

DEVELOPMENT APPLICATION for EXISTING STUDIO USE

Lot 12 DP 867302
79b Lauderdale Avenue, Fairlight

- DA-100 - COVER SHEET & LOCATION PLAN
- DA-101 - SITE PLAN, SITE ANALYSIS, LANDSCAPING AND CALCULATIONS
- DA-102 - GROUND FLOOR PLAN
- DA-103 - FIRST FLOOR PLAN
- DA-104 - ROOF PLAN
- DA-105 - ELEVATIONS - EAST & WEST
- DA-106 - ELEVATIONS - NORTH & SOUTH & SECTION
- DA-107 - NOTIFICATION PLANS
- DA-108 - NOTIFICATION ELEVATIONS
- DA-109 - SHADOW DIAGRAM 9AM
- DA-110 - SHADOW DIAGRAM 12PM
- DA-111 - SHADOW DIAGRAM 3PM
- DA-112 - EXISTING FINISHES

- STATEMENT OF ENVIRONMENTAL EFFECTS - CRADLE DESIGN
- CLAUSE 4.6 VARIATION TO A DEVELOPMENT STANDARD - CRADLE DESIGN
- 192687-1 - SITE SURVEY - TOTAL SURVEY SOLUTIONS



01

LOCATION PLAN

NTS

PLAN

northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

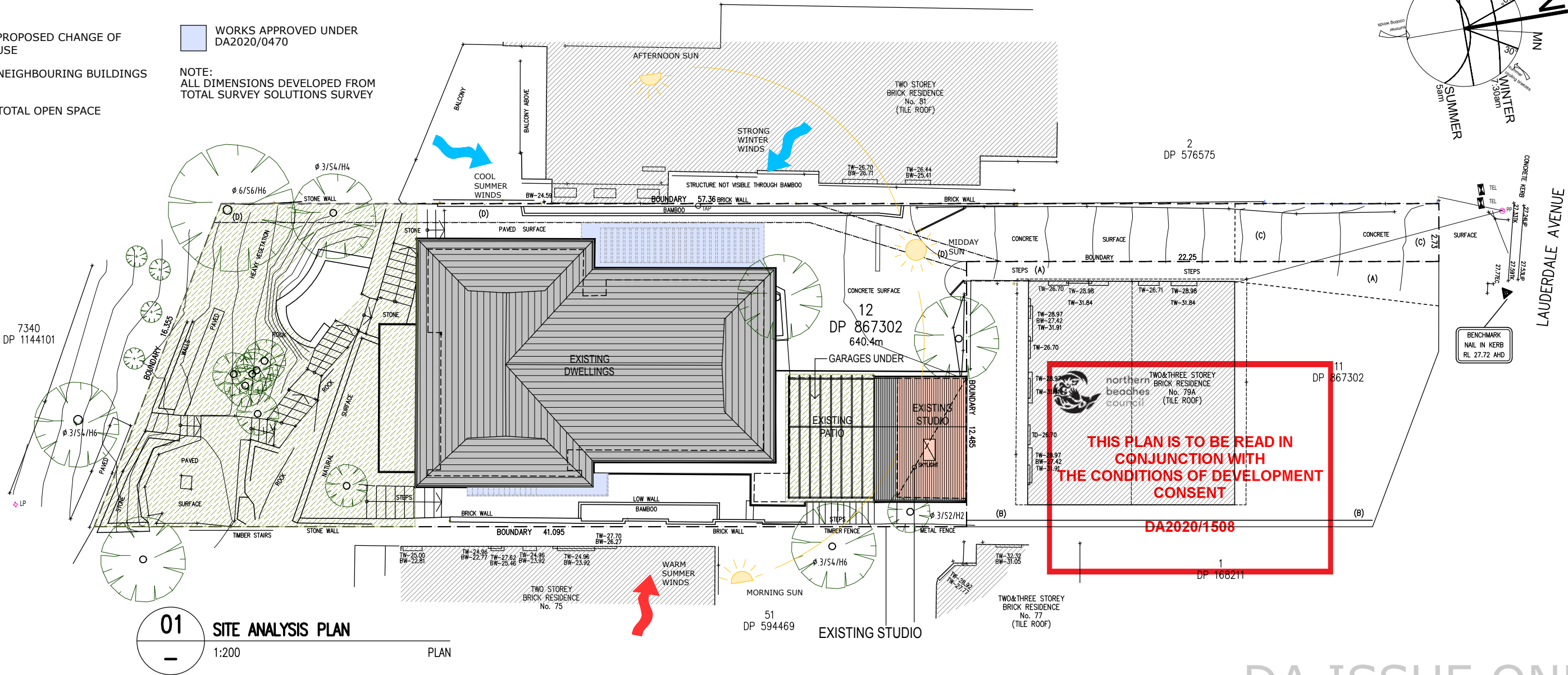
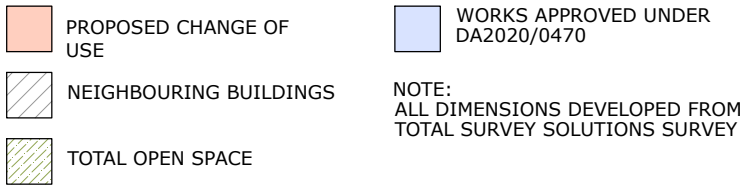
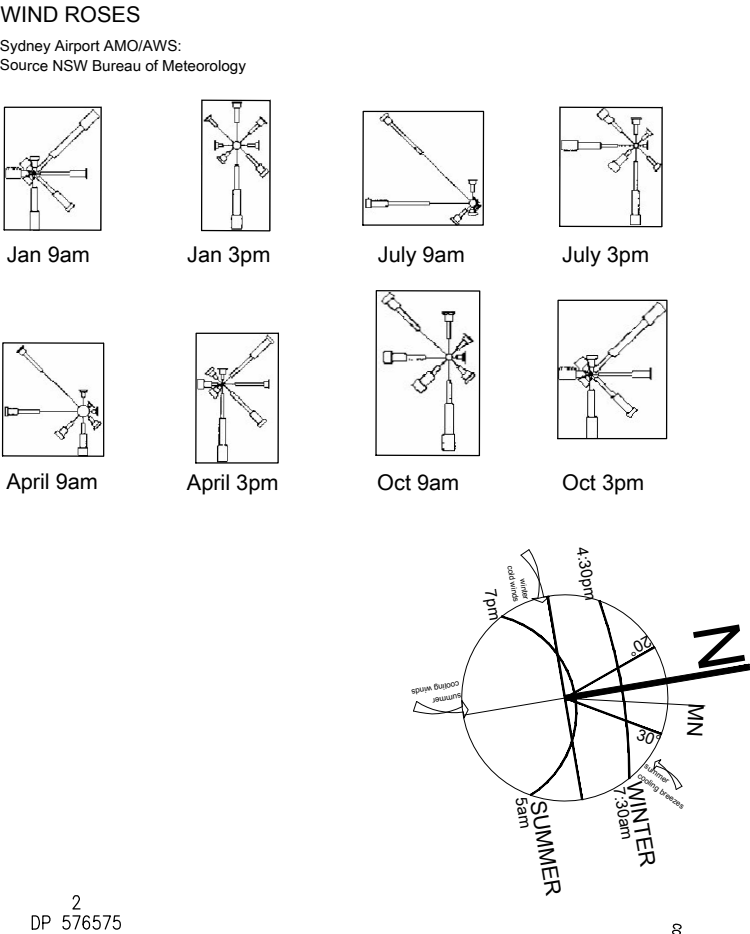
DA2020/1508

