

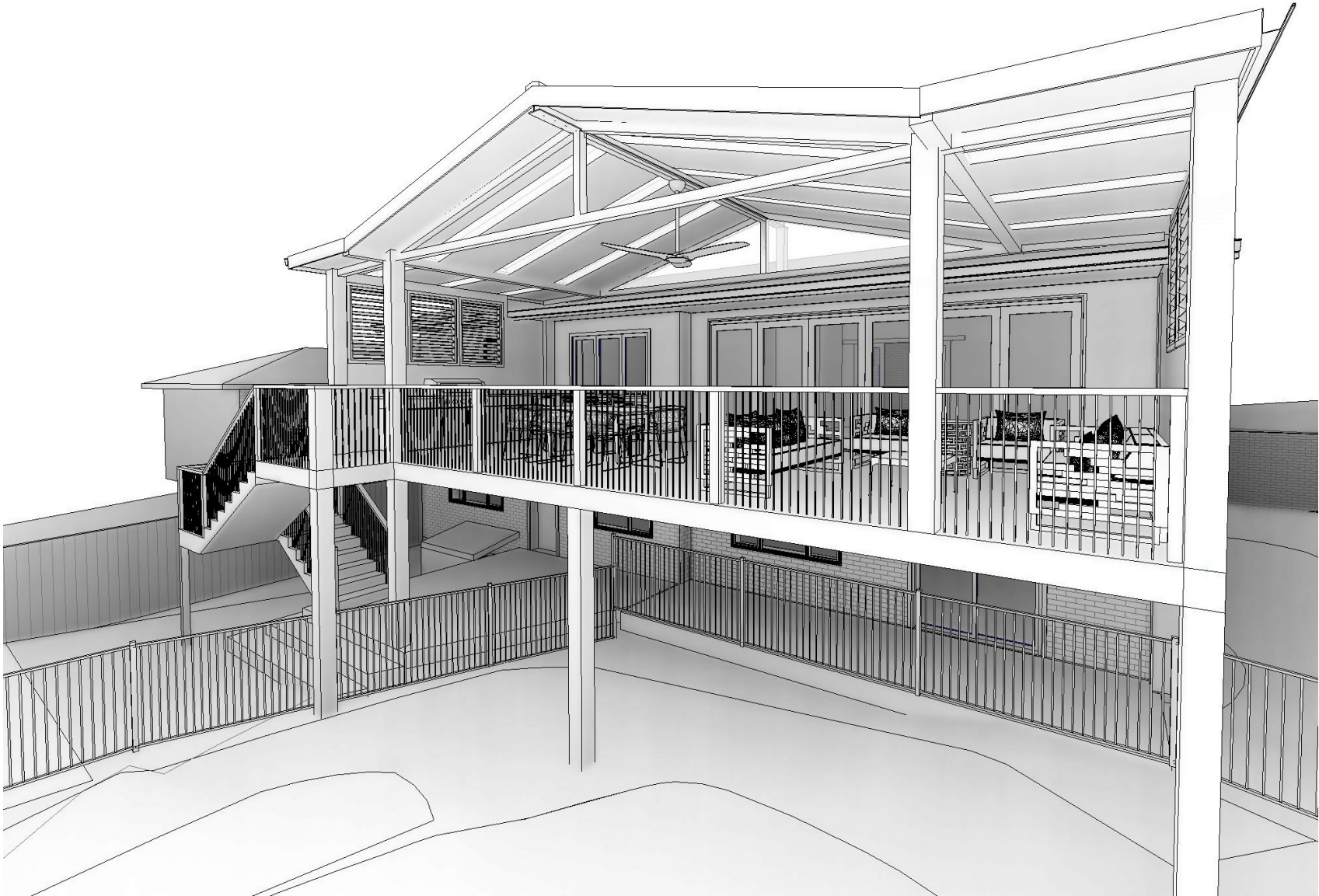
DEVELOPMENT APPLICATION

81 PRAHRAN AVE
DAVIDSON

Alterations and additions to the back deck, pergola, staircase and adjoining living/dining rooms.

CLIENT: Andrew Fraser & Jo Keating

Contact:
Jessica West
0439 077 378
jessica.west1@hotmail.com



Sheet List	
Sheet Number	Sheet Name
01	Site Analysis
02	Site Plan
03	Existing First Floor Plan
04	Existing South Elevation
05	Existing East Elevation
06	Proposed First Floor Plan
07	Proposed Ground Floor Plan
08	Proposed First Floor with pergola & ceiling underlay
09	Proposed Roof Plan

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11	East Elevation
12	West Elevation
13	Long Section
14	Cross Section
15	Side Boundary Section
16	Window, Door & BASIX Schedule
17	Landscape Plan
19	Finishes Schedule

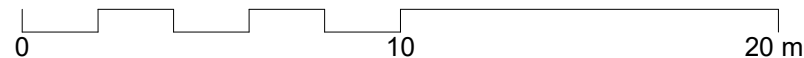
1 Site Analysis

1 : 200

LEGEND:

- EXISTING DWELLING
- PROPOSED ADDITION
- CONCRETE / PAVING
- TO BE DEMOLISHED
- TREES
- POOL

SCALE 1:200



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SCALE:

