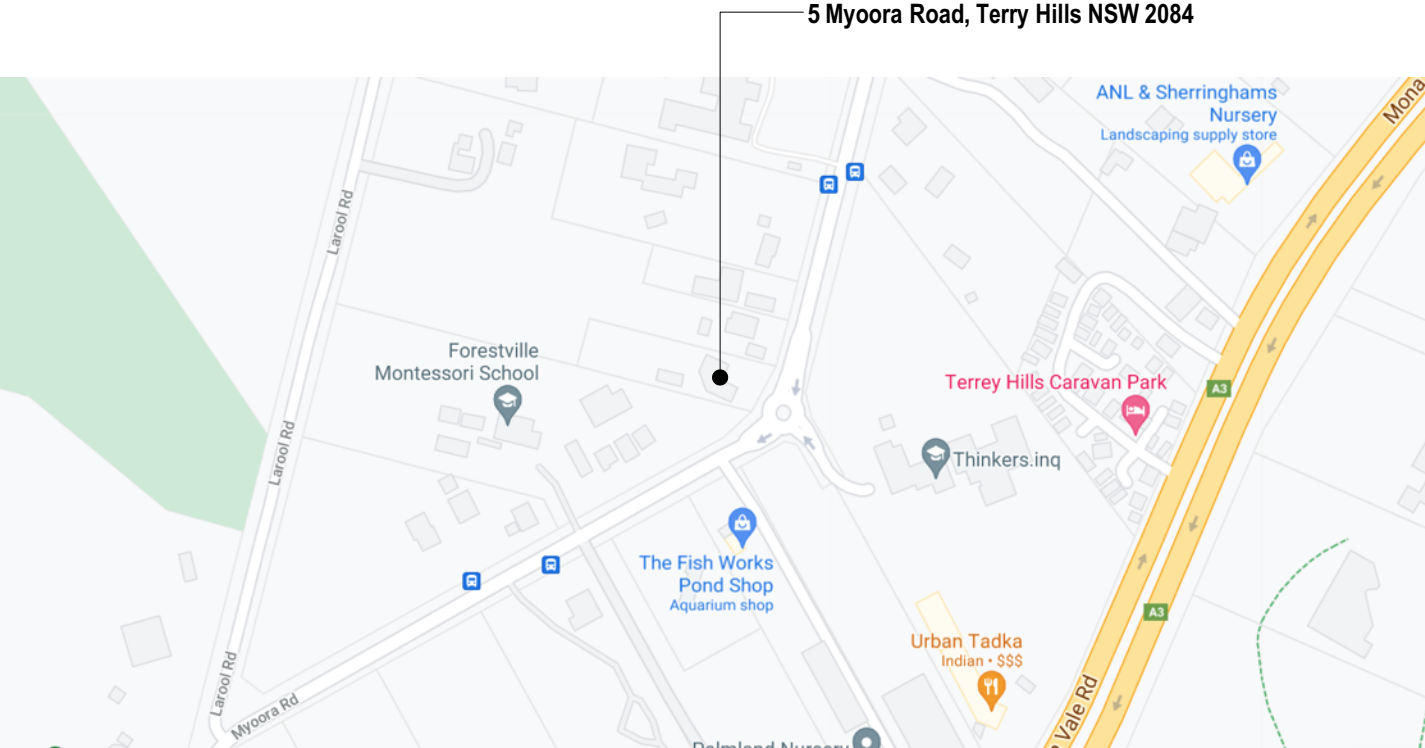


Drawing Register

Issue Date
day 1
month 12
year 21

Drawing Number	Drawing Title	Revision
DA00	Drawing Register & Location Plan	E
DA01	Site Plan/ Site Analysis/ Roof Plan 1:500	E
DA02	New Ground Floor Plan 1 1:200	E
DA03	New Ground Floor Plan 2 1:200	E
DA04	New Roof Plan 1:200	E
DA05	Elevations 1:100	E
DA06	Elevations 1:100	E
DA07	Section 1:100	E
DA08	Stormwater Concept Plan 1:500	E
DA09	Erosion & Sediment Control Plan 1:500	E
DA10	Door & Window Schedule	E
DA11	Shadow Diagram 1:200	E
DA12	Shadow Diagram 1:200	E
DA13	Shadow Diagram 1:200	E
DA14	External Materials & Finishes	E
DA15	Basix Certificate	E



LOCATION PLAN (NTS)

(Source Google maps)

GENERAL BUILDING SPECIFICATION

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co Small Works Department before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.

Document Distribution:

	DA
Client	1
Structural Engineer	
Hydraulic Engineer	
Landsc. Consultant	
Approval Authority	1



CADENCE & CO DESIGN

Suite 7, 287 Mona Vale Rd,
Terrey Hills, NSW, 2084,
P 94501950
E info@cadenceandco.com.au

ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:
C	19/8/21	Client Review
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
DRAWING REGISTER + LOCATION PLAN

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE:
DA

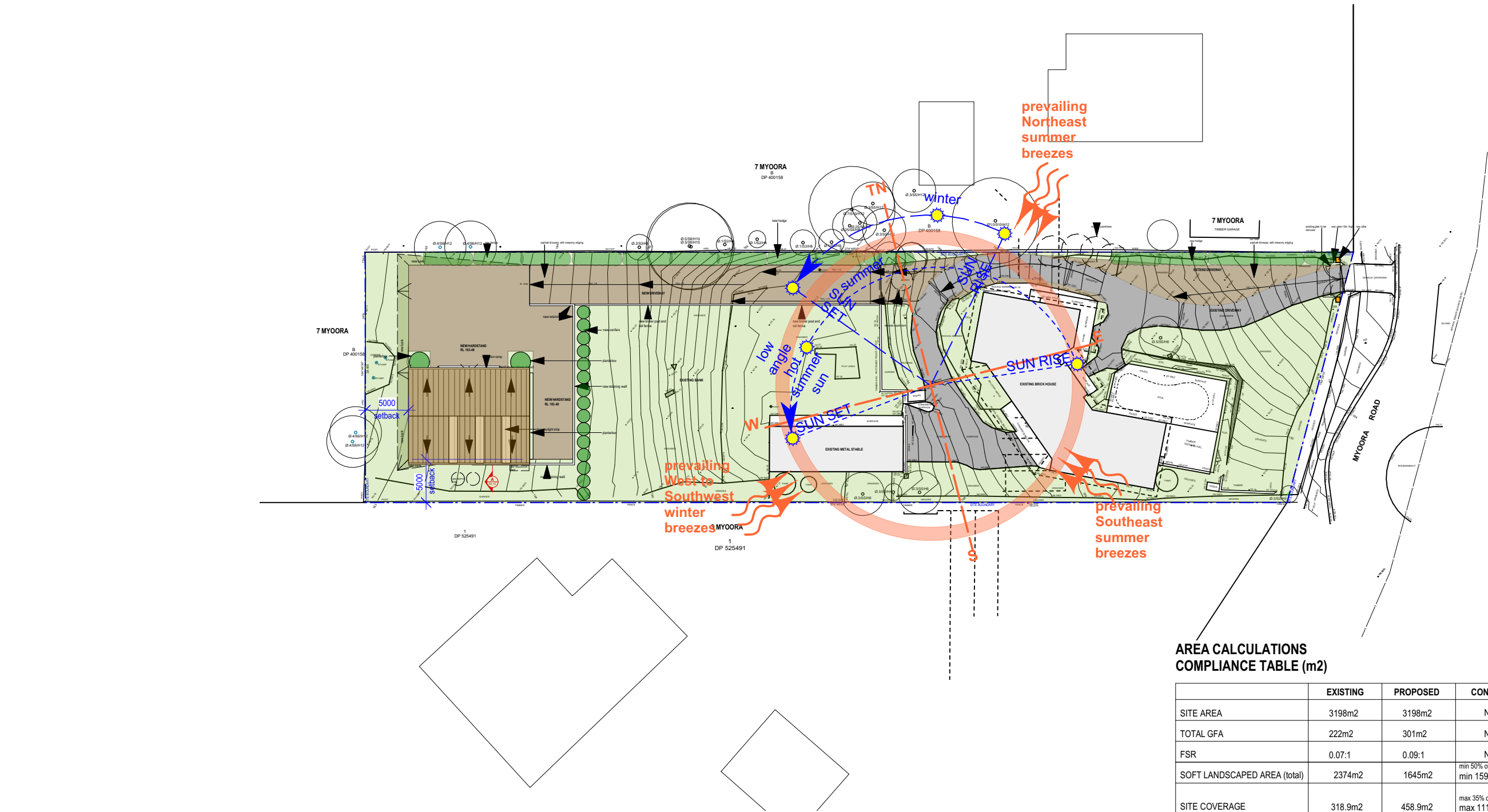
DRAWN:
JE

CHKD:

SCALE @ A3:
1:500

ISSUE DATE:
1/12/21


REVISION:
E



AREA CALCULATIONS
COMPLIANCE TABLE (m2)

