWING NAME

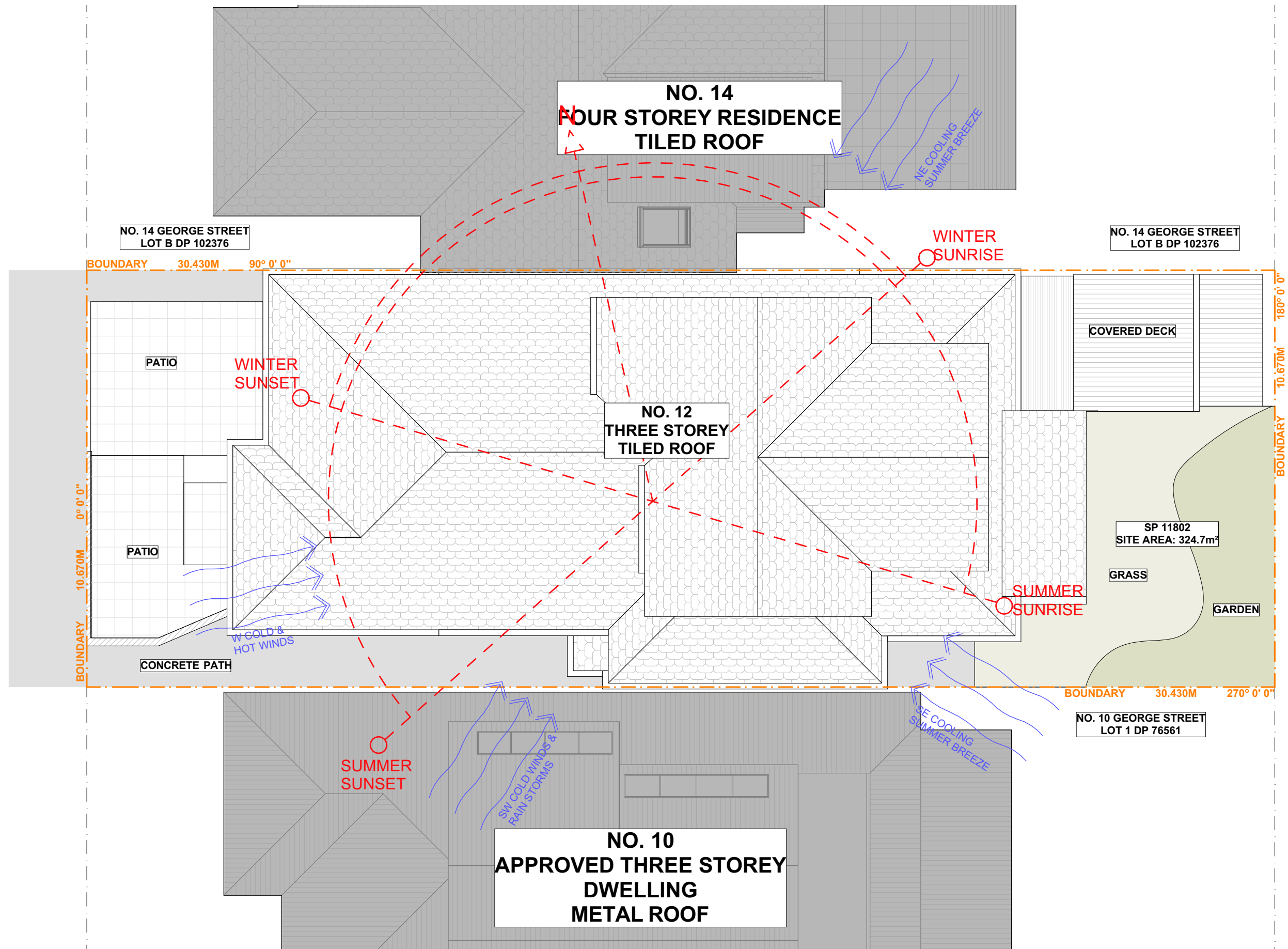
SITE ANALYSIS

## SCALE

1:100 @A3



GEORGE STREET





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B	29/07/2019	REVISED DA SET	DLR