1 : 200

SHEET SIZE:
A3

DATE:
14.06.2021

PROJECT

Rear Deck Alterations & Additions

ADDRESS

81 Prahran Avenue, Davidson

CLIENT

Andrew Fraser & Jo Keating

DEVELOPMENT APPLICATION

DRAWING TITLE

Site Analysis

DA

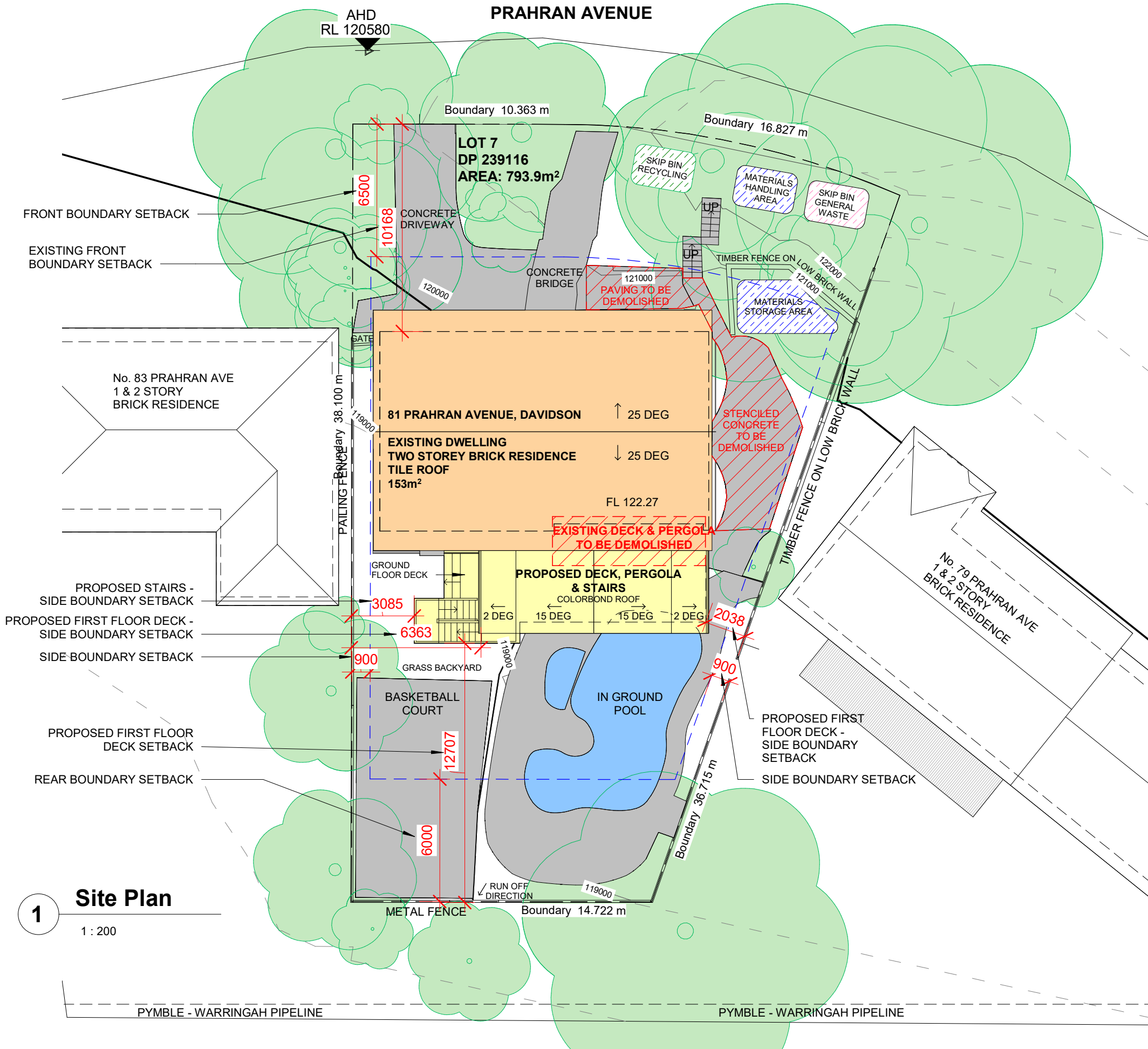
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01

DWG NUMBER:

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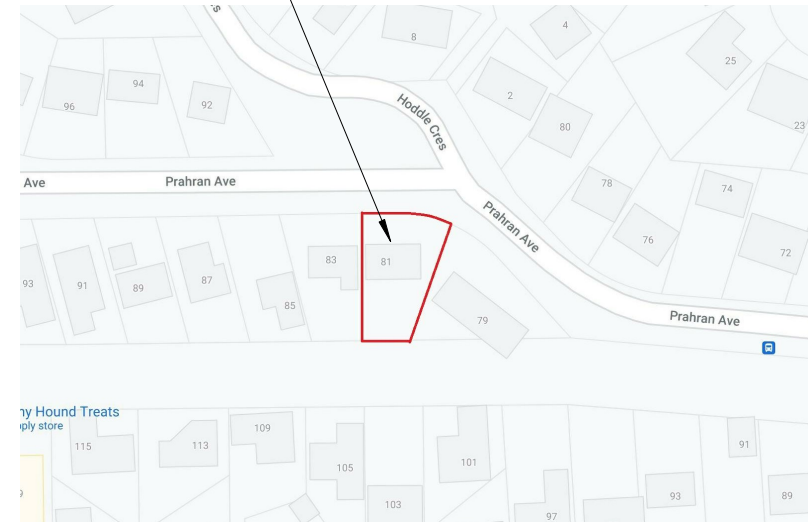
ISSUE:



SITE LOCATION

COORDINATES - 33°44'48.0" S 151°12'04.9" E

81 PRAHRAN AVENUE, DAVIDSON NSW 2085



LOT 7
D.P.239116

SITE AREA: 793.9 m2

ZONING: Zone R2 Low Density Residential

MAX HEIGHT 8.5m

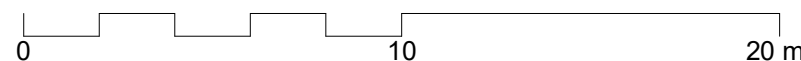
1 Site Plan

1 : 200

LEGEND:

EXISTING DWELLING	TO BE DEMOLISHED
PROPOSED ADDITION	TREES
CONCRETE / PAVING	POOL

SCALE 1:200



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DEVELOPMENT APPLICATION

DRAWING TITLE

Site Plan

DA

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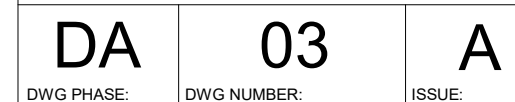
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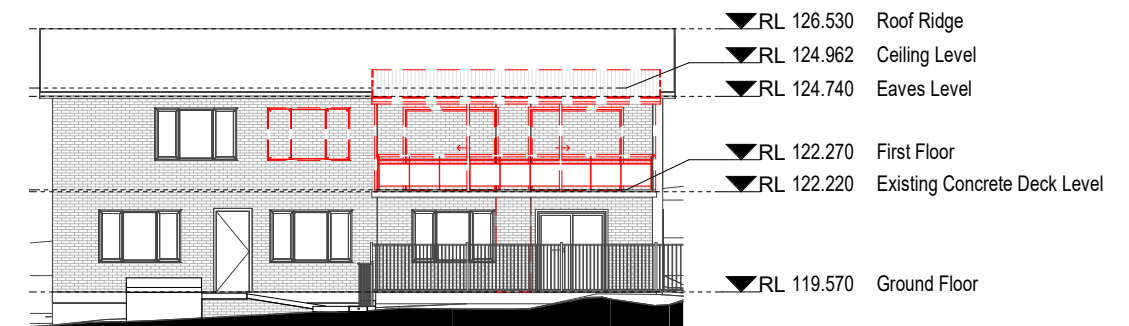
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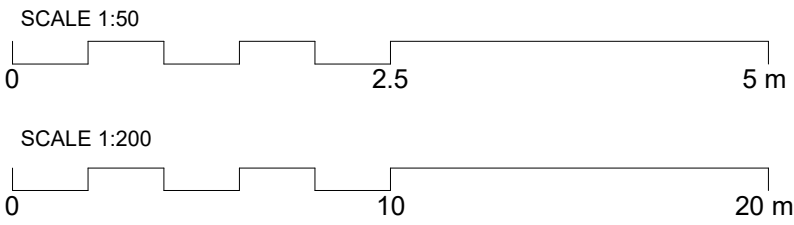


1 Existing South Elevation
1 : 50



2 South Elevation Demolition
1 : 200

LEGEND
= = = TO BE DEMOLISHED



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SCALE:
As indicated

SHEET SIZE:
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PROJECT
Rear Deck Alterations & Additions

ADDRESS
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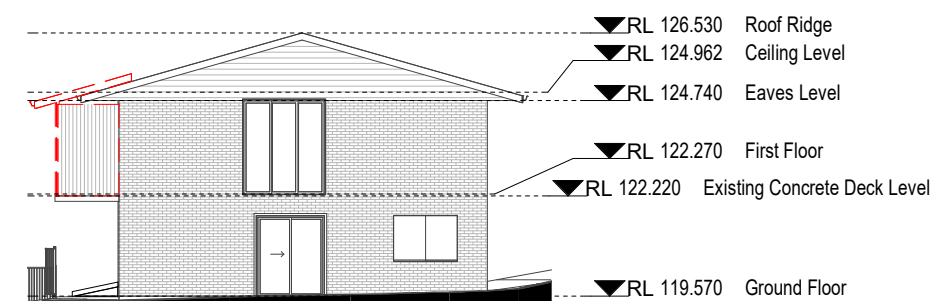
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DEVELOPMENT APPLICATION
DRAWING TITLE
Existing South Elevation

DA DWG PHASE:	04 DWG NUMBER:	A ISSUE:
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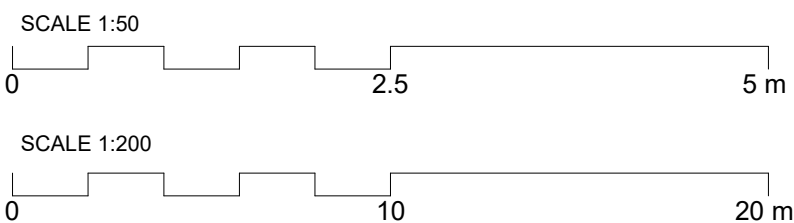