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SITE COVERAGE CALCULATIONS		
	EXISTING	PROPOSED
SITE AREA	640.4m ²	640.4m ²
BUILT AREA (PRIMARY DWELLINGS)	145.3m ²	145.3m ²
OUT BUILDINGS	50.6m ²	50.6m ²
SITE COVERAGE	195.9m ² 30.6%	195.9m ² 30.6%
TOTAL OPEN SPACE (55% of site)	218.5m ² (34% - non compliant)	218.5m ² (34% - non compliant)

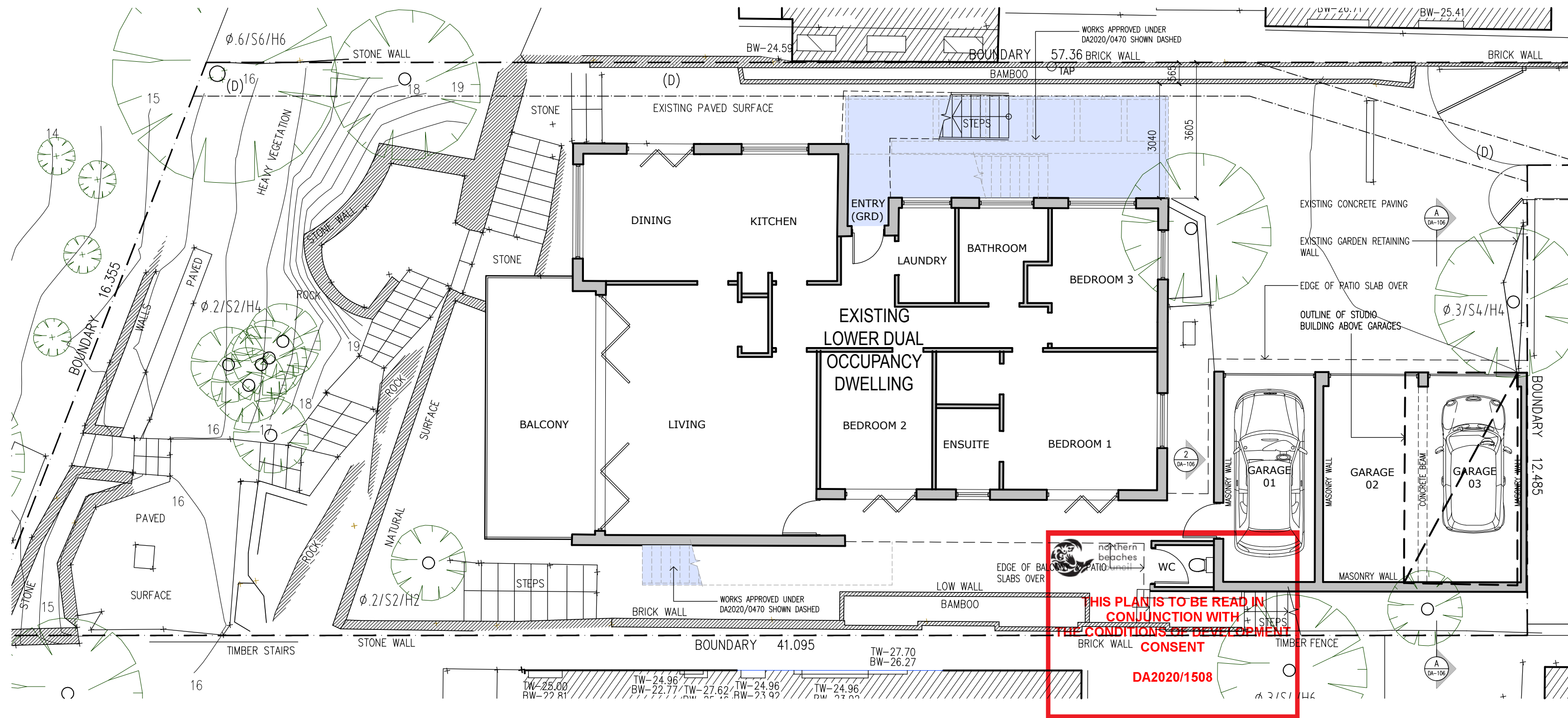
FLOOR AREA CALCULATIONS		
	EXISTING	PROPOSED
SITE AREA	640.4m ²	no change
GROSS FLOOR AREA (PRIMARY DWELLING)	Grd - 126m ² 1st - 126m ² Garage - 43.1m ² Studio - 22.7m ² = 317.8m ²	no change
FLOOR SPACE RATIO	0.50 : 1	no change