## NOTES

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## LEGEND

EXISTING	EXISTING METAL ROOF
PROPOSED	EXISTING TILED ROOF
NEW FLOOR	PROPOSED METAL ROOF
DEMOLISHED	PROPOSED TILE ROOF

## CLIENT

MELITA POWYS &  
GARY O'SULLIVAN

## PROJECT ADDRESS

1/12 GEORGE STREET  
MANLY NSW 2095

## DRAWING NO.

DA02

## DATE

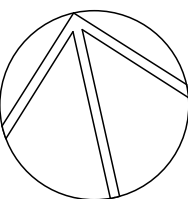
18 September 2019

## DRAWING NAME

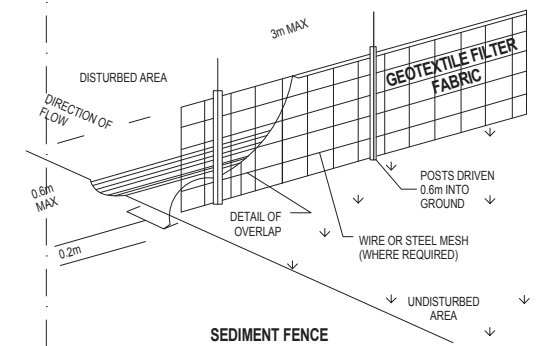
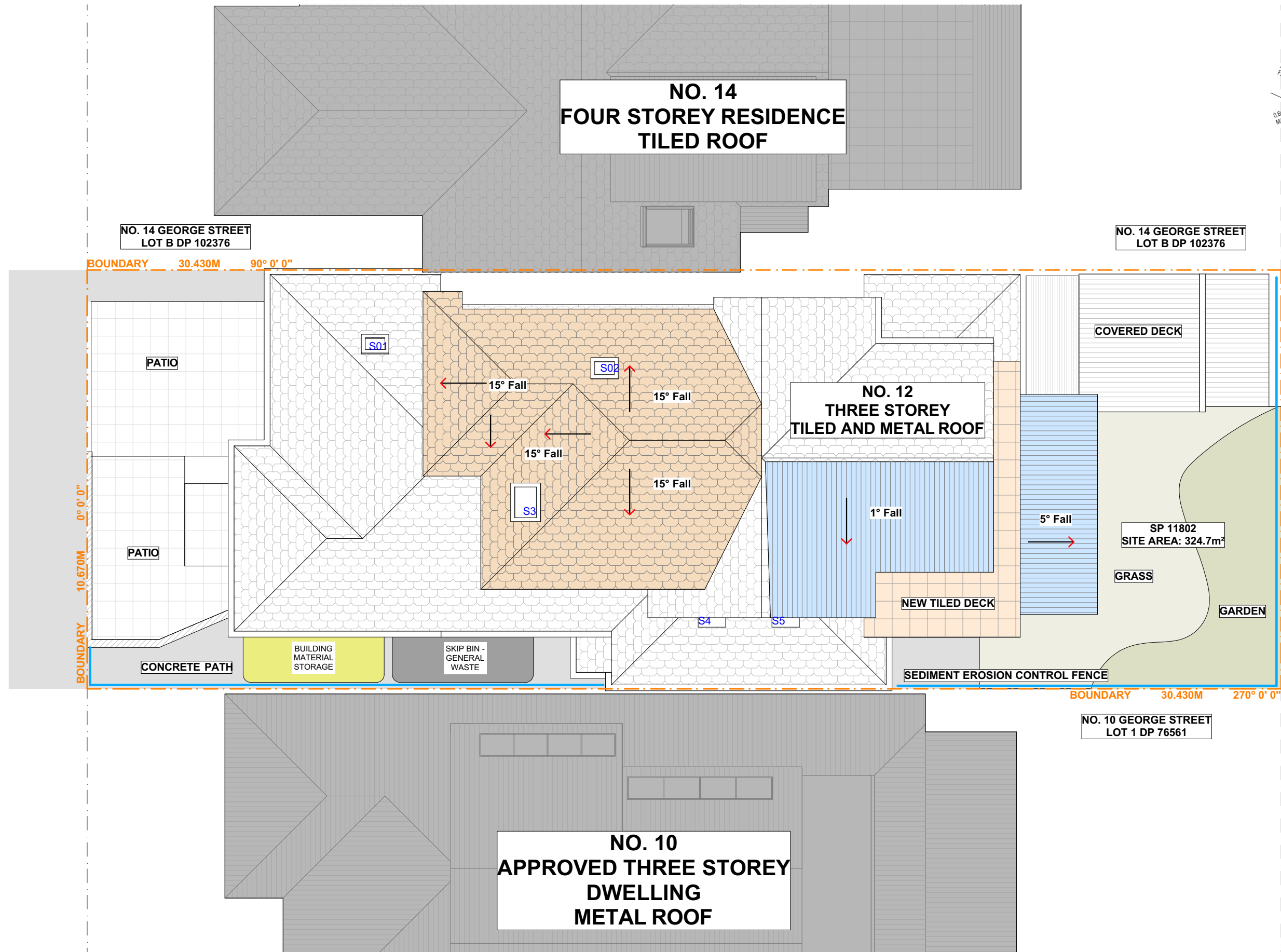
SITE / ROOF / SEDIMENT  
EROSION / WASTE  
MANAGEMENT PLAN

## SCALE

1:100 @A3



GEORGE STREET



## DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

## SEDIMENT NOTE :

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS. REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