	EXISTING	PROPOSED	CONTROL	COMPLIANCE
SITE AREA	3198m2	3198m2	N/A	N/A
TOTAL GFA	222m2	301m2	N/A	YES
FSR	0.07:1	0.09:1	N/A	YES
SOFT LANDSCAPED AREA (total)	2374m2	1645m2	min 50% of site area min 1599m2	YES
SITE COVERAGE	318.9m2	458.9m2	max 35% of site area max 1119m2	YES

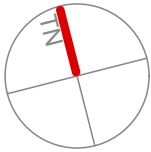
1 SITE PLAN/ SITE ANALYSIS/ ROOF PLAN
SCALE 1:500 @ A3



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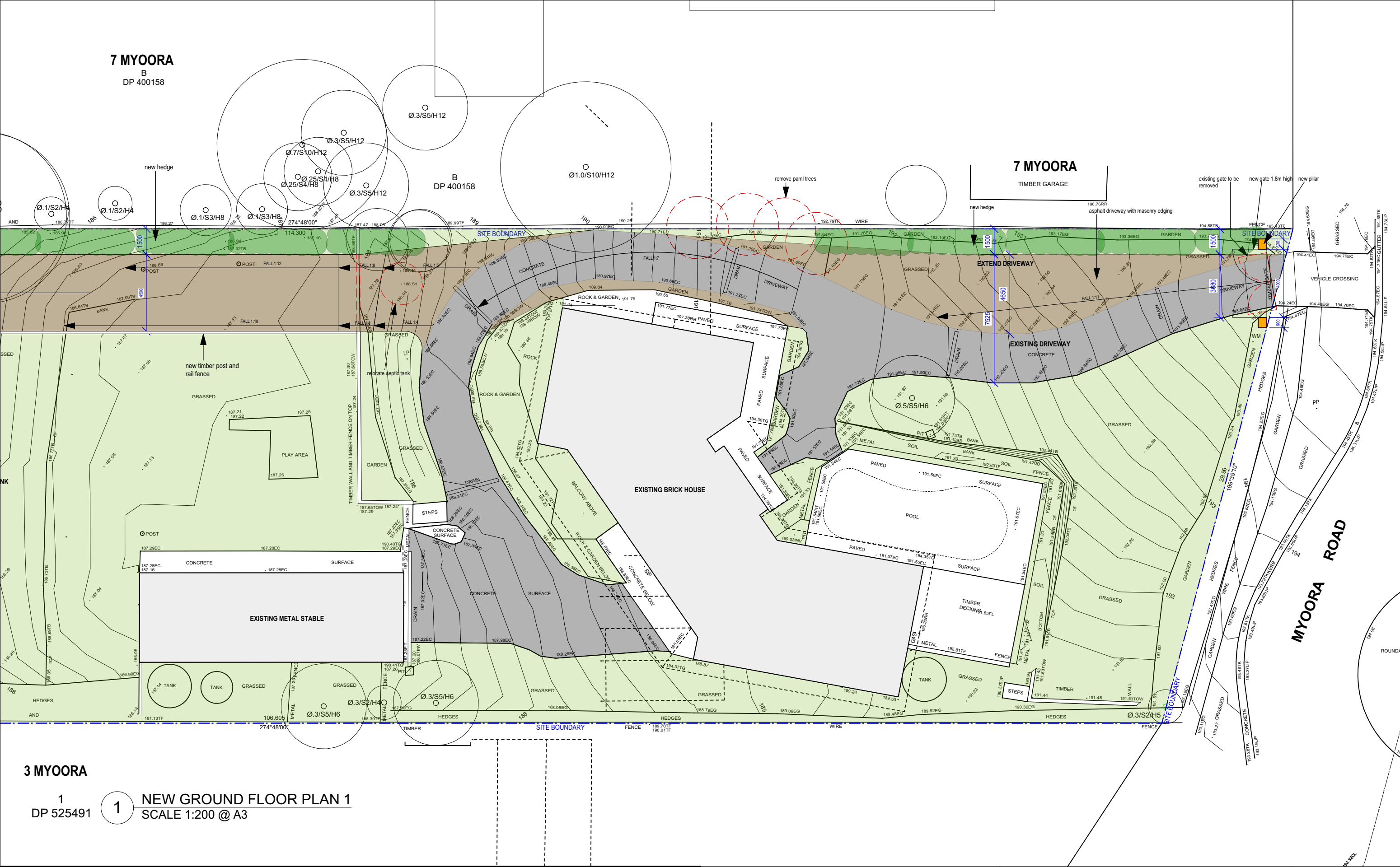
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C	19/8/21	Client Review	BAL	TIMBER BALUSTRADE BAL FZ	EXISTING WALL	
D	30/8/21	DA 95% complete	CL	CEILING	WALL TO BE DEMOLISHED	
E	1/12/21	DA Submission	CT	CERAMIC TILE	NEW WALL	
			CRS	CLEAR ROOF SHEETING		
			EXG	EXISTING		
			F	FRIDGE		
			FC	FIBRE CEMENT		
			FFL	FINISHED FLOOR LEVEL		
			GD	NEW GRATED DRAIN		
			MRS	METAL ROOF SHEETING		
			MC	METAL WALL CLADDING		



CLIENT:
David Cussen

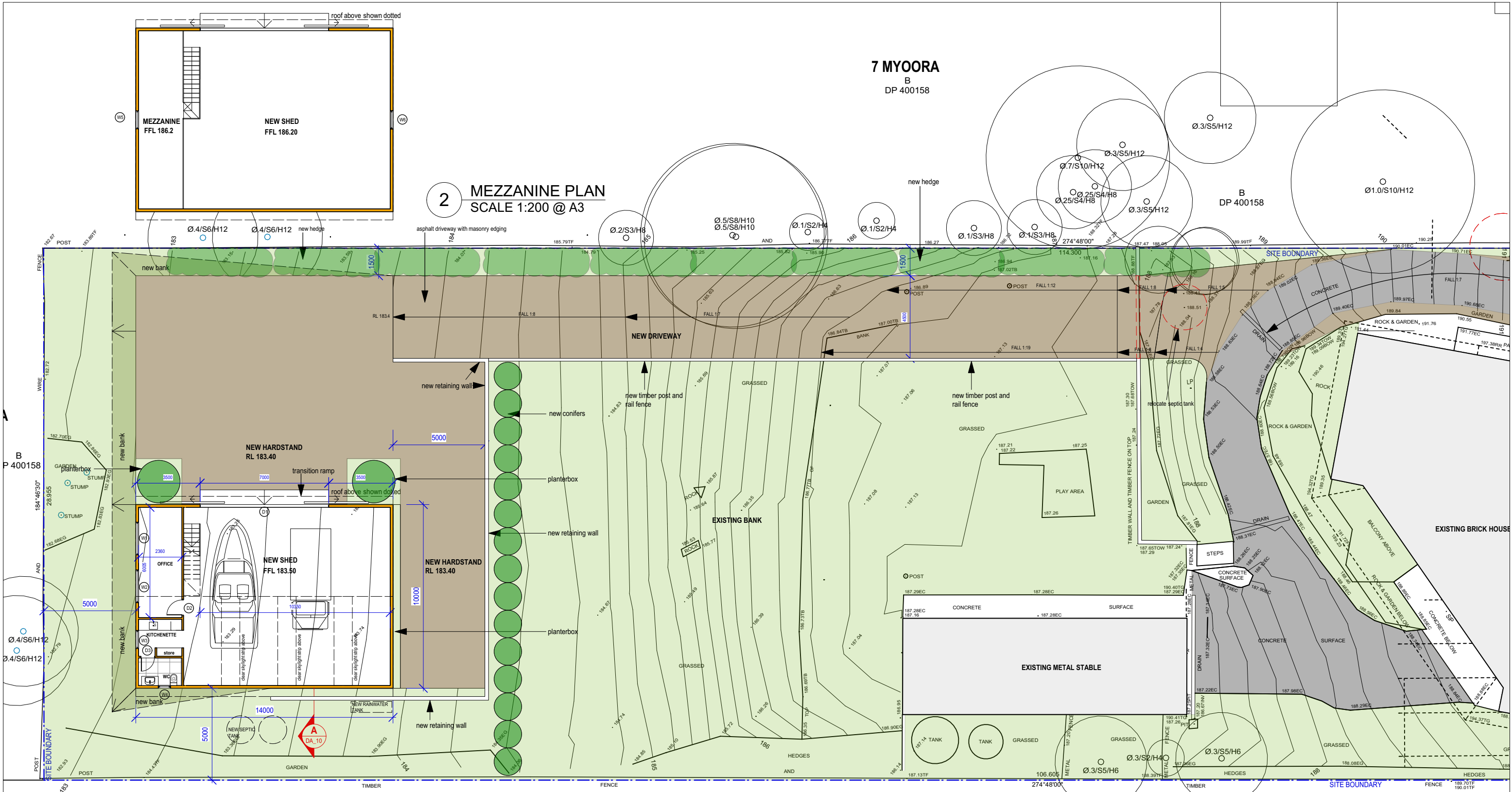
ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:	SITE PLAN / SITE ANALYSIS / ROOF PLAN	DRAWN:	JE	SHEET NO:	DA01
PROJECT:	New Shed	CHKD:		SCALE @ A3:	1:500
PROJECT NO:	CUS0821	ISSUE TYPE:	DA	ISSUE DATE:	1/12/21
				REVISION:	E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