LANDSCAPE OPEN AREA CALCULATIONS	
TOTAL OPEN SPACE = 218.52m ² 55% open space of site area required (352.22m ²), NON-COMPLIANT(EXISTING)	
EXISTING LANDSCAPED AREA = 117.8m ² 35% landscape area of open space required (76.5m ²) THEREFORE COMPLIES	
EXISTING OPEN SPACE ABOVE GROUND = 25m ² Not more than 25% of open space required (54.63m ²), THEREFORE COMPLIES	



01 SITE ANALYSIS PLAN
1:200 PLAN

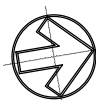
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ORIENTATION



REVISION

REV. A - 13.11.20 - DA ISSUE

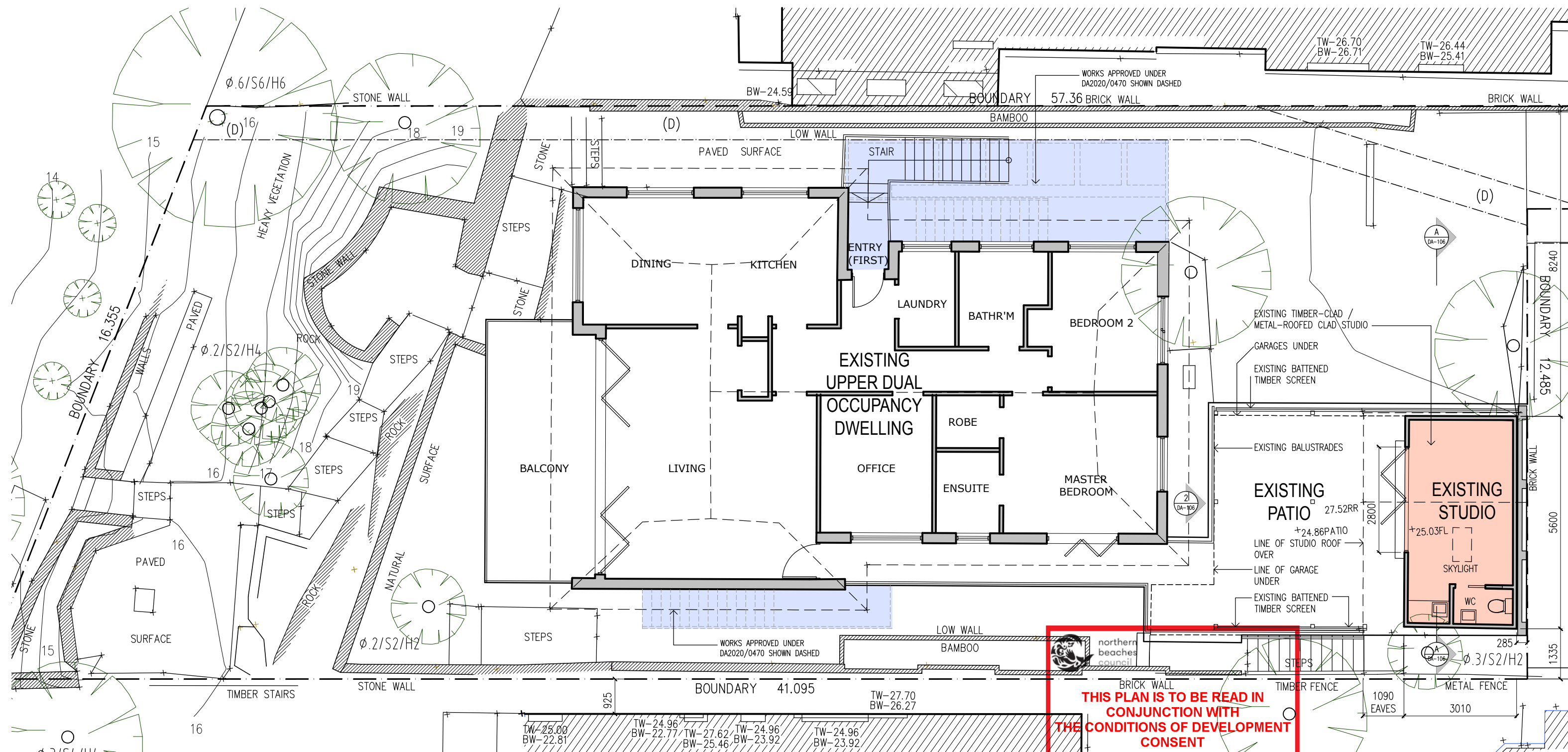
DETAILS

CLIENT
ANDREW & EILEEN CONDELL
PROJECT
EXISTING STUDIO USE APPROVAL
ADDRESS
79b LAUDERDALE AVENUE,
FAIRLIGHT, NSW 2094

PROJECT

DRAWING TITLE
GROUND FLOOR PLAN
REFERENCE
481 - 79b LAUDERDALE AVE
SCALE
1:100@A3
DRAWN
JT / DJ

DA|102 A
DRAWING ISSUE



01 FIRST FLOOR PLAN
1:100
PLAN

EXISTING STUDIO
NEIGHBOURING BUILDINGS

WORKS APPROVED UNDER DA2020/0470

NOTE:
ALL DIMENSIONS DEVELOPED FROM TOTAL SURVEY SOLUTIONS SURVEY

STUDIO CONSTRUCTION:

FLOOR: TIMBER JOISTS PACKED OFF CONCRETE SLAB, STRUCTURAL PARTICLE BOARD FLOOR SHEETING
FLOOS: 75 TIMBER STUD FRAME, BUILDING WRAP, CAVITY INSULATION, FC SHEET CLADDING, PLASTERBOARD LINING
WALLS: 75 TIMBER STUD FRAME, BUILDING WRAP, CAVITY INSULATION, FC SHEET CLADDING, PLASTERBOARD LINING
WALLT: TIMBER FRAMED, METAL ROOF SHEETING, VAPOUR BARRIER, INSULATION, RAKED PLASTERBOARD CEILING
ROOF: TIMBER FRAMED, METAL ROOF SHEETING, VAPOUR BARRIER, INSULATION, RAKED PLASTERBOARD CEILING

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R.L. 29.08