## STOCKPILES :

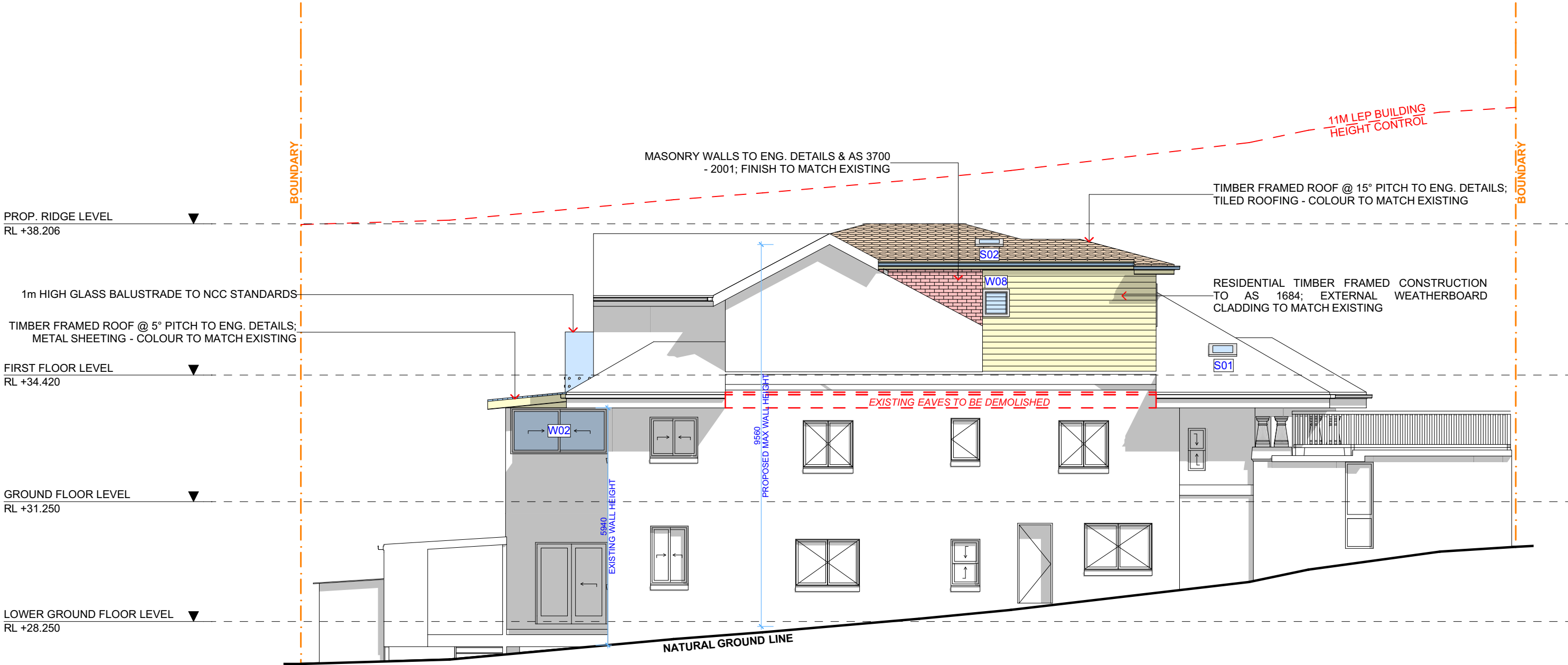
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.  
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.  
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

## GUTTER PROTECTION :

PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

**NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING**






1

NORTH ELEVATION

1:100



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B	29/07/2019	REVISED DA SET	DLR	

LEGEND

EXISTING

DEMOLISHED

TIMBER

METAL

GLAZING

METAL ROOF

TILE ROOF

WEATHERBOARD

BRICKWORK

RENDER

CLIENT

MELITA POWYS &  
GARY O'SULLIVAN

PROJECT ADDRESS

1/12 GEORGE STREET  
MANLY NSW 2095

DRAWING NO.