 CADENCE & CO	CADENCE & CO DESIGN		REVISION: C		DATE: 19/8/21	REVISION NOTE: Client Review	<div>AW BAL CL CT CRS EXG F FC FFL GD MRS MC</div> <div>ALUMINIUM WINDOW DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING</div> <div>WALL LEGEND — EXISTING WALL - - - WALL TO BE DEMOLISHED — NEW WALL</div> <div></div>	Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au		D		30/8/21	DA 95% complete
	ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD		E		1/12/21	DA Submission							
	CLIENT:		David Cussen										
	ADDRESS:		5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554										
DRAWING:		NEW GROUND FLOOR PLAN 1					DRAWN:		JE	SHEET NO: DA02			
PROJECT:		New Shed					CHKD:			SCALE @ A3: 1:200			
PROJECT NO:		CUS0821					ISSUE TYPE:		DA	REVISION: E			
ISSUE DATE:		1/12/21											



7 MYOORA
B
DP 400158

B
DP 400158

2 MEZZANINE PLAN
SCALE 1:200 @ A3



B
P 400158

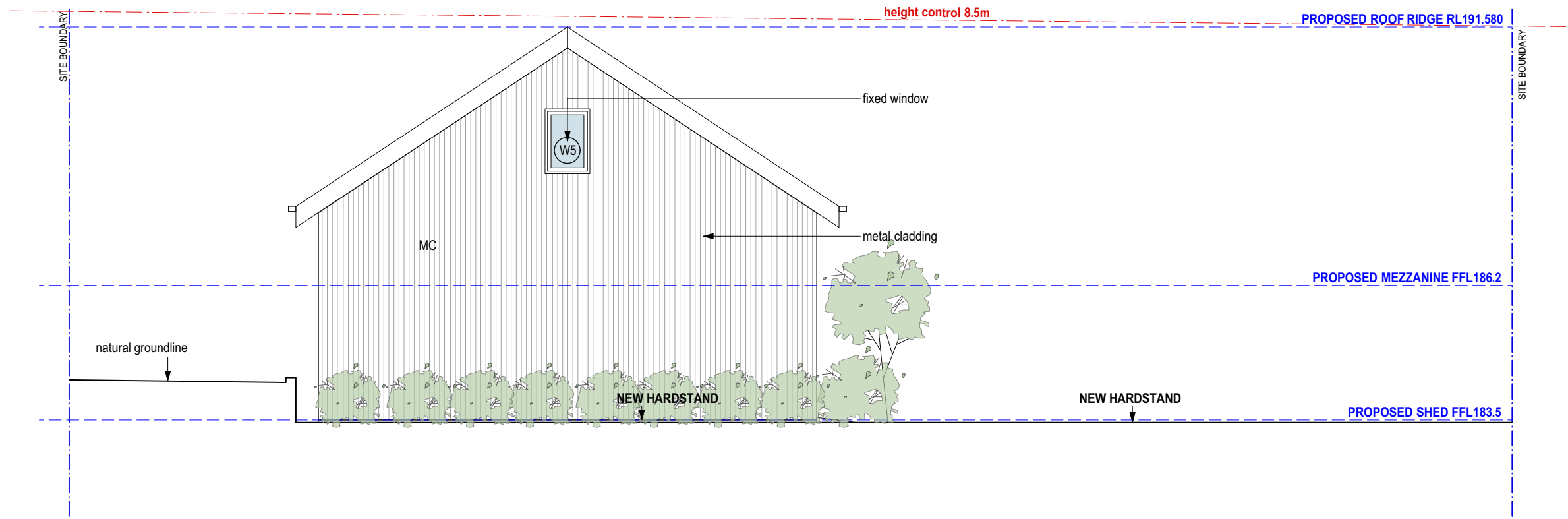
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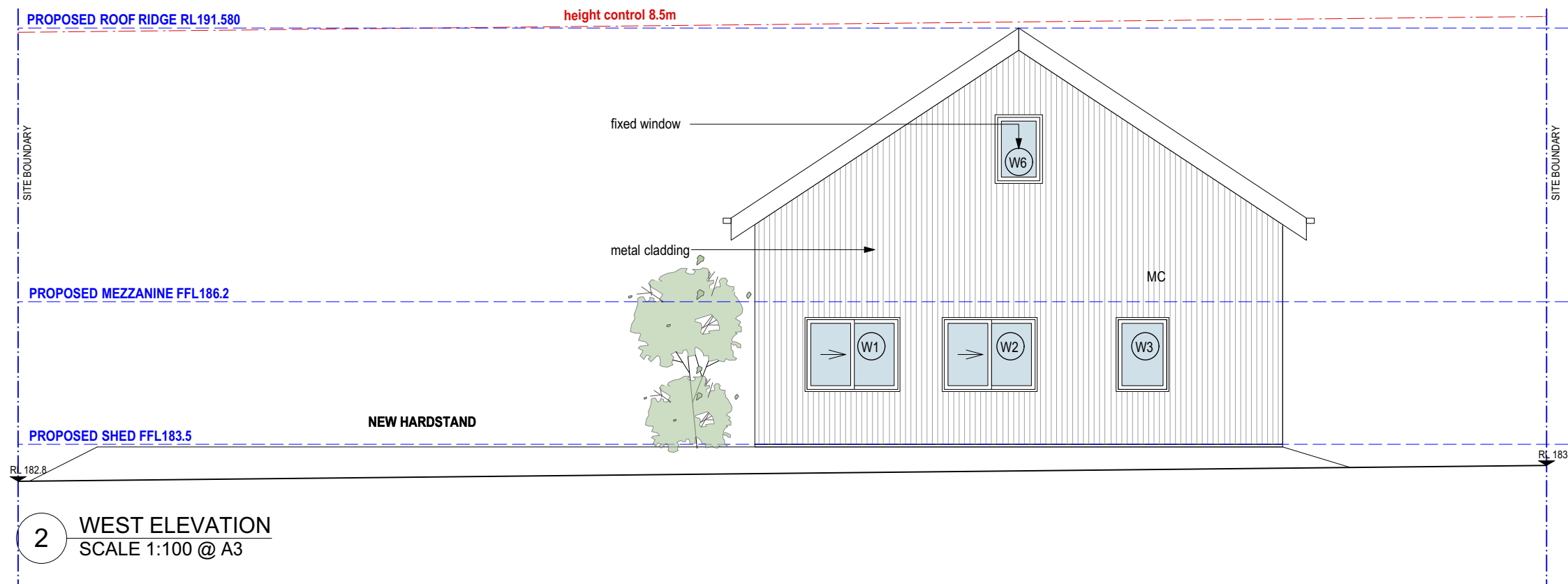
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DP 525491

1 NEW GROUND FLOOR PLAN 2
SCALE 1:200 @ A3

 <div>CADENCE & CO</div>	CADENCE & CO DESIGN		REVISION: C	DATE: 19/8/21	REVISION NOTE: Client Review	AW BAL CL CT CRS EXG F FC FFL GD MPS MC	ALUMINIUM WINDOW/ DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING	<div>WALL LEGEND</div> <div><div></div> EXISTING WALL</div> <div><div></div> WALL TO BE DEMOLISHED</div> <div><div></div> NEW WALL</div>		CLIENT:	David Cussen	DRAWING:	NEW GROUND FLOOR PLAN 2		DRAWN:	JE	SHEET NO:	DA03
	ADDRESS:	5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554	PROJECT:	New Shed		CHKD:		SCALE @ A3:		1:200								
			PROJECT NO:	CUS0821		ISSUE TYPE:	DA			ISSUE DATE:	1/12/21	REVISION:	E					
	ABN: 12 168 714 752 Nominated Architect: Sam Samarhandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD																	



1 EAST ELEVATION
SCALE 1:100 @ A3



2 WEST ELEVATION
SCALE 1:100 @ A3



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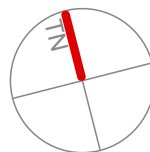
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Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:
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D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

AW
BAL
CL
CT
CRS
EXG
F
FC
FFL
GD
MRS
MC

ALUMINIUM WINDOW/ DOOR
TIMBER BALUSTRADE BAL FZ
CEILING
CERAMIC TILE
CLEAR ROOF SHEETING
EXISTING
FRIDGE
FIBRE CEMENT
FINISHED FLOOR LEVEL
NEW GRATED DRAIN
METAL ROOF SHEETING
METAL WALL CLADDING

WALL LEGEND
— EXISTING WA
- - - WALL TO BE
DEMOLISHED
— NEW WALL



CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
ELEVATIONS

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE:
DA

DRAWN:
JE

CHKD:

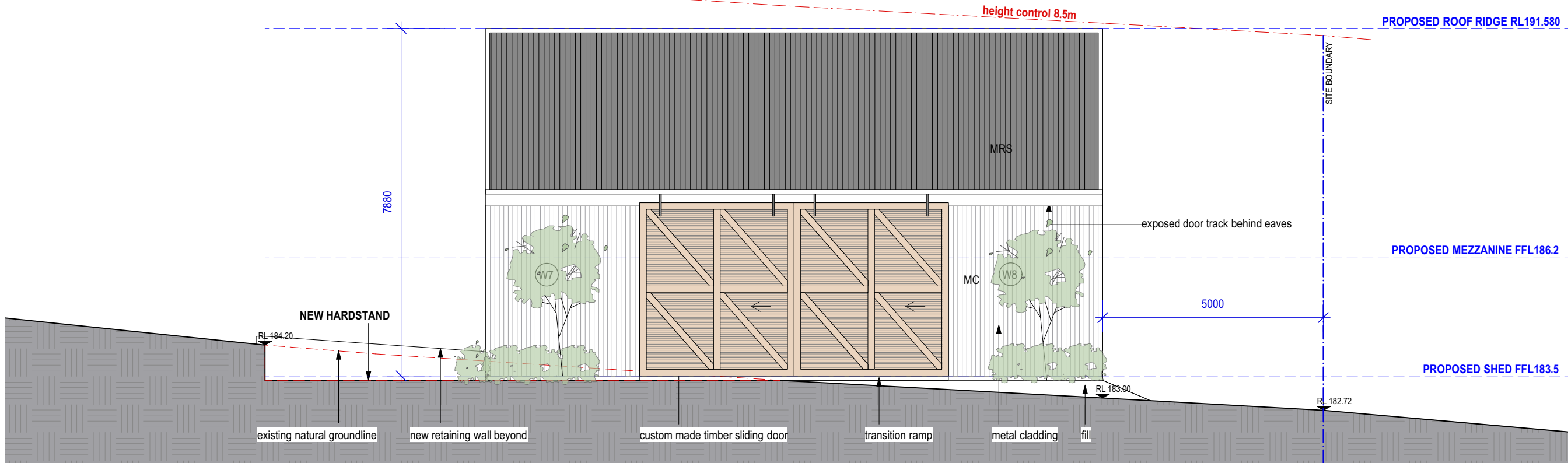
ISSUE DATE:
1/12/21

SHEET NO:
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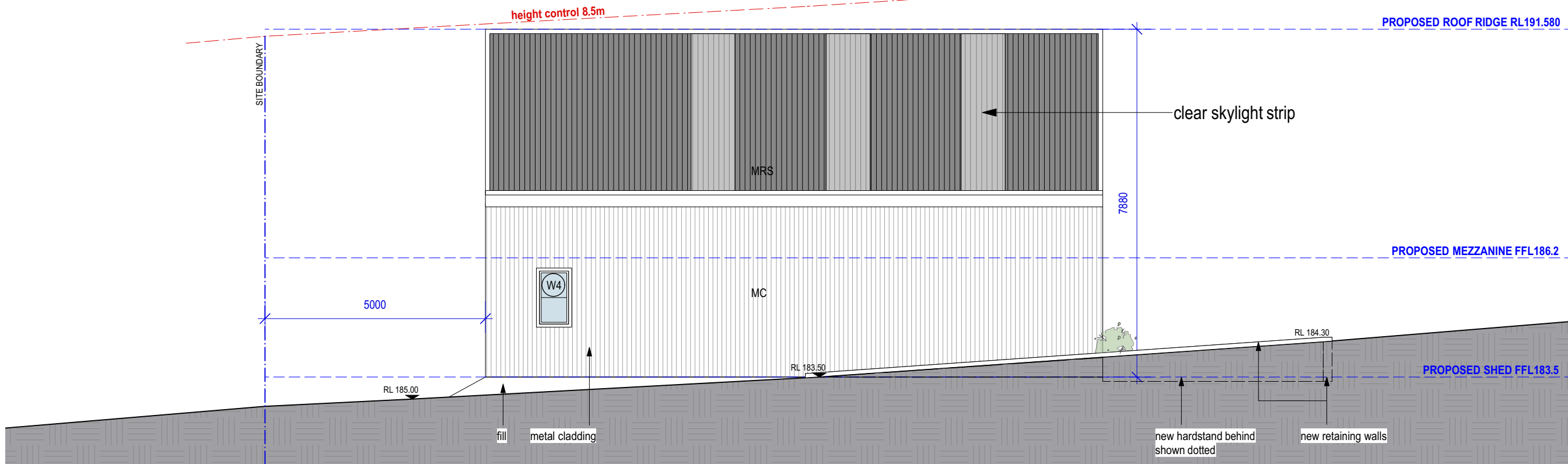
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1:200

REVISION:
E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 NORTH ELEVATION
SCALE 1:100 @ A3



2 SOUTH ELEVATION
SCALE 1:100 @ A3



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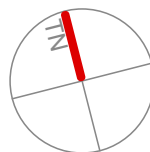
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D	30/8/21	DA 95% complete
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AW
BAL
CL
CT
CRS
EXG
F
FC
FCL
GD
MRS
MC

ALUMINIUM WINDOW/DOOR
TIMBER BALUSTRADE BAL FZ
CEILING
CERAMIC TILE
CLEAR ROOF SHEETING
EXISTING
FRIDGE
FIBRE CEMENT
FINISHED FLOOR LEVEL
NEW GRATED DRAIN
METAL ROOF SHEETING
METAL WALL CLADDING

WALL LEGEND
— EXISTING WA
- - - WALL TO BE DEMOLISHED
— NEW WALL



CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
ELEVATIONS

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE:
DA

DRAWN:
JE

CHKD:

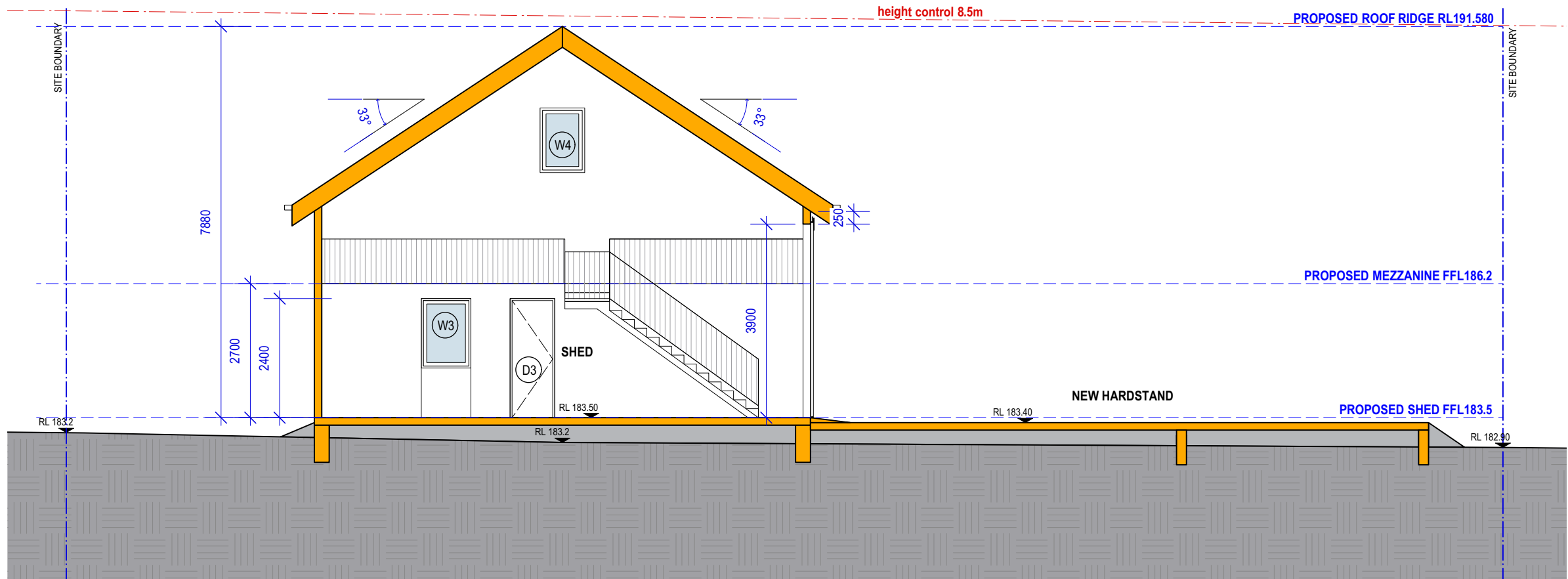
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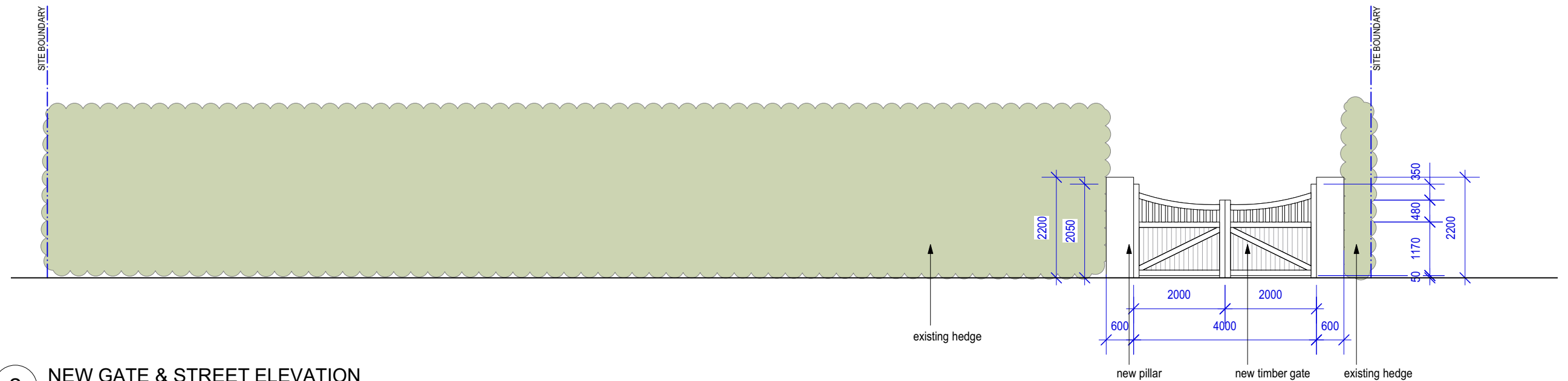
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REVISION:
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GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 SECTION A
SCALE 1:100 @ A3