RIDGE LINE DWELLING

R.L. 27.52
RIDGE LINE STUDIO

R.L. 25.03
STUDIO FLOOR

R.L. 24.96
FIRST FLOOR DWELLING

R.L. 22.21
GROUND FLOOR DWELLING

EXISTING METAL SHEET ROOF

EAVES GUTTER

STORMWATER PIPE FROM
EAVES GUTTER TO RWH ON
EAST WALL

110 BRICK WALL WITH 230
ENGAGED PIERS AT BOUNDARY

EXISTING TIMBER CLAD STUDIO
BEHIND SLATTED TIMBER
SCREEN (SCREEN SHOWN
TRANSPARENT FOR CLARITY)

EXISTING CONCRETE PATIO
SLAB ABOVE GARAGES

EXISTING RENDERED MASONRY
GARAGES

EXISTING TIMBER PERGOLA
BEHIND SLATTED TIMBER
SCREEN

EXISTING DWELLINGS

WORKS APPROVED UNDER
DA2020/0470 SHOWN DASHED

02

WEST ELEVATION

1:100

ELEVATION

R.L. 29.08
RIDGE LINE DWELLING

R.L. 27.52
RIDGE LINE STUDIO

R.L. 25.03
STUDIO FLOOR

R.L. 24.96
FIRST FLOOR DWELLING

R.L. 22.21
GROUND FLOOR DWELLING

01

EAST ELEVATION

1:100

EXISTING STUDIO

ELEVATION

WORKS APPROVED UNDER
DA2020/0470 SHOWN DASHED

EXISTING SLATTED TIMBER
SCREENS TO NEAR SIDE OF
PERGOLA

EXISTING TIMBER PERGOLA
WITH SLATTED TIMBER SCREEN
BEYOND

EXISTING METAL SHEET ROOF

EAVES GUTTER

STORMWATER PIPE FROM
WESTERN EAVES GUTTER
RWHP AND DP

EXISTING TIMBER CLAD STUDIO

110 BRICK WALL WITH 230
ENGAGED PIERS AT BOUNDARY

EXISTING CONCRETE PATIO
SLAB ABOVE GARAGES

STORMWATER LINE TURNED
THROUGH GARAGE WALL
CONNECTED TO EXISTING
STORMWATER SYSTEM

2480

2620

THIS PLAN IS TO BE READ IN
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CONSENT

DA2020/1508

EXISTING STUDIO

WORKS APPROVED UNDER
DA2020/0470

NEIGHBOURING BUILDINGS

NOTE:
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TOTAL SURVEY SOLUTIONS SURVEY