DA09

DATE

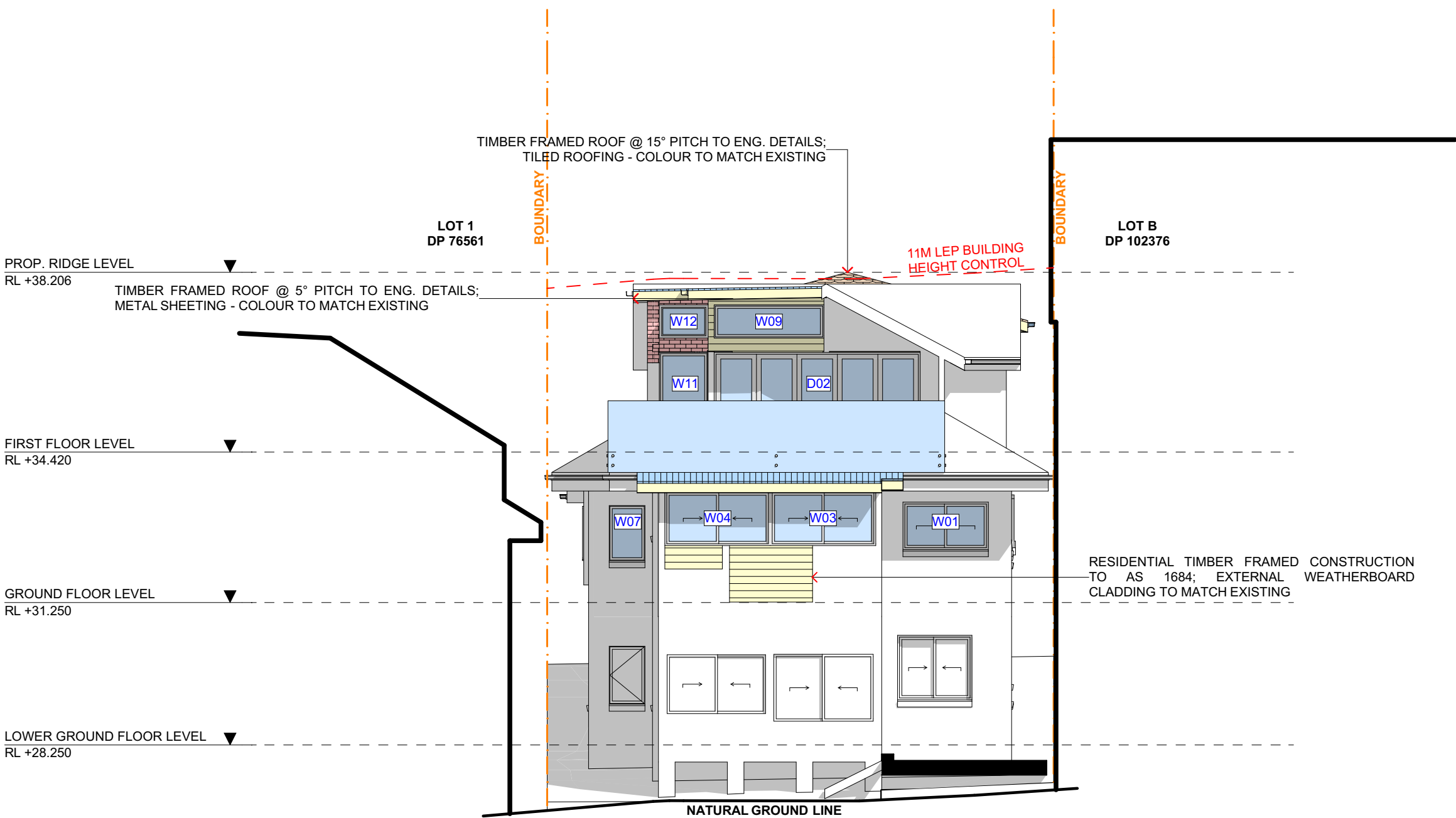
18 September 2019

DRAWING NAME

NORTH ELEVATION

SCALE


1:100 @A3



1

EAST ELEVATION

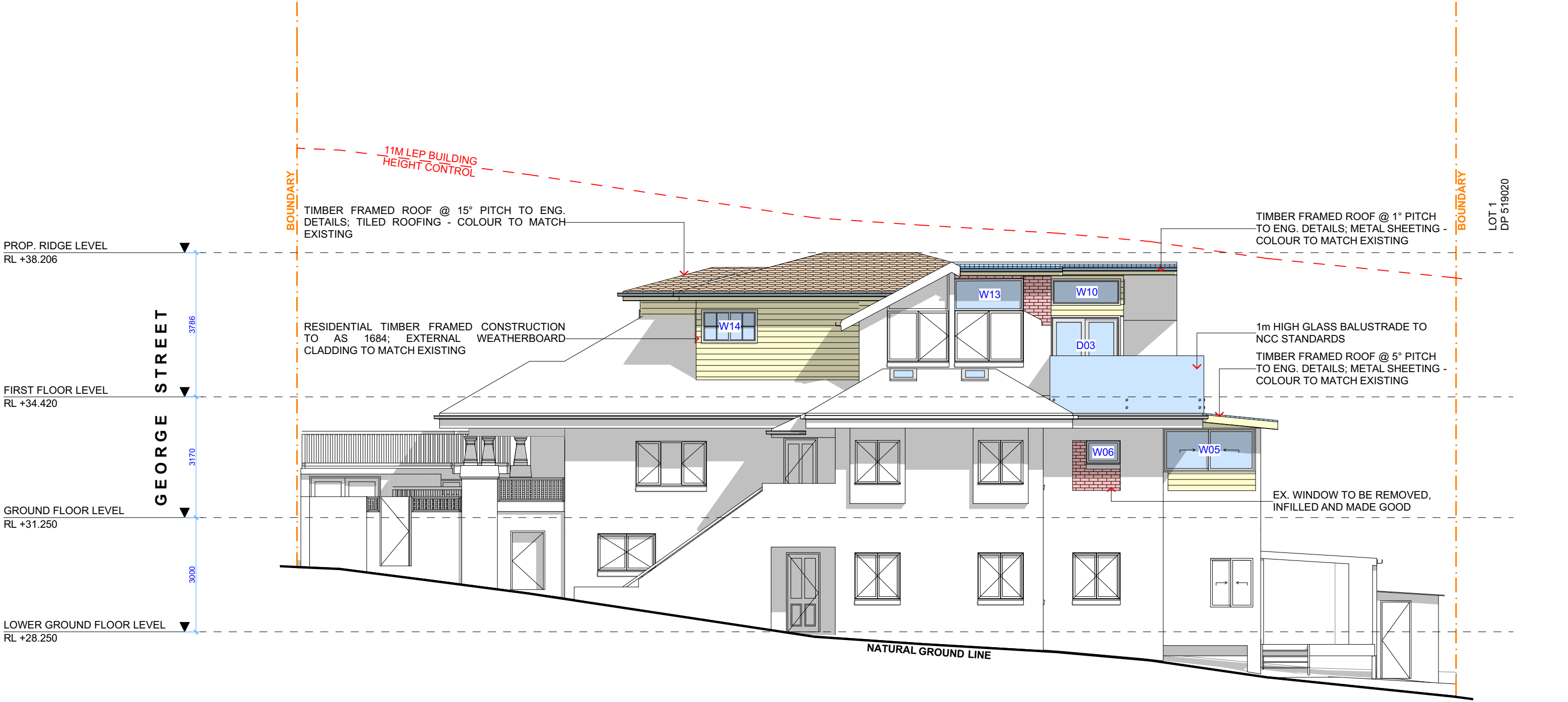
1:100




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REV.	DATE	COMMENTS	DRWN	NOTES
A	15/04/19	DEVELOPMENT APPLICATION	AL	<b>LEGEND</b> EXISTING DEMOLISHED TIMBER METAL GLAZING METAL ROOF TILE ROOF WEATHERBOARD BRICKWORK RENDER <b>CLIENT</b> MELITA POWYS & GARY O'SULLIVAN <b>PROJECT ADDRESS</b> 1/12 GEORGE STREET MANLY NSW 2095 <b>DRAWING NO.</b> <b>DA10</b> <b>DATE</b> 18 September 2019 <b>DRAWING NAME</b> EAST ELEVATION <b>SCALE</b> 1:100 @A3
B	29/07/2019	REVISED DA SET	DLR	