2 NEW GATE & STREET ELEVATION
SCALE 1:100 @ A3



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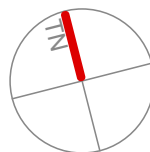
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P 94501950
E info@cadenceandco.com.au

ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:
C	19/8/21	Client Review
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

AW ALUMINIUM WINDOW/DOOR
BAL TIMBER BALUSTRADE BAL FZ
CL CEILING
CT CERAMIC TILE
CRS CLEAR ROOF SHEETING
EXG EXISTING
F FRIDGE
FC FIBRE CEMENT
FLL FINISHED FLOOR LEVEL
GD NEW GRATED DRAIN
MRS METAL ROOF SHEETING
MC METAL WALL CLADDING

WALL LEGEND
— EXISTING WA
- - - WALL TO BE DEMOLISHED
— NEW WALL



CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
SECTION

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE:
DA

DRAWN:
JE

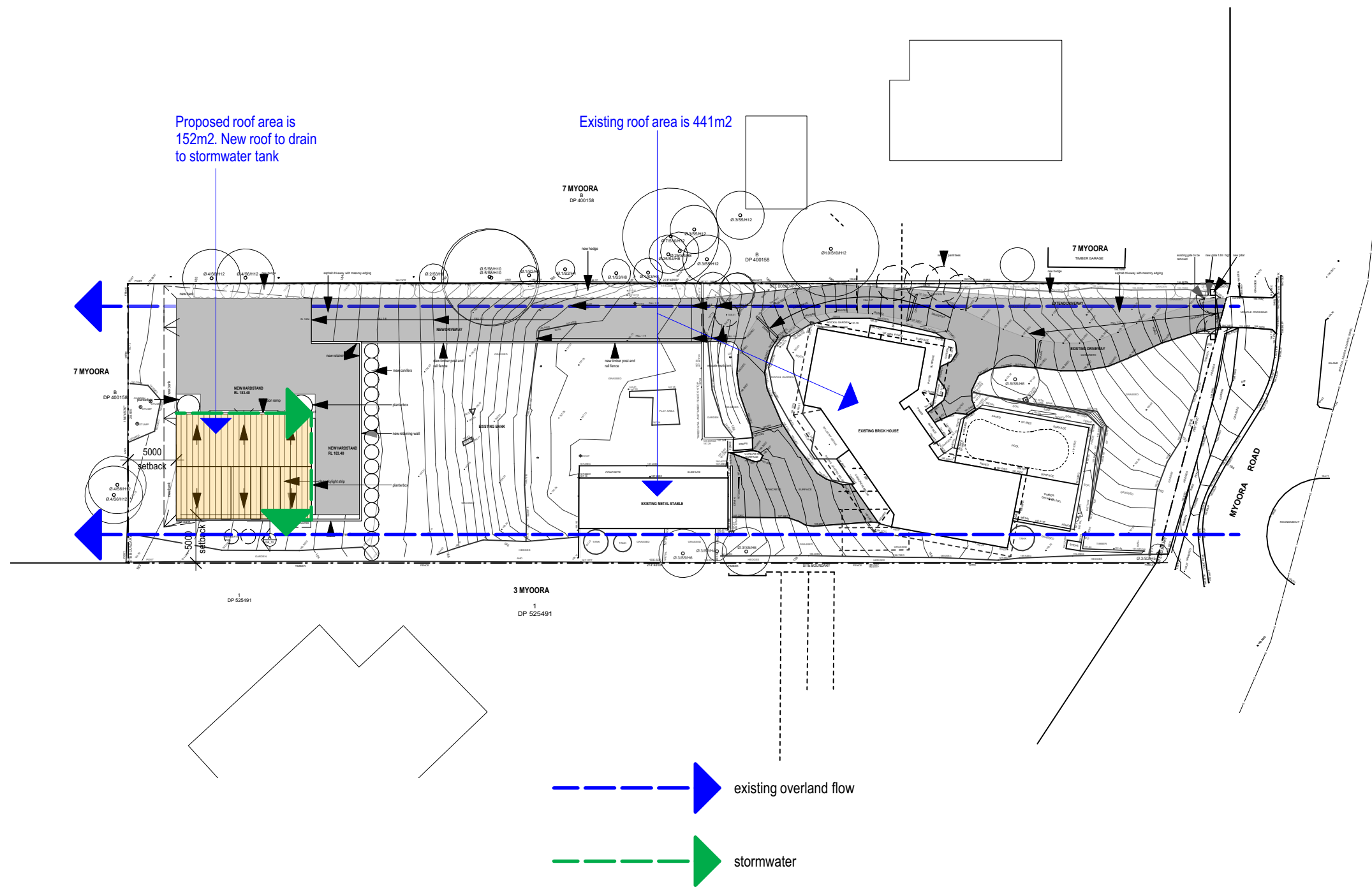
CHKD:

ISSUE DATE:
1/12/21


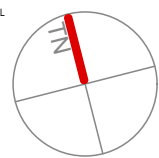
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SCALE @ A3:
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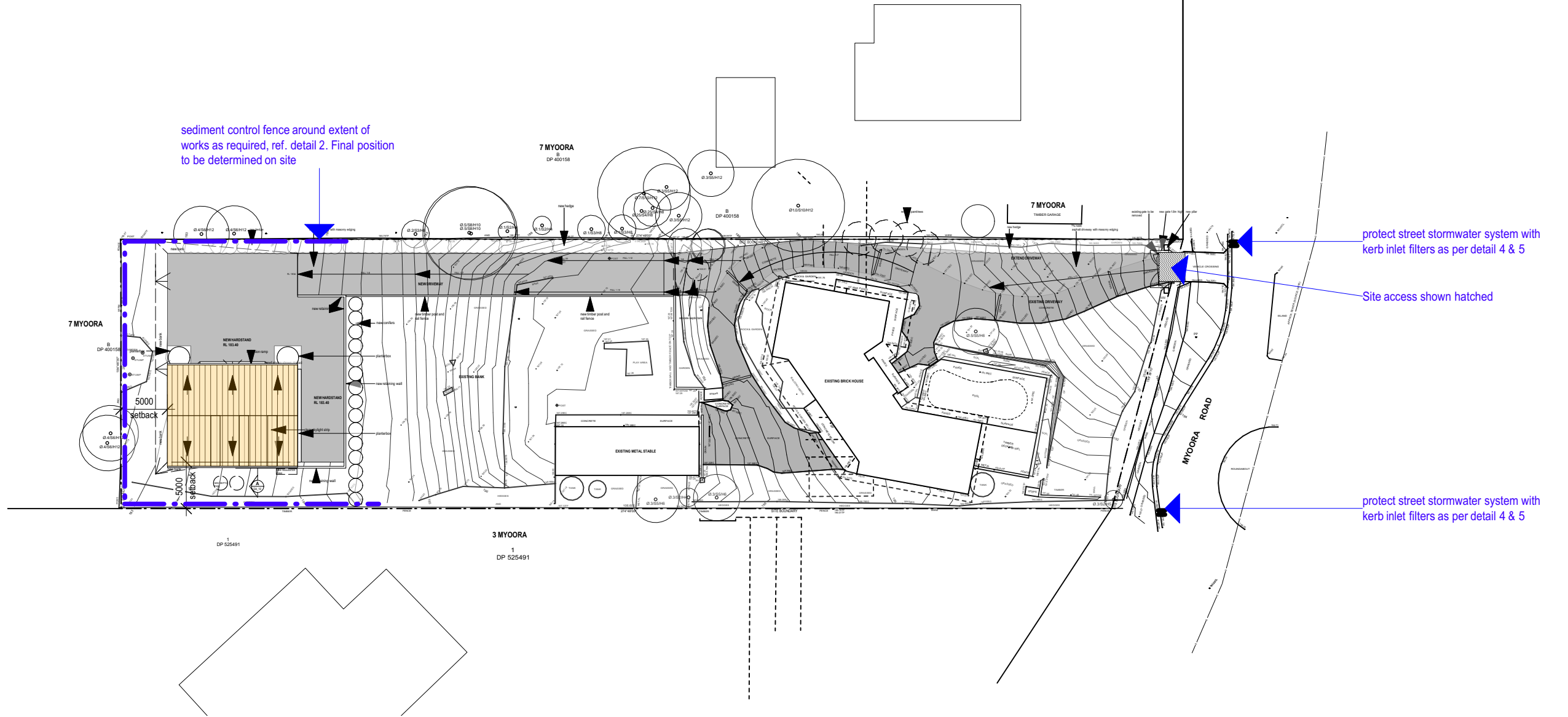
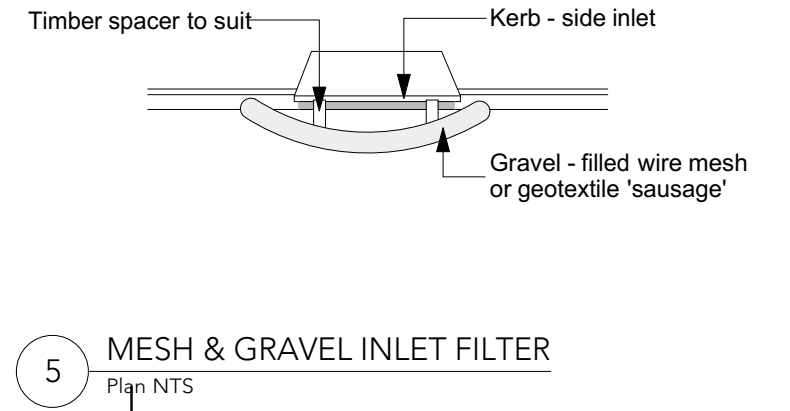
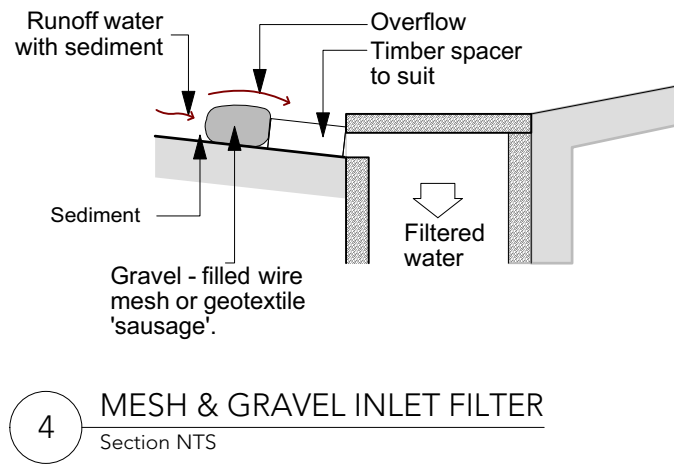
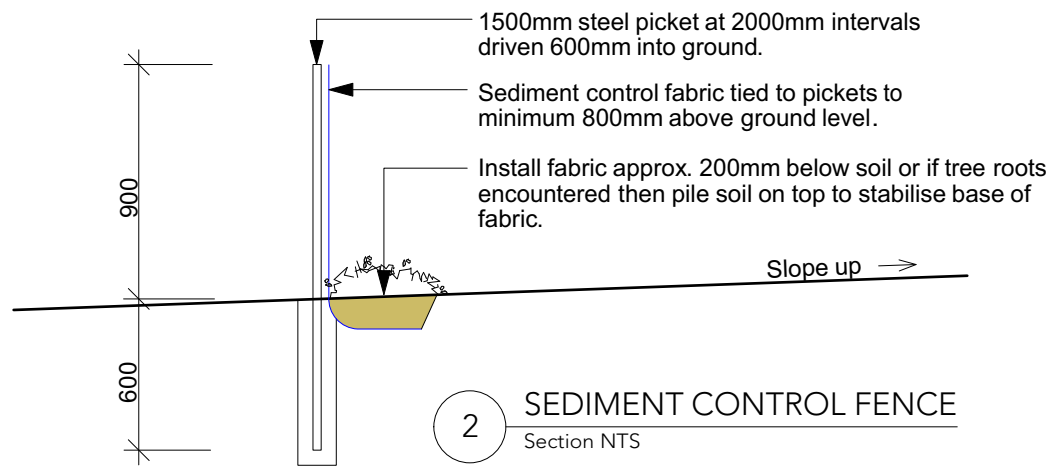
REVISION:
E



1 STORMWATER CONCEPT PLAN
SCALE 1:500 @ A3

 CADENCE & CO DESIGN Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD	REVISION: C D E	DATE: 19/8/21 30/8/21 1/12/21	REVISION NOTE: Client Review DA 95% complete DA Submission	AW BAL CL CT CRS EXG F FC FFL GD MRS MC	ALUMINIUM WINDOW/DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING	WALL LEGEND EXISTING WALL WALL TO BE DEMOLISHED NEW WALL		CLIENT: David Cussen	DRAWING: STORMWATER CONCEPT PLAN	DRAWN: JE	SHEET NO: DA08
								ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554	PROJECT: New Shed	CHKD:	SCALE @ A3: 1:500
									PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 1/12/21
											REVISION: E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



1 SEDIMENT CONTROL PLAN
SCALE 1:500 @ A3



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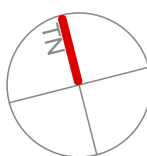
Suite 7, 287 Mona Vale Rd,
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ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:
C	19/8/21	Client Review
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

AW ALUMINIUM WINDOW/DOOR
BAL TIMBER BALUSTRADE BAL FZ
CL CEILING
CT CERAMIC TILE
CRS CLEAR ROOF SHEETING
EXG EXISTING
F FRIDGE
FC FIBRE CEMENT
FCL FINISHED FLOOR LEVEL
GD NEW GRATED DRAIN
MRS METAL ROOF SHEETING
MC METAL WALL CLADDING

WALL LEGEND
— EXISTING WALL
- - - WALL TO BE DEMOLISHED
— NEW WALL



CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
EROSION & SEDIMENT CONTROL PLAN

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE:
DA

DRAWN:
JE

CHKD:
SCALE @ A3:
1:500

ISSUE DATE:
1/12/21

REVISION:
E

WINDOW SCHEDULE							
ID	Type	Opening Height (mm)	Opening Width (mm)	Unit Area (m2)	Glazing Type	Head (nom.)	Comments
W1	sliding window	1400	1800	2.5	low 'e' glass	2400	New window to office
W2	sliding window	1400	1800	2.5	low 'e' glass	2400	New window to office
W3	awning window	1400	1000	1.4	clear	2400	New window to kitchenette
W4	awning window	1200	660	0.8	clear	2400	New window to bathroom
W5	fixed window	1300	900	1.2	clear	6240	New highlight window to shed
W6	fixed window	1300	900	1.2	clear	6240	New highlight window to shed
DOOR SCHEDULE							
D1	barn style sliding door	3800	7000	N/A	no glazing	3800	New door shed
D2	hinged door	2400	900	N/A	no glazing	3800	New door to office
D3	hinged door	2100	800	N/A	no glazing	3800	New door to bathroom

NOTES:

1. All external glazing units to have aluminium powdercoat frames as selected. Owner to give final approval to external glazing units before ordering/ manufacture.

2. All glazing to comply with Part 3.6 of the current BCA.

3. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units. Contact Cadence & Co - Small works department if dimensions conflict.