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STUDIO

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w: www.cradledesign.com

Nom. Architects:
Paul Lucas - 8786
Regan VanderWert-Walsh - 7904

cradle

ORIENTATION

REVISION

REV. A - 13.11.20 - ISSUE

DETAILS

CLIENT
ANDREW & EILEEN CONDELL

PROJECT
PROPOSED CHANGE OF USE

ADDRESS
79b LAUDERDALE AVENUE,
FAIRLIGHT, NSW 2094

PROJECT

DRAWING TITLE
ELEVATIONS - EAST & WEST

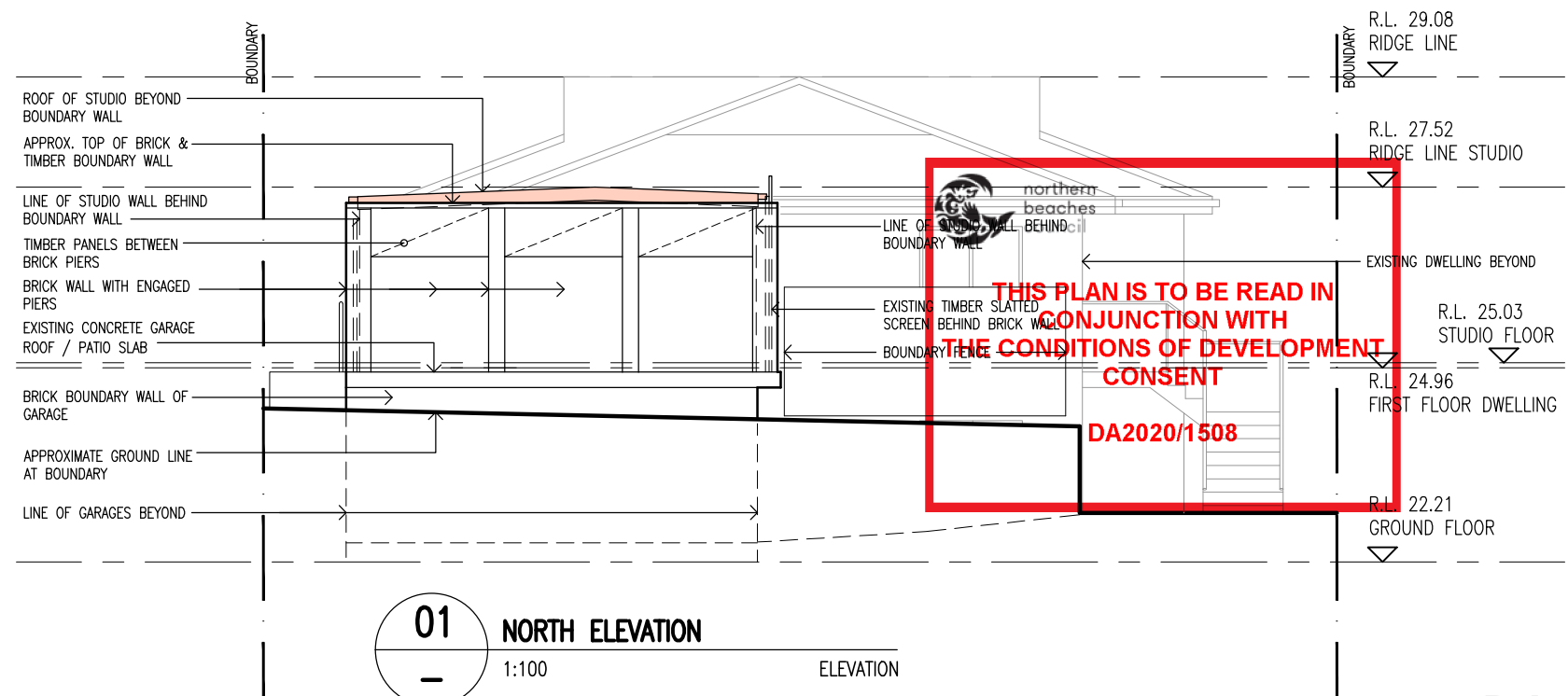
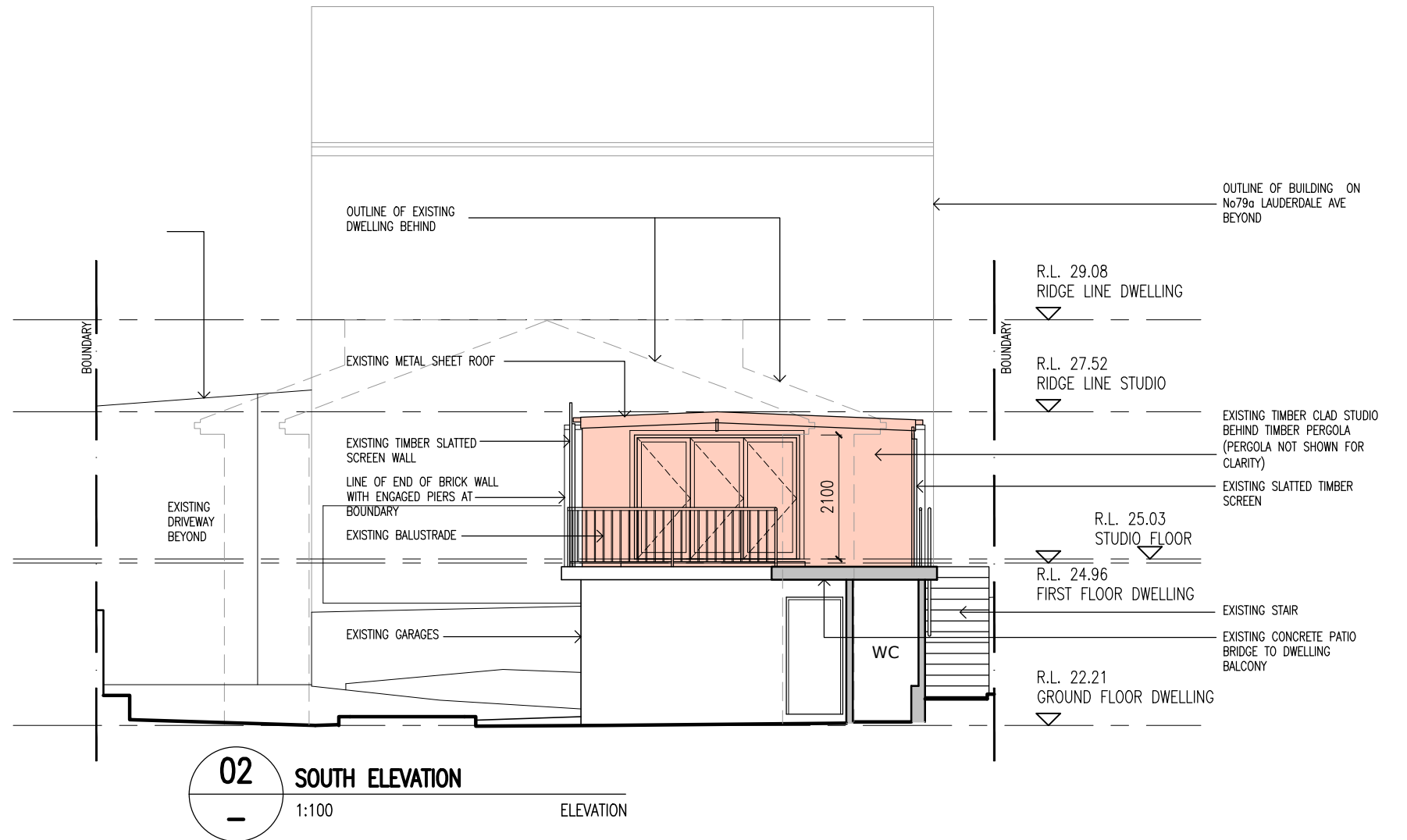
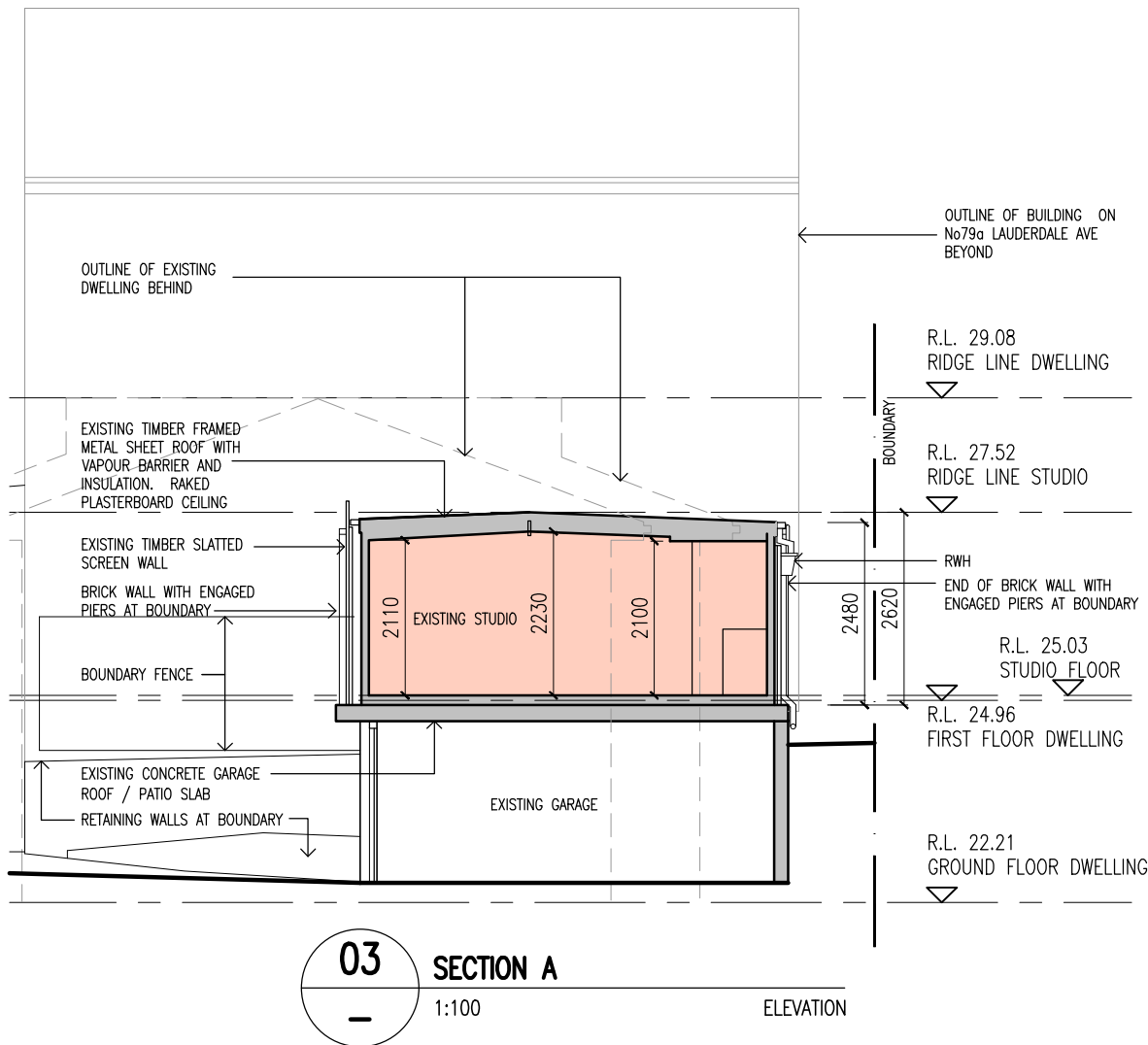
REFERENCE
481 - 79b LAUDERDALE AVE