1 East Elevation
1 : 50



2 East Elevation Demolition
1 : 200

LEGEND
≡ ≡ ≡ TO BE DEMOLISHED



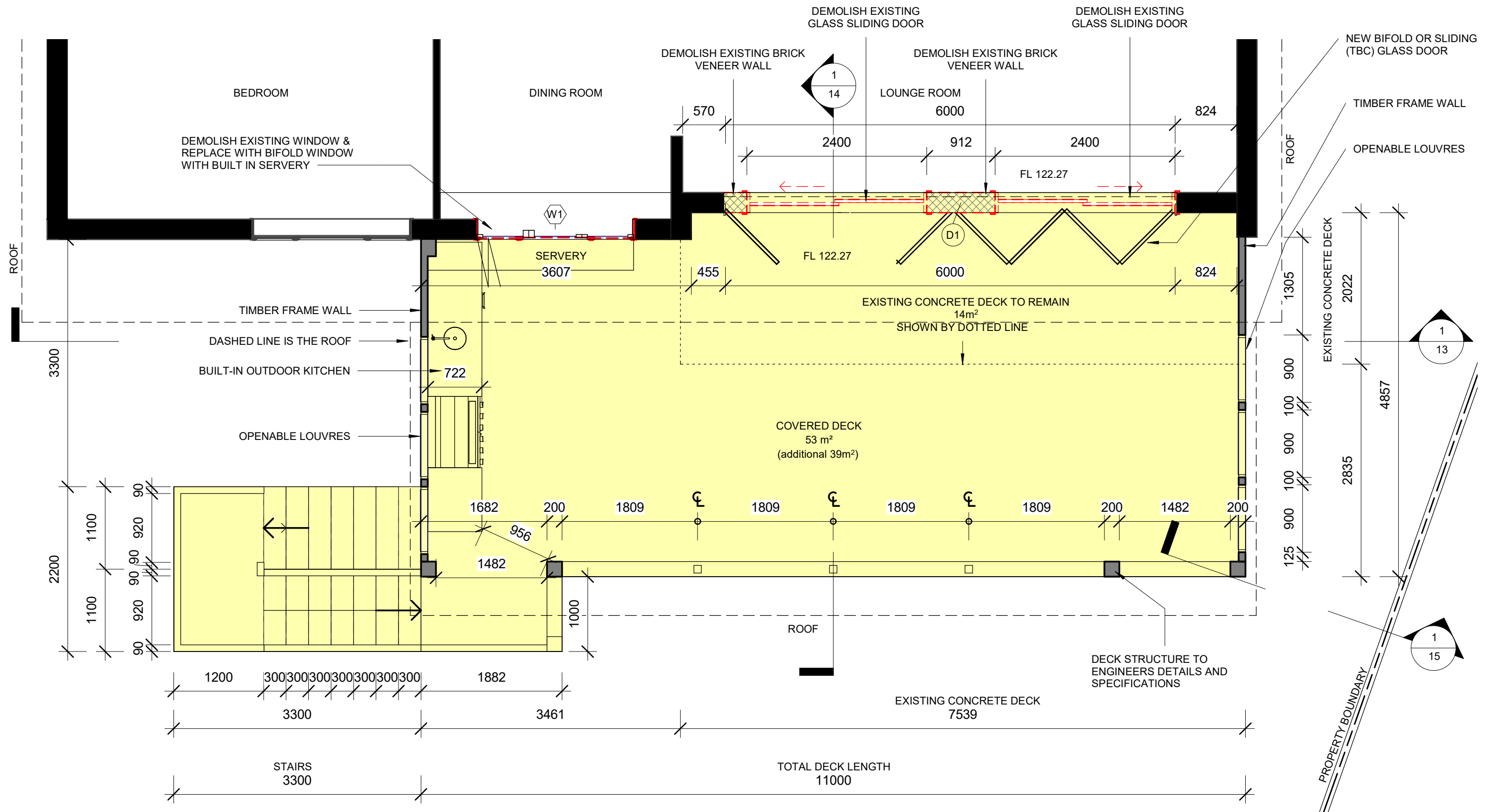
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PROJECT
Rear Deck Alterations & Additions
ADDRESS
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Andrew Fraser & Jo Keating

DEVELOPMENT APPLICATION
DRAWING TITLE
Existing East Elevation
DA 05 A
DWG PHASE: DWG NUMBER: ISSUE:



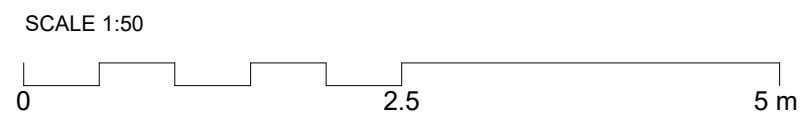
1 Proposed First Floor Plan

1 : 50

LEGEND:

PROPOSED ADDITION

TO BE DEMOLISHED



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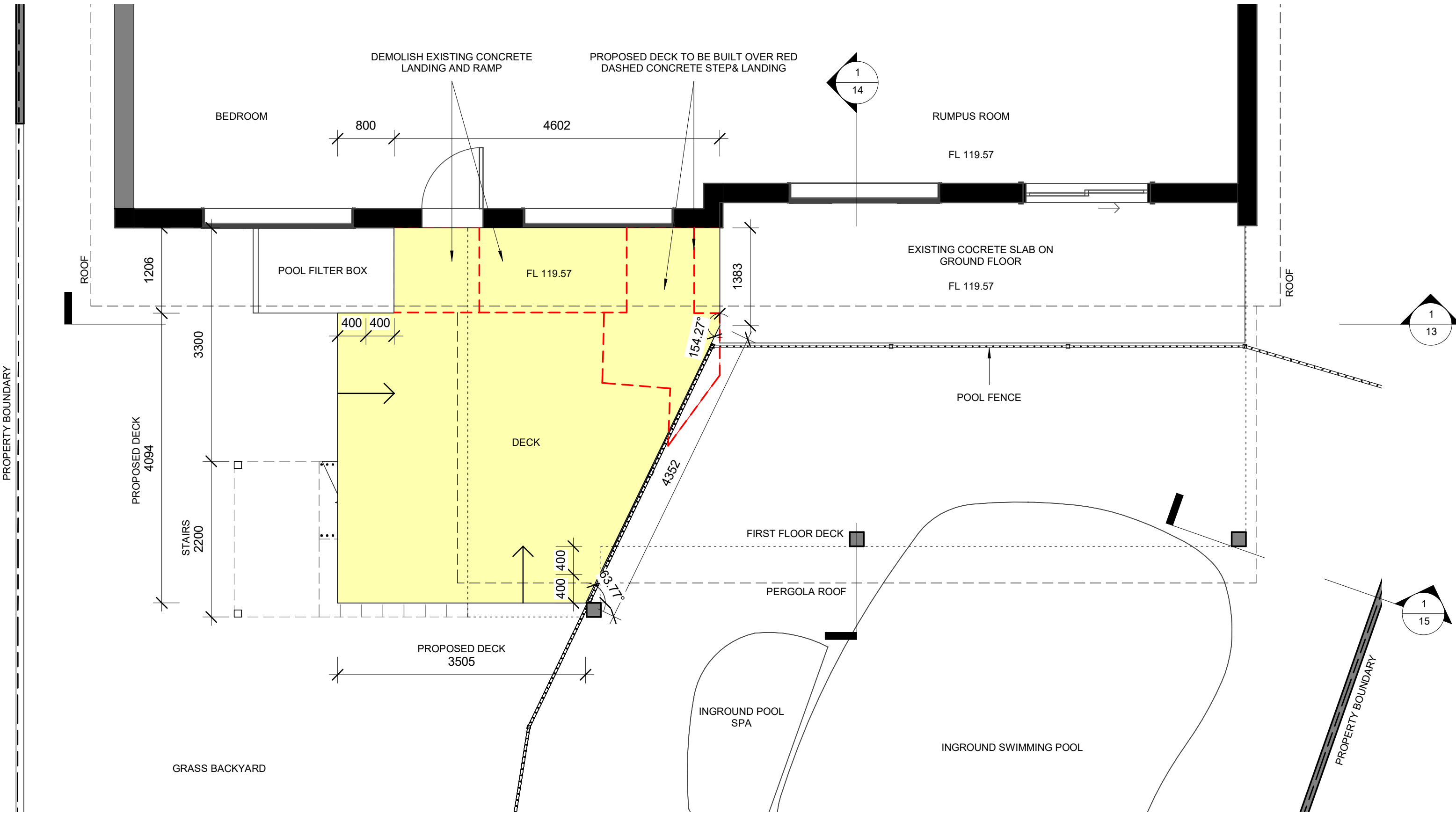
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DEVELOPMENT APPLICATION
DRAWING TITLE
Proposed First Floor Plan

DA
DWG PHASE:

06
DWG NUMBER:

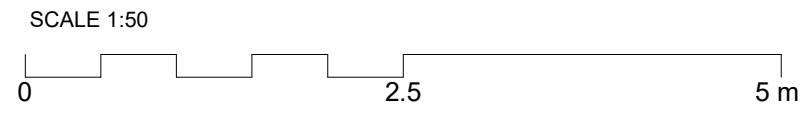
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ISSUE:



1 Proposed Ground Floor Plan - with demolition

1 : 50

LEGEND: PROPOSED ADDITION
 TO BE DEMOLISHED



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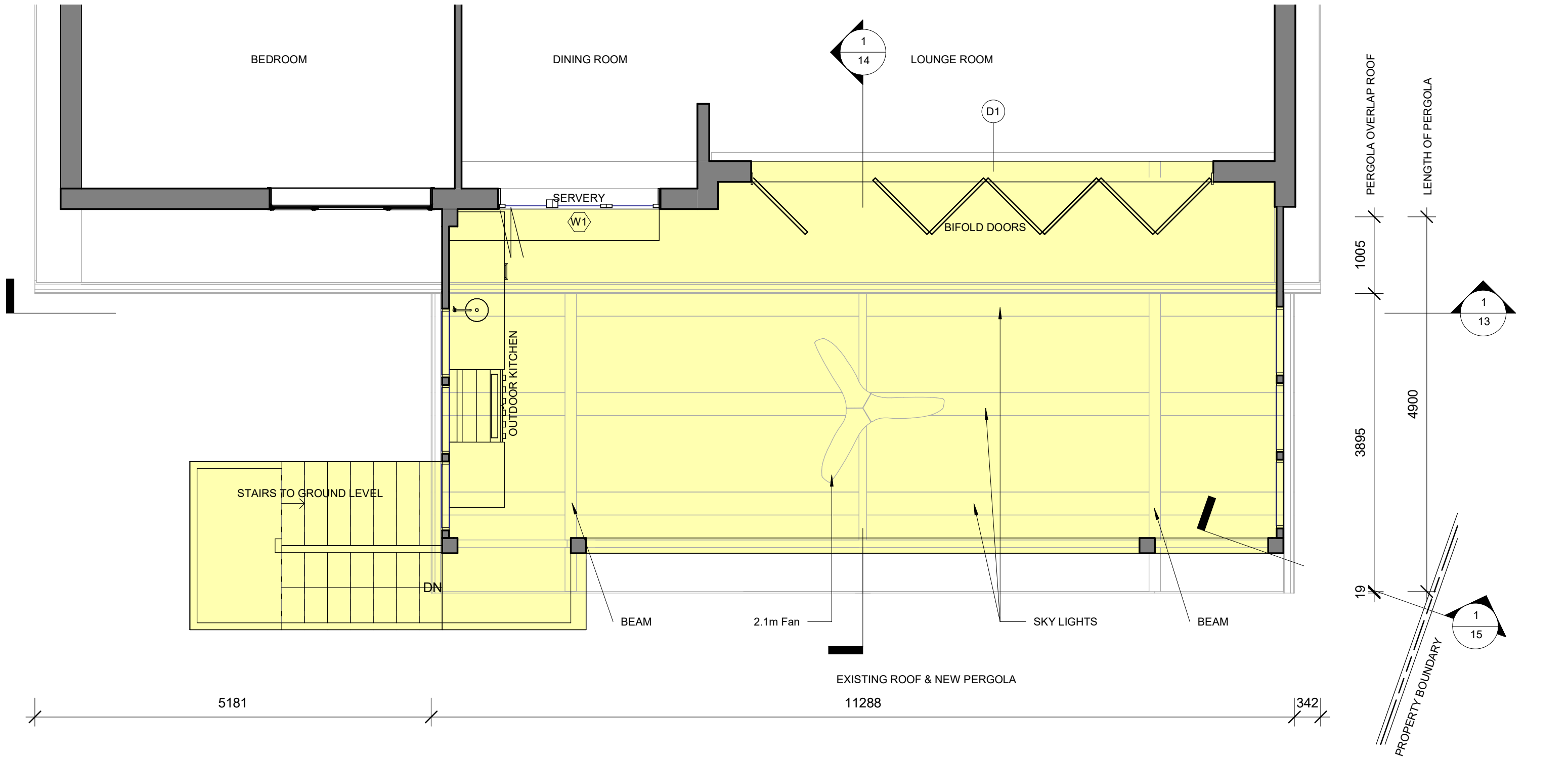
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Rear Deck Alterations & Additions

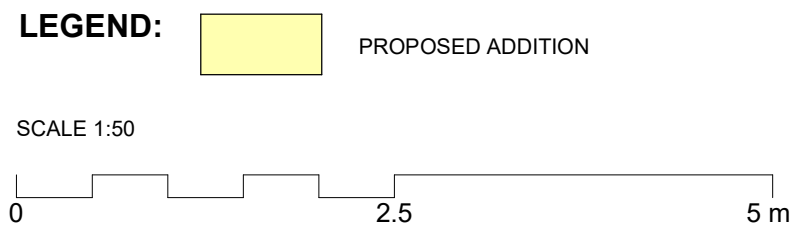
ADDRESS
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DEVELOPMENT APPLICATION		
DRAWING TITLE		
Proposed Ground Floor Plan		
DA	07	A
DWG PHASE:	DWG NUMBER:	ISSUE:



1 Proposed First Floor Plan - with ceiling & pergola underlay
1 : 50



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Rear Deck Alterations & Additions

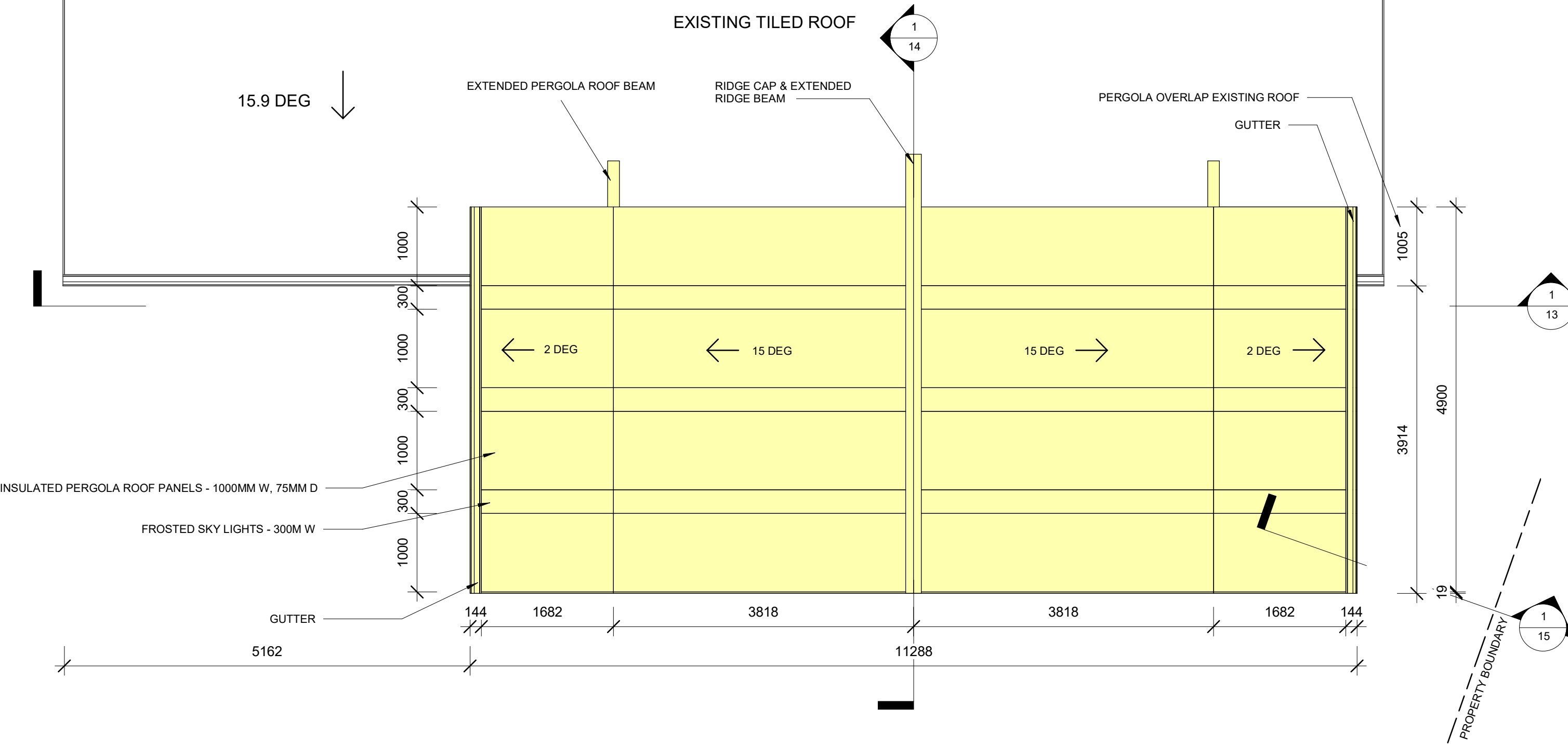
ADDRESS
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DEVELOPMENT APPLICATION
DRAWING TITLE
Proposed First Floor with pergola
& ceiling underlay