4. Refer to Elevations for fixed/ openable sashes.

5. Internal door sizes generally as noted on plan, to be painted flush solid core doors unless noted otherwise.

6. Refer to current Basix certificate

7. Client to approve extent of insect screens.

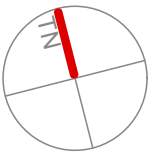
8. Refer to Fire Report. Glazing to meet Bal rating, flame zone



CADENCE & CO DESIGN

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Nominated Architect: Sam Samarghandi NSW ARB 9112
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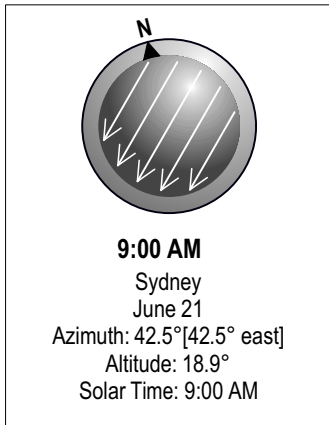
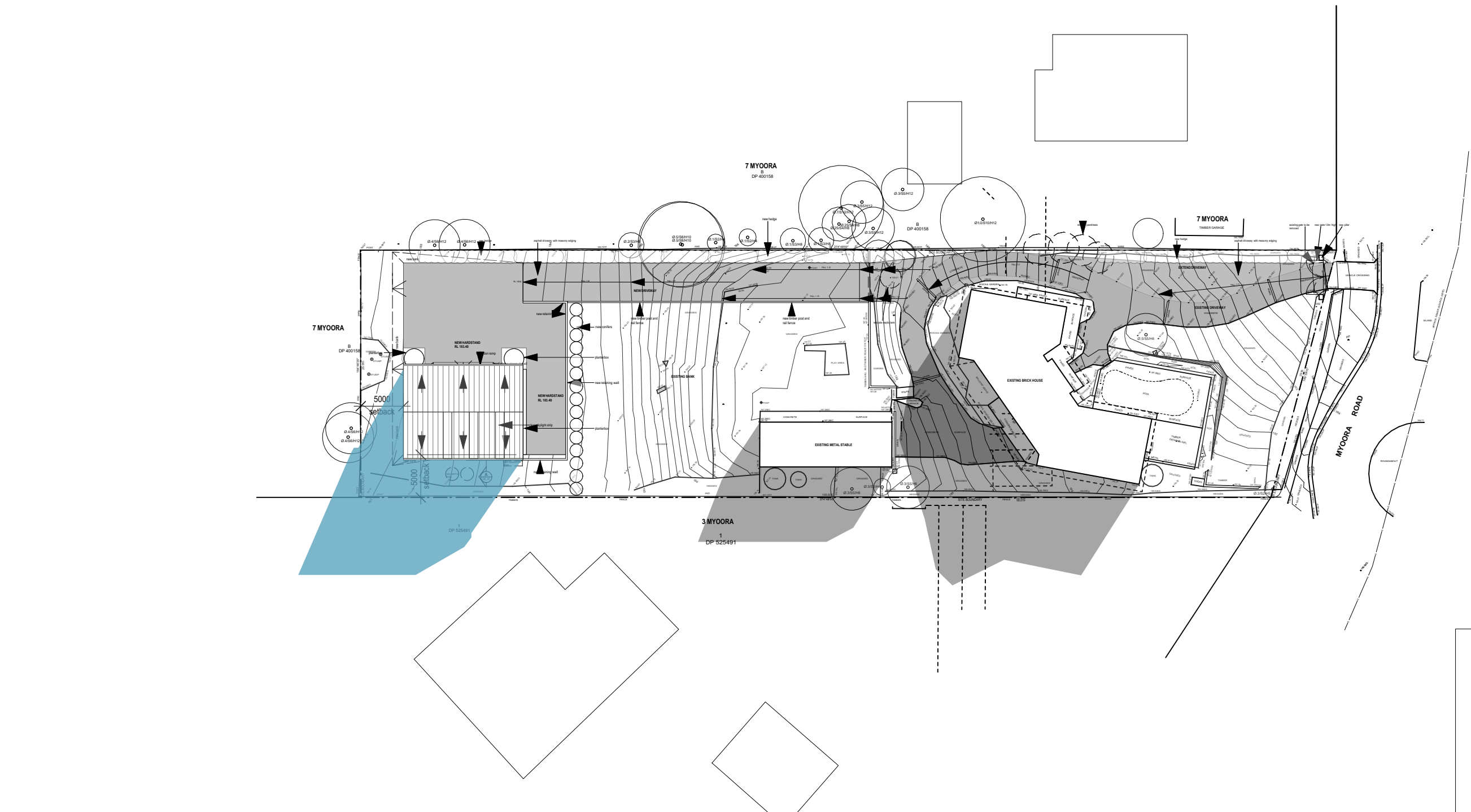
REVISION:	DATE:	REVISION NOTE:	AW	ALUMINIUM WINDOW DOOR	WALL LEGEND EXISTING WA WALL TO BE DEMOLISHED NEW WALL 
C	19/8/21	Client Review	BAL	TIMBER BALUSTRADE BAL FZ	
D	30/8/21	DA 95% complete	CL	CEILING	
E	1/12/21	DA Submission	CT	CERAMIC TILE	
			CRS	CLEAR ROOF SHEETING	
			EXG	EXISTING	
			F	FRIDGE	
			FC	FIBRE CEMENT	
			FFL	FINISHED FLOOR LEVEL	
			GD	NEW GRATED DRAIN	
			MRS	METAL ROOF SHEETING	
			MC	METAL WALL CLADDING	

CLIENT:
David Cussen

ADDRESS:
**5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554**

DRAWING: DOOR & WINDOW SCHEDULE	DRAWN: JE	SHEET NO: DA10
PROJECT: New Shed	CHKD:	SCALE @ A3: NTS
PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 1/12/21
		REVISION: E


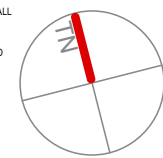
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



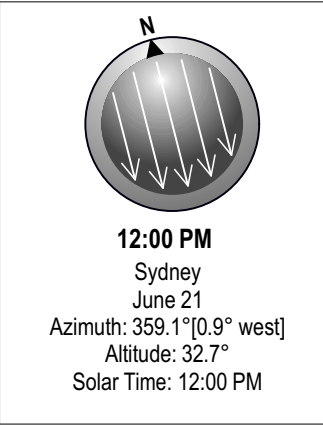
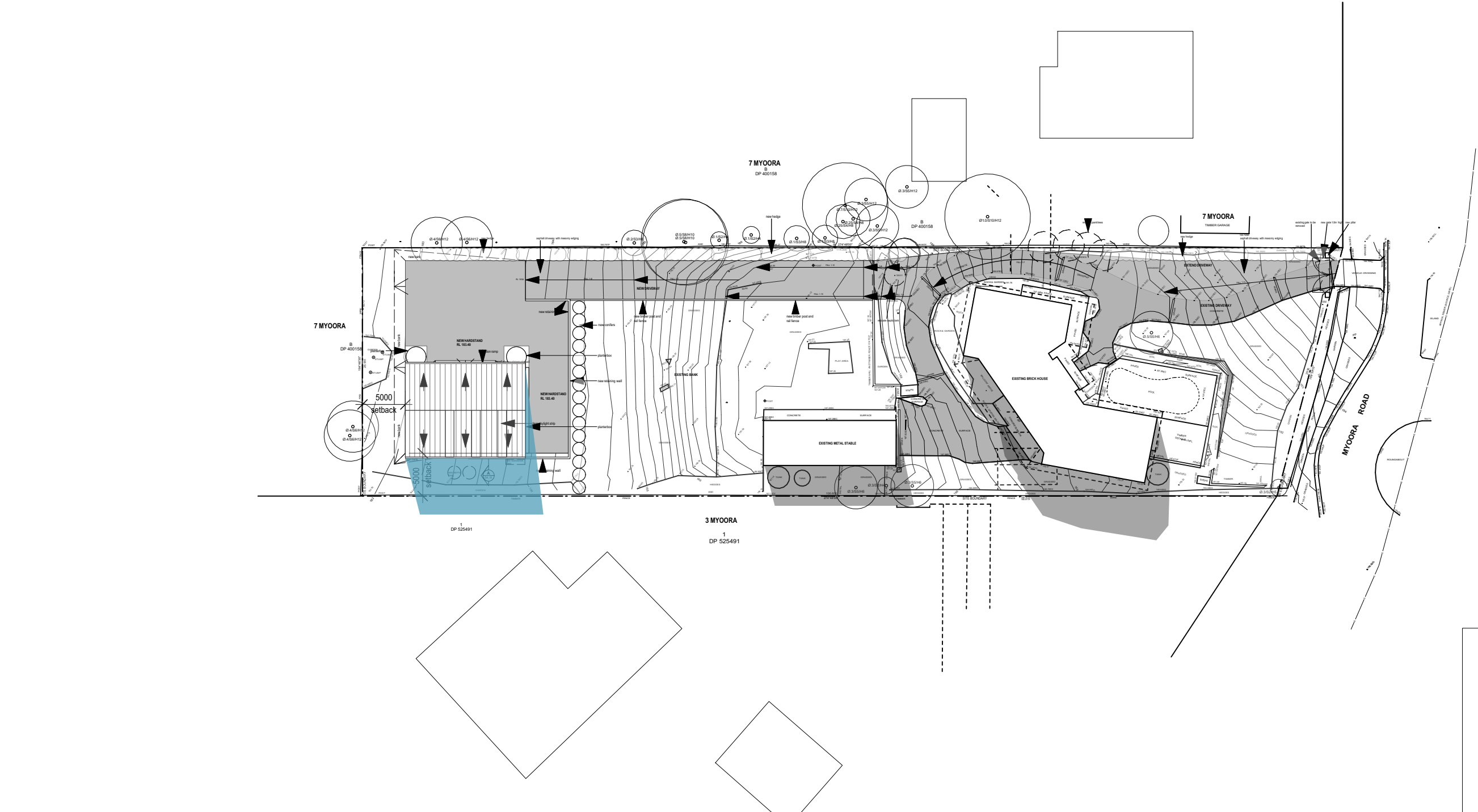
SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