SCALE
1:100@A3

DRAWN
JT / DJ

DA|105 A

DRAWING ISSUE



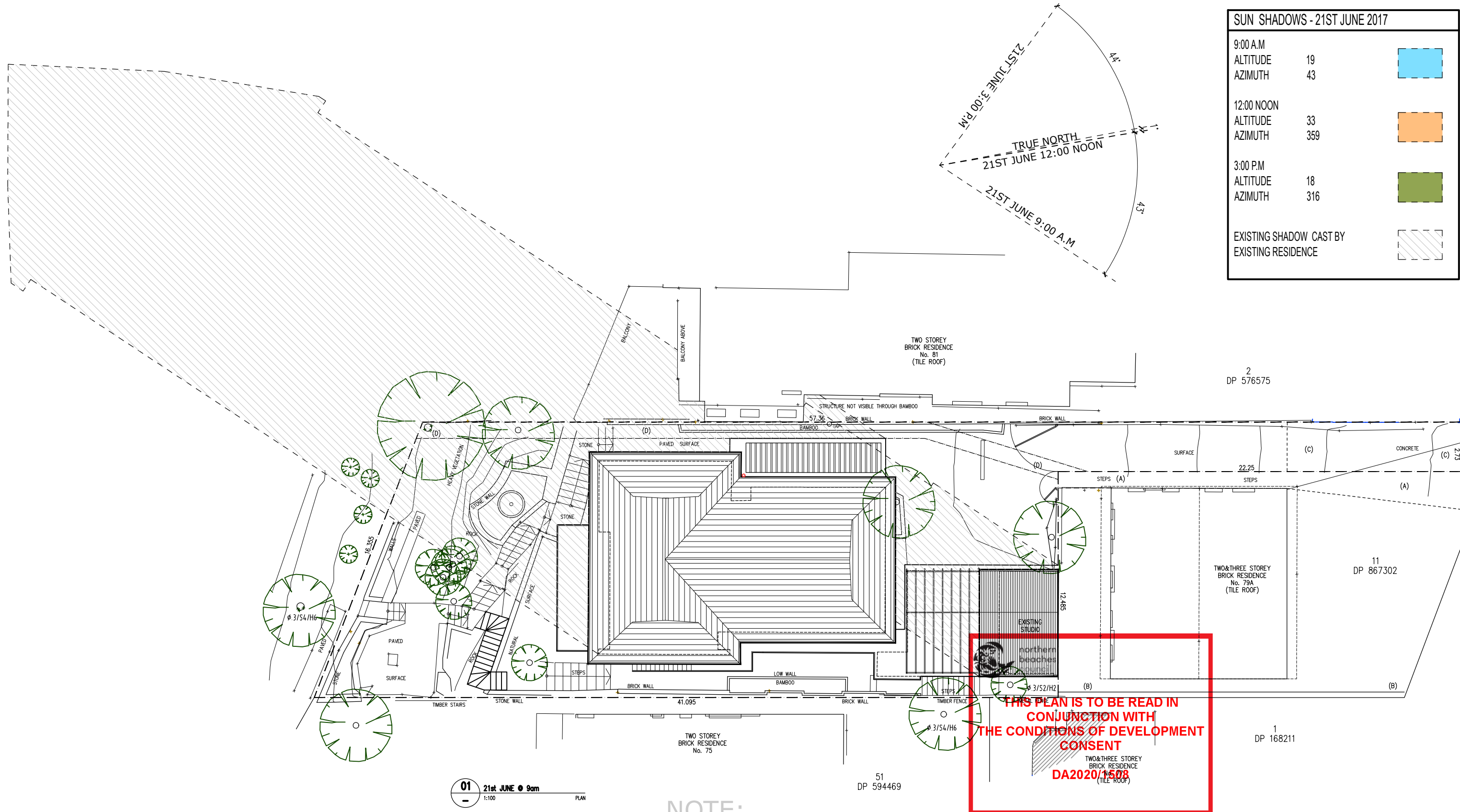
EXISTING STUDIO

NEIGHBOURING BUILDINGS

WORKS APPROVED UNDER DA2020/0470

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SUN SHADOWS - 21ST JUNE 2017		
9:00 A.M		
ALTITUDE	19	
AZIMUTH	43	
12:00 NOON		
ALTITUDE	33	
AZIMUTH	359	
3:00 P.M		
ALTITUDE	18	
AZIMUTH	316	
EXISTING SHADOW CAST BY EXISTING RESIDENCE		