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1 SOUTH ELEVATION 1:100



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B	29/07/2019	REVISED DA SET	DLR	

**LEGEND**

EXISTING

DEMOLISHED

TIMBER

METAL

GLAZING

METAL ROOF

TILE ROOF

WEATHERBOARD

BRICKWORK

RENDER

**CLIENT**

MELITA POWYS &  
GARY O'SULLIVAN

**PROJECT ADDRESS**

1/12 GEORGE STREET  
MANLY NSW 2095

**DRAWING NO.**

DA11

**DATE**

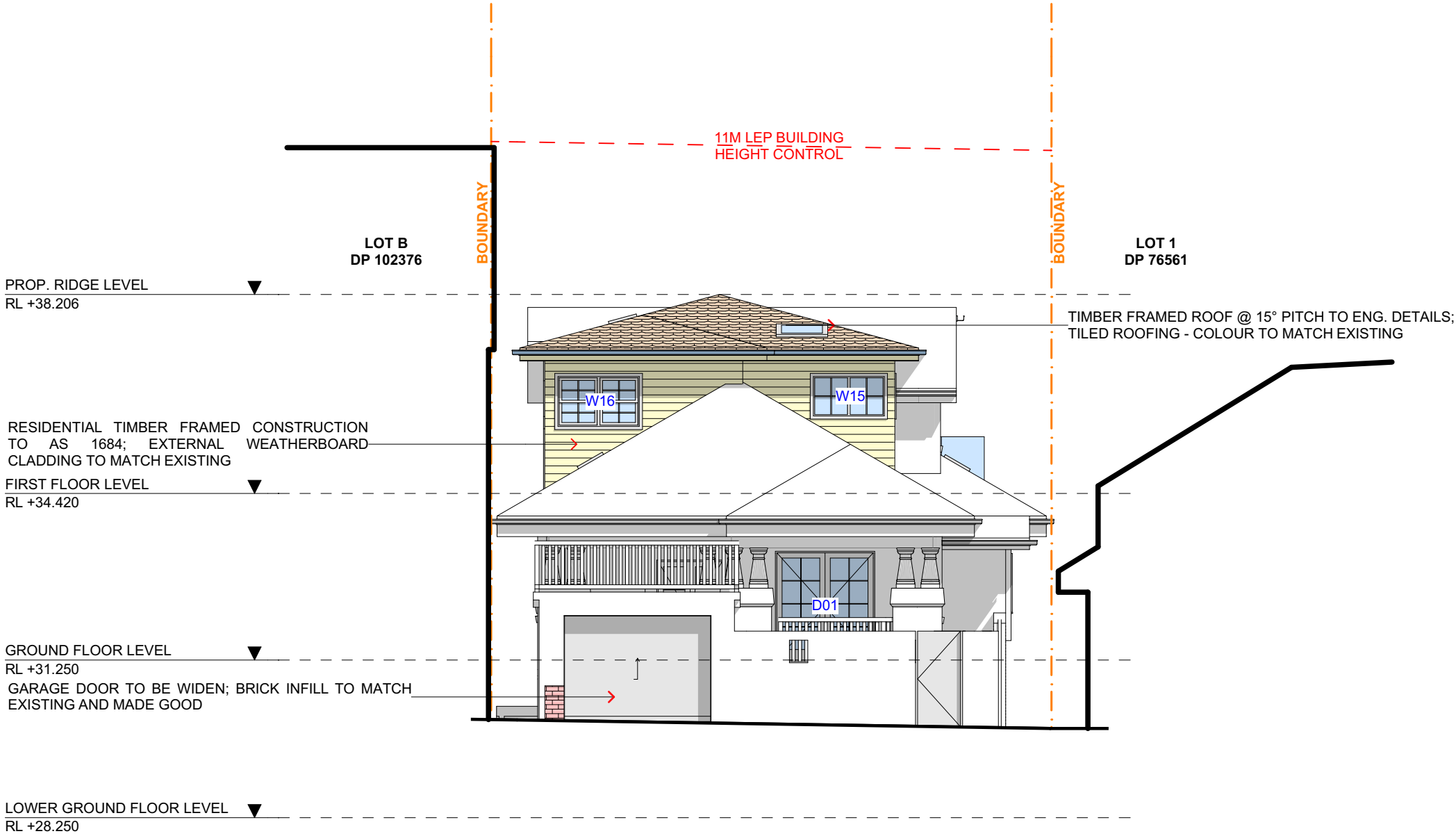
18 September 2019

**DRAWING NAME**

SOUTH ELEVATION

**SCALE**

1:100 @A3



1

WEST ELEVATION

1:100





ROOF TILES TO MATCH EXISTING



COLOURBOND METAL ROOF SHEETING  
POWDERCOAT FINISH 'IRONSTONE' OR SIMILAR  
WHERE MARKED ON ELEVATION.