1 SITE SHADOW - 21 JUNE @ 9AM
SCALE 1:500 @ A3

 CADENCE & CO DESIGN Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD	REVISION: C		DATE: 19/8/21	REVISION NOTE: Client Review	AW BAL CL CT CRS EXG F FC FFL GD MRS MC	ALUMINIUM WINDOW/DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING	WALL LEGEND <div><div></div> EXISTING WALL</div> <div><div></div> WALL TO BE DEMOLISHED</div> <div><div></div> NEW WALL</div>		CLIENT: David Cussen		DRAWING: SHADOW DIAGRAM	DRAWN: JE	SHEET NO: DA1
	ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554		PROJECT: New Shed	CHKD:					SCALE @ A3: 1:500				
			PROJECT NO: CUS0821	ISSUE TYPE: DA					ISSUE DATE: 1/12/21	REVISION: E			

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

1 SITE SHADOW - 21 JUNE @ 12PM
SCALE 1:500 @ A3



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E info@cadenceandco.com.au
ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:
C	19/8/21	Client Review
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

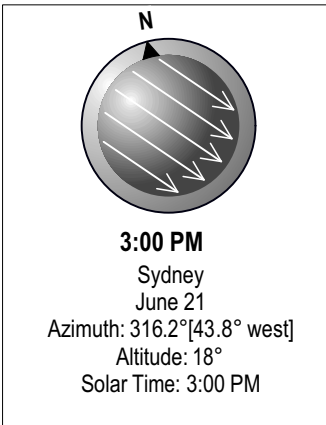
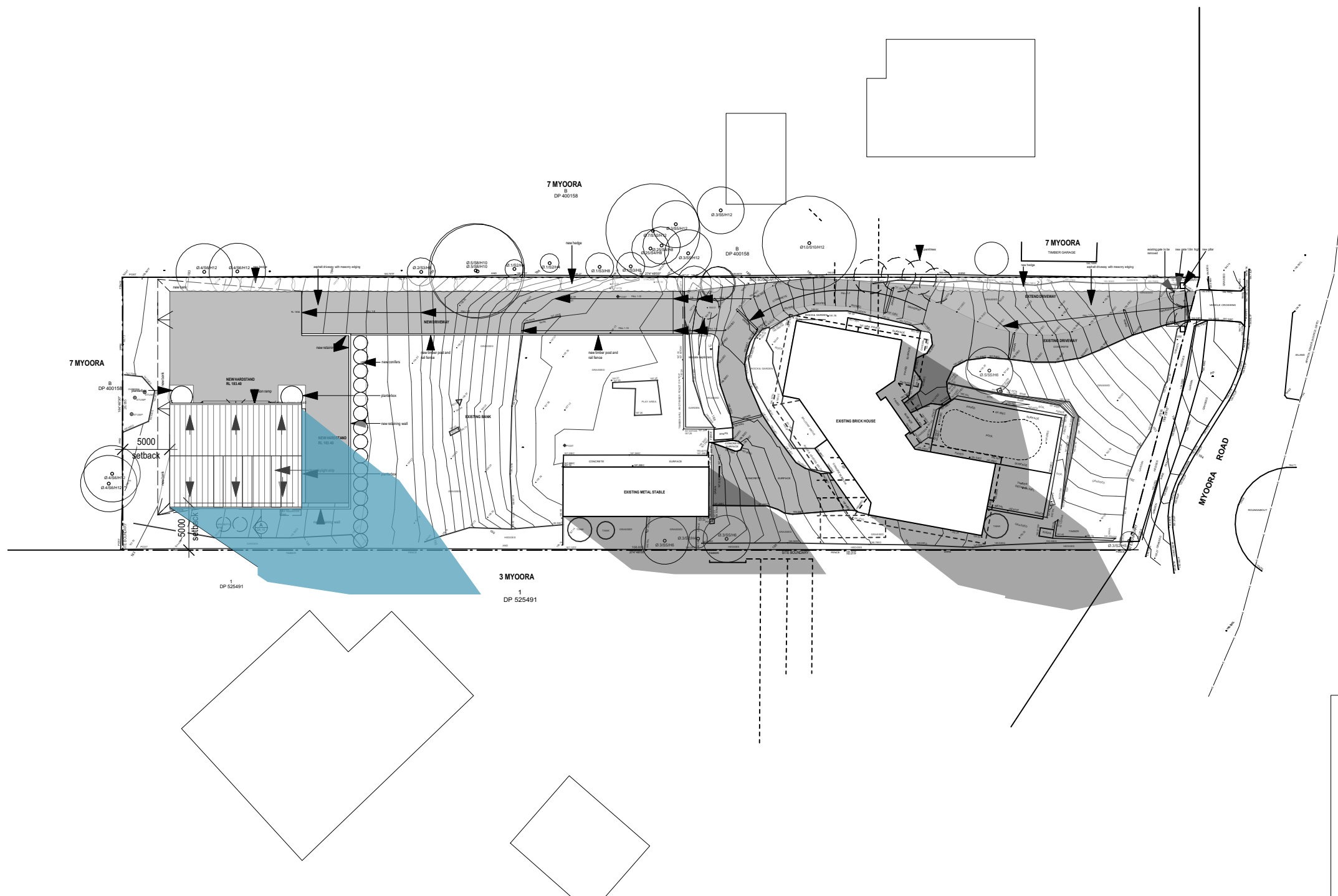
AW BAL CL CT CRS EXG F FC FFL GD MRS MC	ALUMINIUM WINDOW/DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING	WALL LEGEND — EXISTING WALL - - - WALL TO BE DEMOLISHED — NEW WALL	
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CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING: SHADOW DIAGRAM	DRAWN: JE	SHEET NO: DA12
PROJECT: New Shed	CHKD:	SCALE @ A3: 1:500
PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 1/12/21
		REVISION: E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

1 SITE SHADOW - 21 JUNE @ 3PM
SCALE 1:500 @ A3



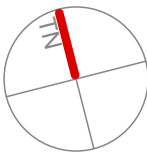
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ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:
C	19/8/21	Client Review
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

AW
BAL
CL
CT
CRS
EXG
F
FC
FFL
GD
MRS
MC

ALUMINIUM WINDOW/DOOR
TIMBER BALUSTRADE BAL FZ
CEILING
CERAMIC TILE
CLEAR ROOF SHEETING
EXISTING
FRIDGE
FIBRE CEMENT
FINISHED FLOOR LEVEL
NEW GRATED DRAIN
METAL ROOF SHEETING
METAL WALL CLADDING

WALL LEGEND
EXISTING WALL
WALL TO BE DEMOLISHED
NEW WALL



CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
SHADOW DIAGRAM

PROJECT:
New Shed



PROJECT NO:
CUS0821

ISSUE TYPE:
DA

DRAWN: JE	SHEET NO: DA13
CHKD:	SCALE @ A3: 1:500
ISSUE DATE: 1/12/21	REVISION: E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



<div></div> <div>CADENCE & CO</div>	CADENCE & CO DESIGN	REVISION: C	DATE: 19/8/21	REVISION NOTE: Client Review	AW BAL CL CT CRS EXVG F FC FFL GD MRS MC	ALUMINIUM WINDOW/DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING	WALL LEGEND EXISTING WA WALL TO BE DEMOLISHED NEW WALL		CLIENT: David Cussen	DRAWING: EXTERNAL MATERIALS & FINISHES	DRAWN: JE	SHEET NO: DA14		
	Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au	D	30/8/21	DA 95% complete						ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554	PROJECT: New Shed	CHKD:	SCALE @ A3: NTS	
	ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD	E	1/12/21	DA Submission							PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 1/12/21	REVISION: E
	GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS. BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL. BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.													

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A429069_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 01, December 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	5 Myoora Road_02
Street address	5 Myoora Road Terry Hills 2084
Local Government Area	Warringah Council
Plan type and number	Deposited Plan 525554
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Jane Anderson Architecture
ABN (if applicable): 79628347350

BASIX Certificate number: A429069_02


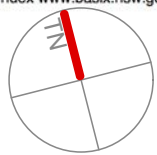
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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

BASIX Certificate number: A429069_02

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Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				

 CADENCE & CO DESIGN Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD	REVISION: C DATE: 19/8/21 REVISION NOTE: Client Review D 30/8/21 DA 95% complete E 1/12/21 DA Submission	Building Sustainability Index www.basix.nsw.gov.au 
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BASIX Certificate number: A429069_02

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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W1	W	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	W	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A429069_02

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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W3	W	0.9	11	6	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	S	0.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W5	W	0.8	11	6	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W6	E	0.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

CLIENT: David Cussen	DRAWING: BASIX CERTIFICATE	DRAWN: JE	SHEET NO: DA15
ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554	PROJECT: New Shed	CHKD:	SCALE @ A3: NTS
	PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 1/12/21
			REVISION: E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.