NOTE:
NO SHADOWS FROM 79A OR 77
LAUDERDALE HAVE BEEN SHOWN

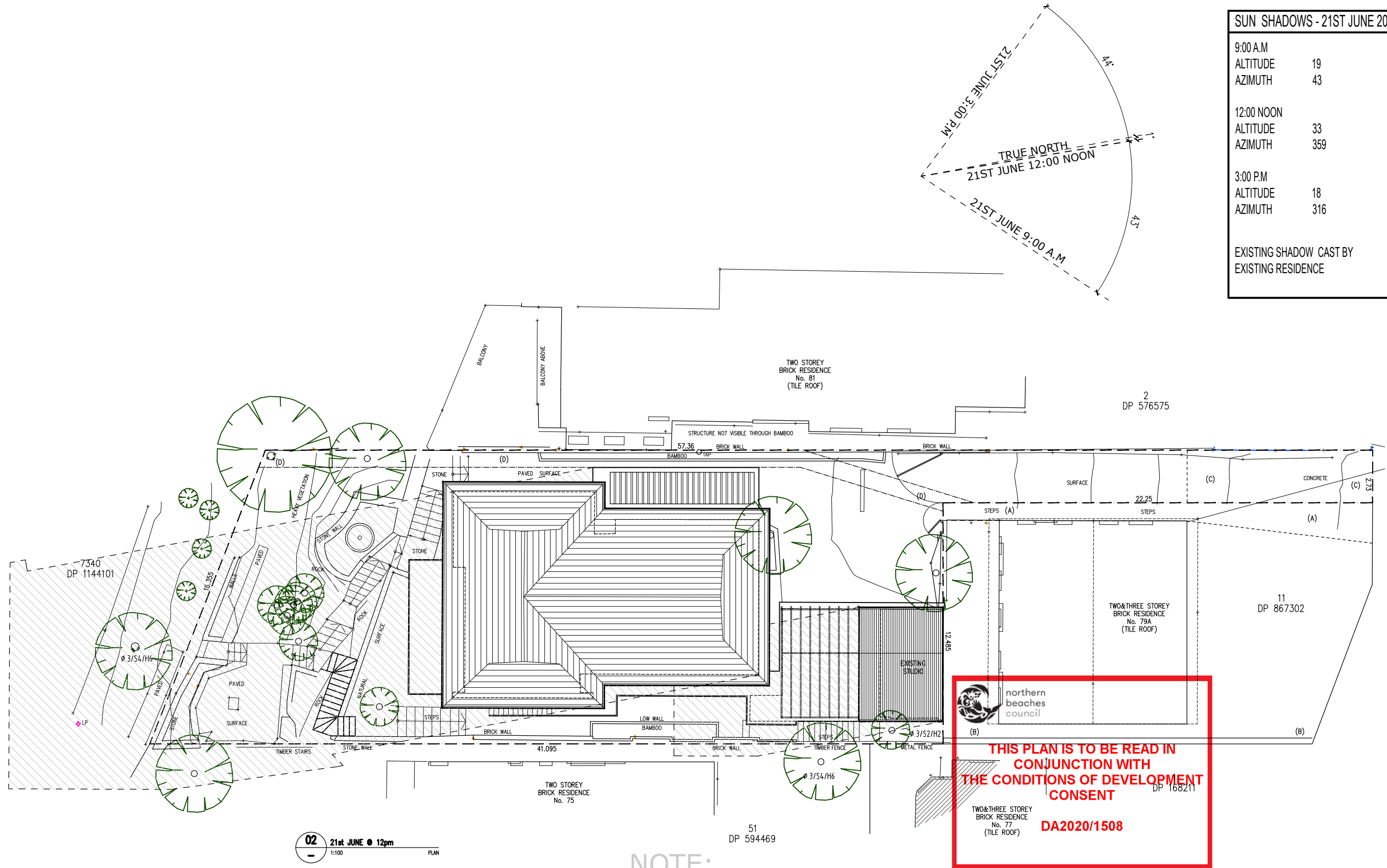
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<div>STUDIO</div> <div>Shop 11 316 Sydney Road Balgowlah NSW 2093 t: 02 9029 5532 e: info@cradledesign.com.au w: www.cradledesign.com</div> <div>Nom. Architects: Paul Lucas - 8786 Regan VanderWert-Walsh - 7904</div>	<div>cradle</div> <div>ORIENTATION</div> <div></div>	<div>REVISION</div> <div>REV. A - 13.11.20 - DA ISSUE</div>	<div>DETAILS</div> <div>CLIENT ANDREW & EILEEN CONDELL PROJECT EXISTING STUDIO USE APPROVAL ADDRESS 79b LAUDERDALE AVENUE, FAIRLIGHT, NSW 2094</div>	<div>PROJECT</div> <div>DRAWING TITLE SHADOW DIAGRAMS 1 OF 3 REFERENCE 481 - 79 LAUDERDALE AVE SCALE 1:200@A3 DRAWN JT</div>	<div>DA 109 A</div> <div>DRAWING ISSUE</div>
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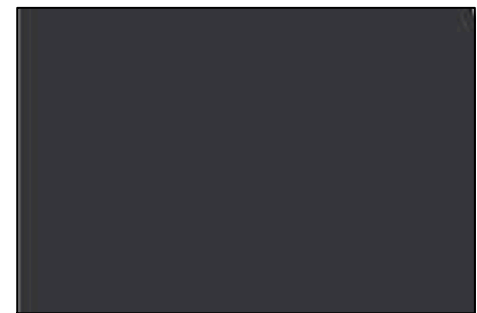
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EXISTING STUDIO FINISHES



- EXTERNAL CLADDING -
- V-GROOVED FIBRE CEMENT SHEETING. PAINTED FINISH
- GLAZED BI-FOLD DOORS - ANODISED ALUMINIUM FINISH



- ROOF SHEETING AND FLASHING'S - COLORBOND MONUMENT (OR SIMILAR)



northern
beaches
council

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