WEATHERBOARD CLADDING TO MATCH EXISTING



FACE BRICKWORK TO MATCH EXISTING



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LEGEND

**CLIENT**  
MELITA POWYS &  
GARY O'SULLIVAN

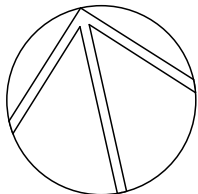
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**DRAWING NO.**  
**DA16**

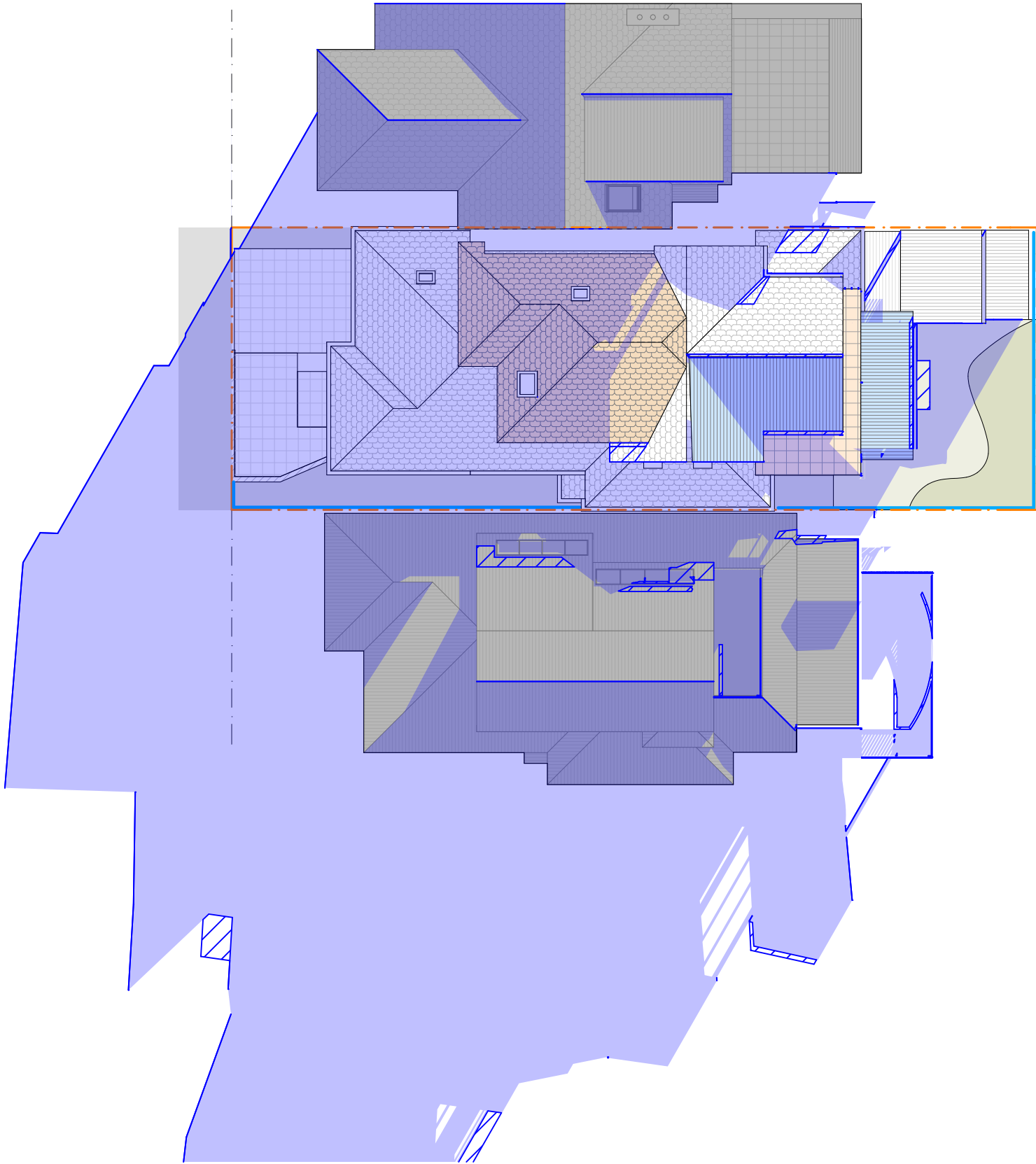
**DATE**  
18 September 2019

**DRAWING NAME**  
SAMPLE BOARD

**SCALE**  
@A3











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B	29/07/2019	REVISED DA SET	DLR	

LEGEND

 EXISTING SHADOWS

 PROPOSED SHADOWS

 NEIGHBOURING SHADOWS

CLIENT

MELITA POWYS &  
GARY O'SULLIVAN

PROJECT ADDRESS

1/12 GEORGE STREET  
MANLY NSW 2095

DRAWING NO.

DA17

DATE

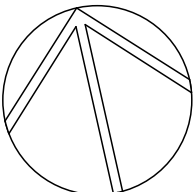
18 September 2019

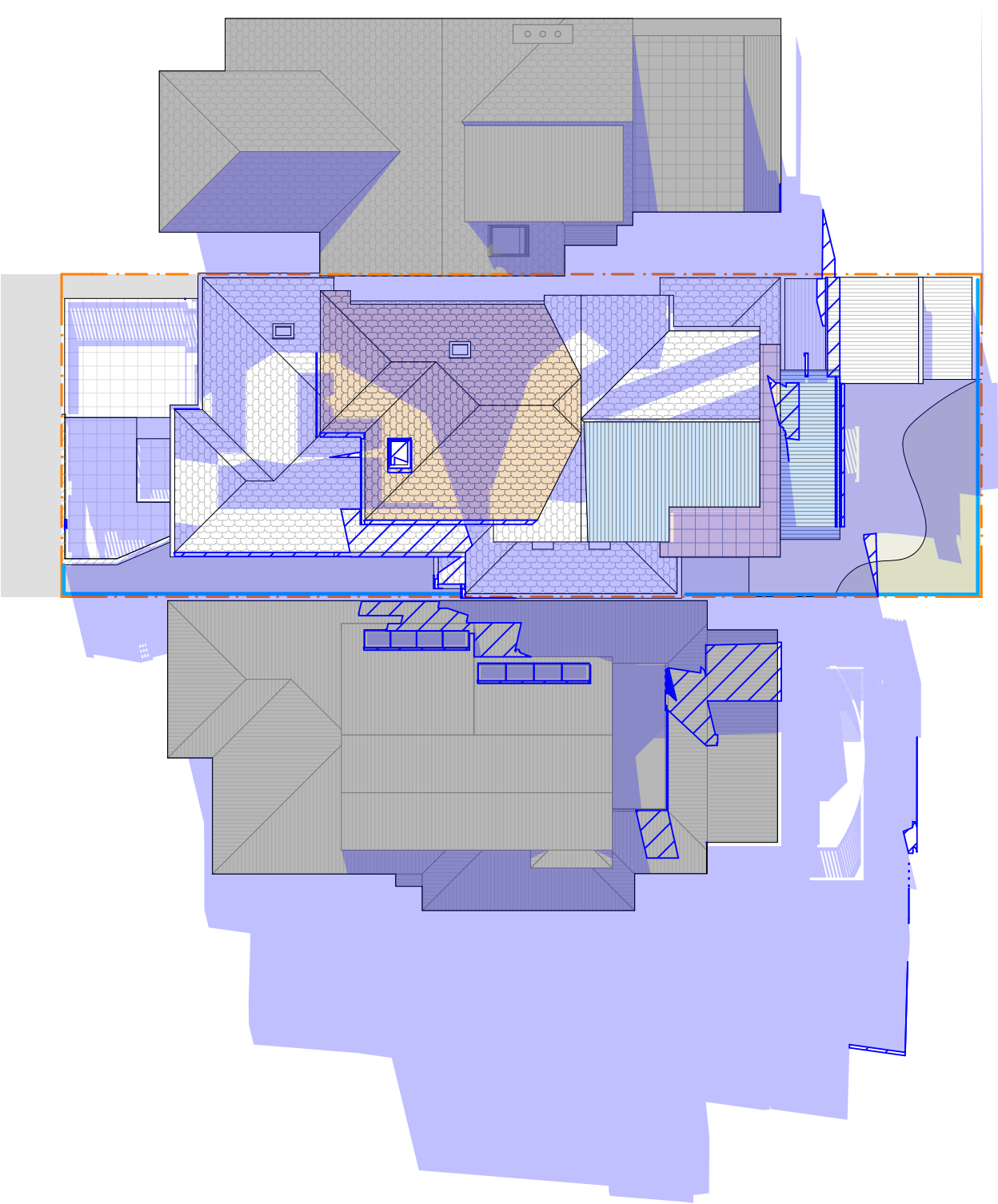
DRAWING NAME

WINTER SOLSTICE 9 AM

SCALE

1:200 @A3









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LEGEND

 EXISTING SHADOWS

 PROPOSED SHADOWS

 NEIGHBOURING SHADOWS

CLIENT

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1/12 GEORGE STREET  
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DRAWING NO.

DA18

DATE

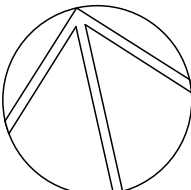
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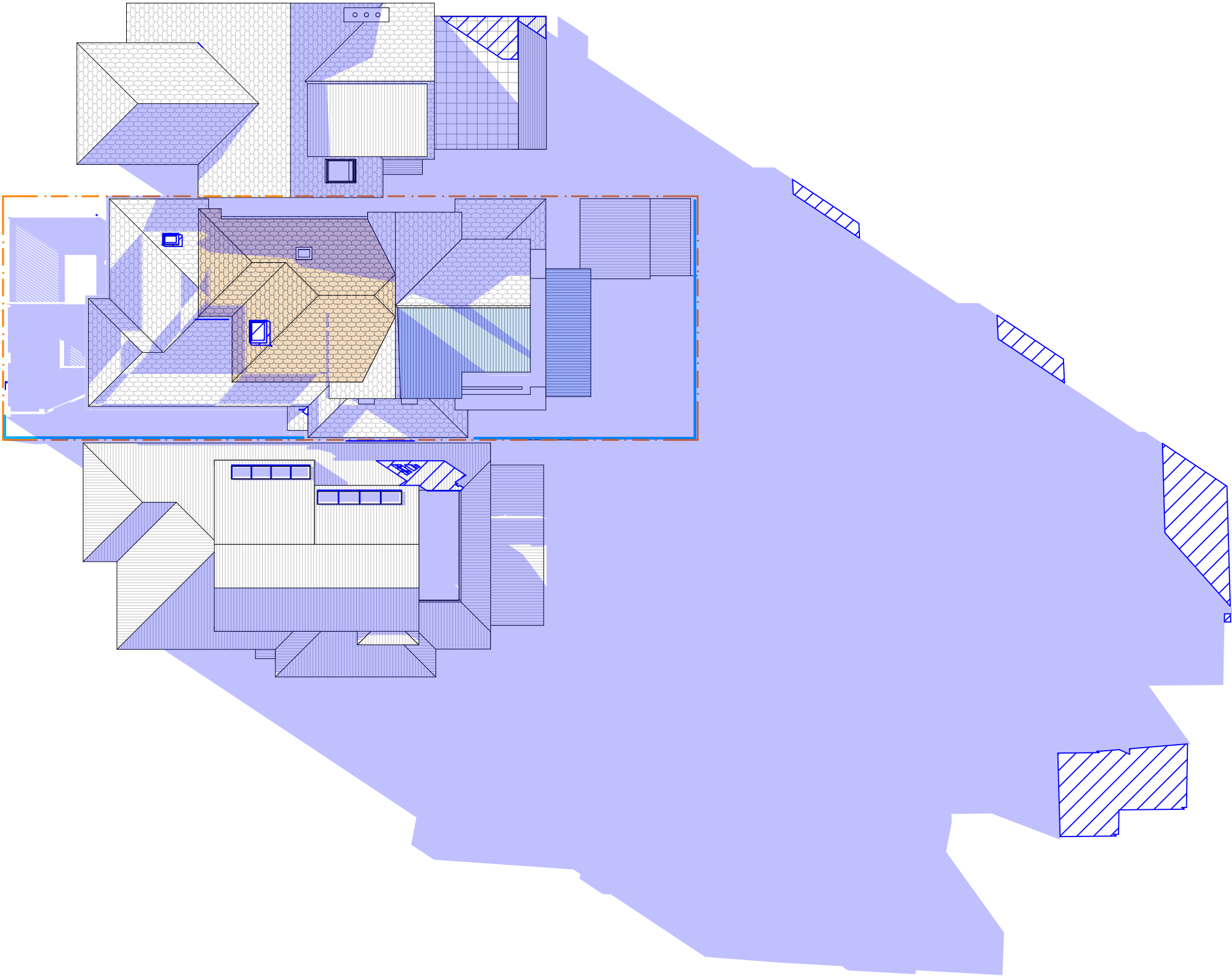
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WINTER SOLSTICE 12 PM

SCALE

1:200 @A3







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LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

NEIGHBOURING SHADOWS

CLIENT

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DRAWING NO.

DA19

DATE

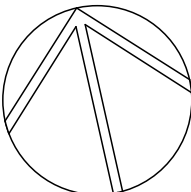
18 September 2019

DRAWING NAME

WINTER SOLSTICE 3 PM

SCALE

1:200 @A3



Alterations and Additions

Certificate number: A345708

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 15, April 2019  
To be valid, this certificate must be lodged within 3 months of the date of issue.

Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Lighting						
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			✓	✓		
Fixtures						
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			✓	✓		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			✓	✓		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			✓			
Construction		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Insulation requirements						
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓		
Construction	Additional insulation required (R-value)	Other specifications				
floor above existing dwelling or building.	nil					
external wall: brick veneer	R1.16 (or R1.70 including construction)					
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)					
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)				
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)				
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			✓	✓		
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.			✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.			✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.			✓	✓		
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W01	E	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	N	2.8	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W03	E	2.55	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Description of project

Project address	
Project name	1/12 GEORGE STREET, MANLY
Street address	1/12 GEORGE Street MANLY 2095
Local Government Area	Northern Beaches Council
Plan type and number	Strata Plan 11802
Lot number	1
Section number	0
Project type	
Dwelling type	Unit
Type of alteration and addition	My renovation work is valued at \$50,000 or more.

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)		Shading device	Frame and glass type			
W04	E	2.55	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W05	S	2.8	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	S	0.45	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W07	E	0.88	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W08	N	0.37	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W09	E	1.62	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	S	1.27	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	E	2.16	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W12	E	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W13	S	1.15	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W14	S	1.12	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W15	W	1.12	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W16	W	1.6	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)		Shading device	Frame and glass type			
D01	W	3.91	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	E	9.03	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D03	S	2.27	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below.							✓	✓	✓
The following requirements must also be satisfied in relation to each skylight:								✓	✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.								✓	✓
Skylights glazing requirements									
Skylight number	Area of glazing inc. frame (m2)		Shading device			Frame and glass type			
S1	0.385		no shading			aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)			
S2	0.385		no shading			timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S3	0.76		no shading			timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S4	0.385		no shading			timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)			
S5	0.385		no shading			timber, low-E internal/argon fill/clear external, (or			
Skylight number	Area of glazing inc. frame (m2)		Shading device			Frame and glass type			
						U-value: 2.5, SHGC: 0.456)			



ACTION PLANS

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REV.	DATE	COMMENTS	DRWN
A	15/04/19	DEVELOPMENT APPLICATION	AL
B	29/07/2019	REVISED DA SET	DLR

**NOTES**  
This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole with the written permission of Action Plans.  
Do not scale measure from drawings. Figured dimensions are to be used only.  
The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.  
All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.  
All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.  
U value takes precedence over glazing type/colour in all cases.  
all new glazing must meet the BASIX specified frame and glass type, *OR* meet the ecified U value and SHGC value.

**CLIENT**  
MELITA POWYS &  
GARY O'SULLIVAN

**PROJECT ADDRESS**  
1/12 GEORGE STREET  
MANLY NSW 2095

**DRAWING NO.**

**DA20**

**DATE**

18 September 2019

**DRAWING NAME**

BASIX COMMITMENTS