DA **08** **A**

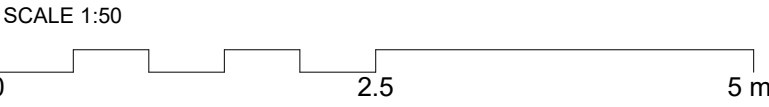
DWG PHASE: DWG NUMBER: ISSUE:



1 Proposed Roof Plan

1 : 50

LEGEND: PROPOSED ADDITION



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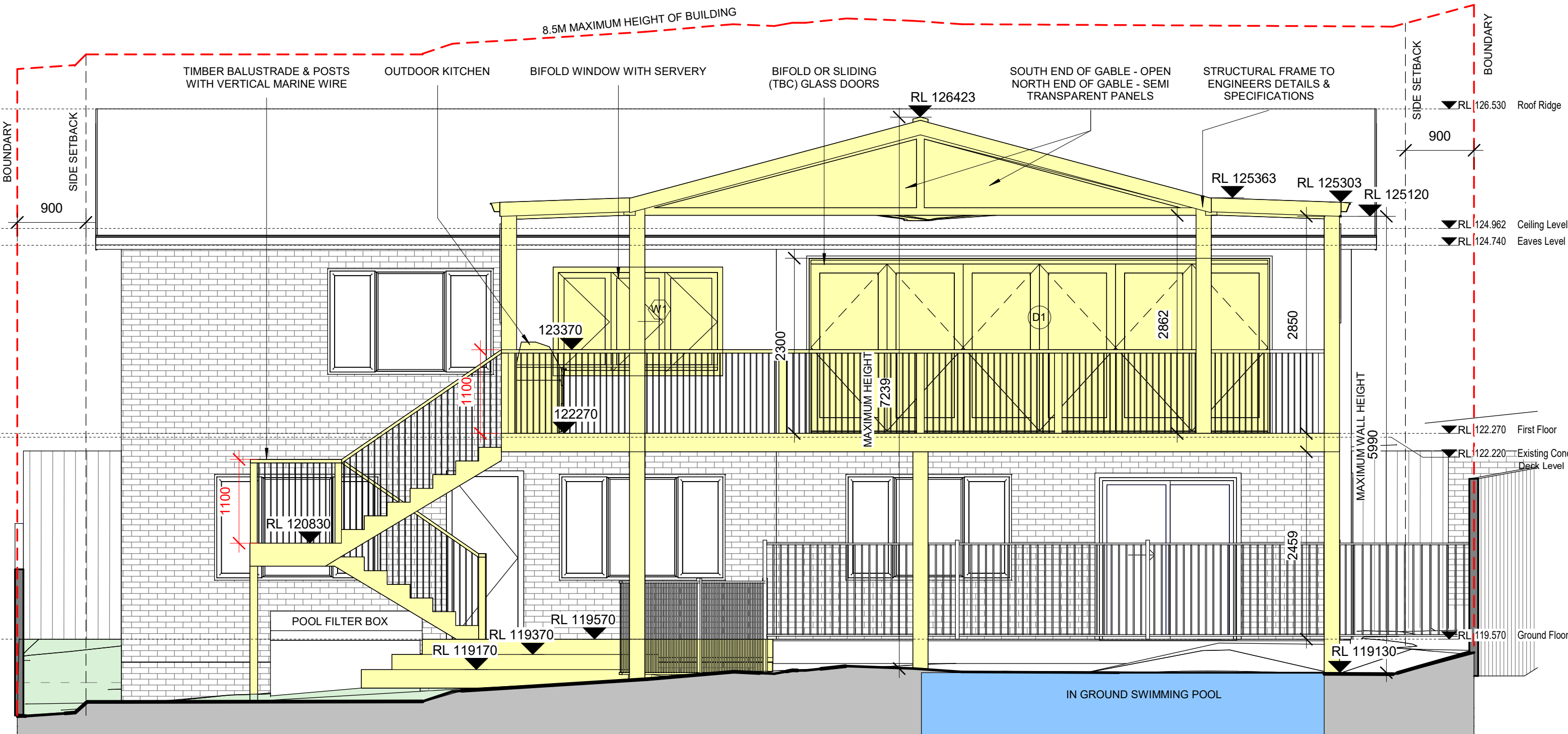
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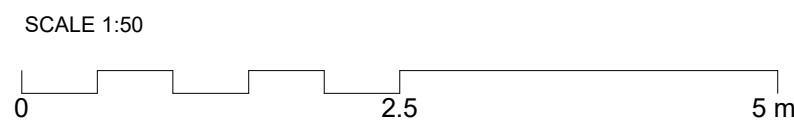
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DEVELOPMENT APPLICATION		
DRAWING TITLE		
Proposed Roof Plan		
DA	09	A
DWG PHASE:	DWG NUMBER:	ISSUE:




1 Proposed South Elevation
1 : 50

LEGEND: PROPOSED ADDITION



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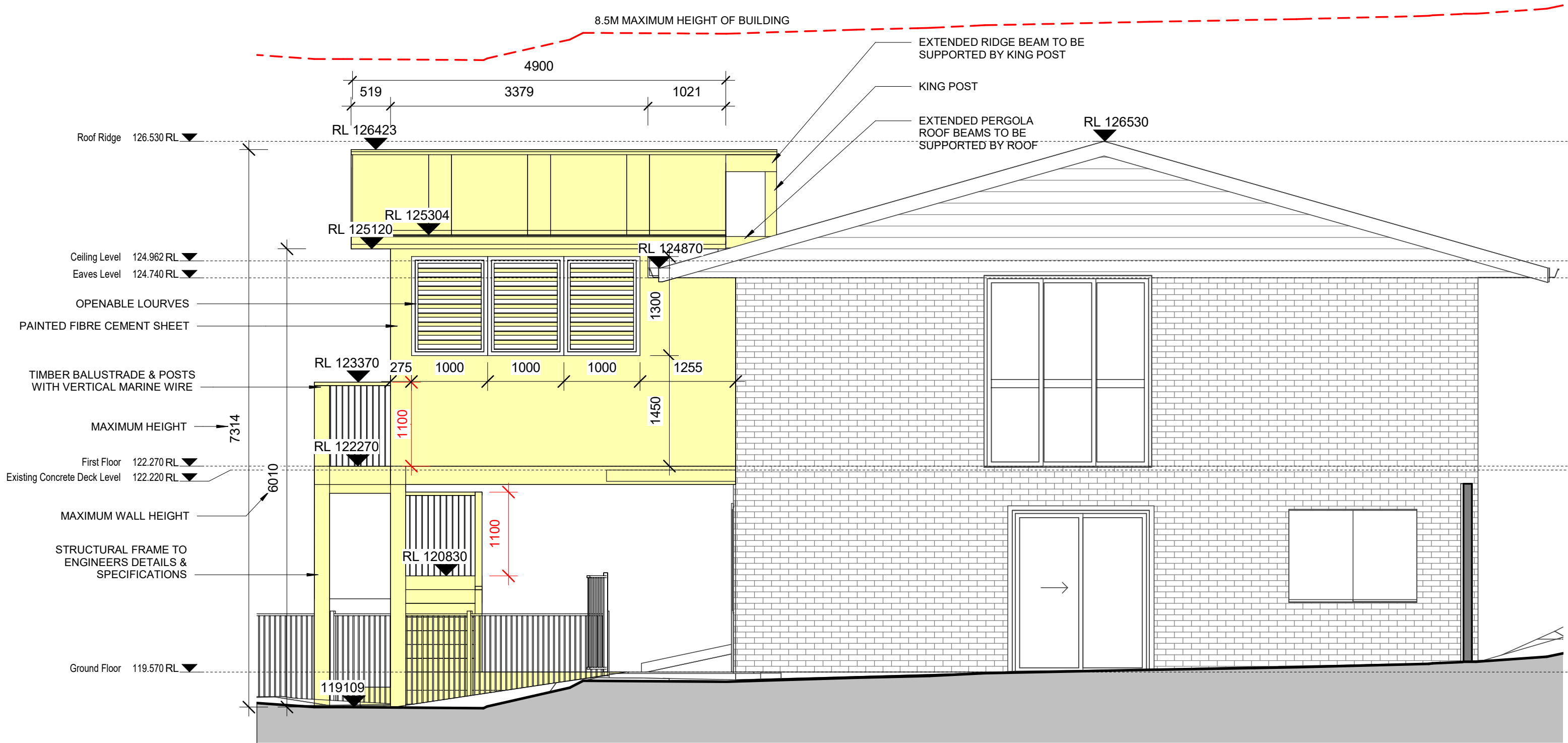
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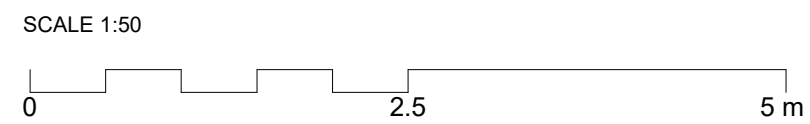
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DEVELOPMENT APPLICATION DRAWING TITLE South Elevation		
DA	10	A
DWG PHASE:	DWG NUMBER:	ISSUE:



1 Proposed East Elevation
1 : 50

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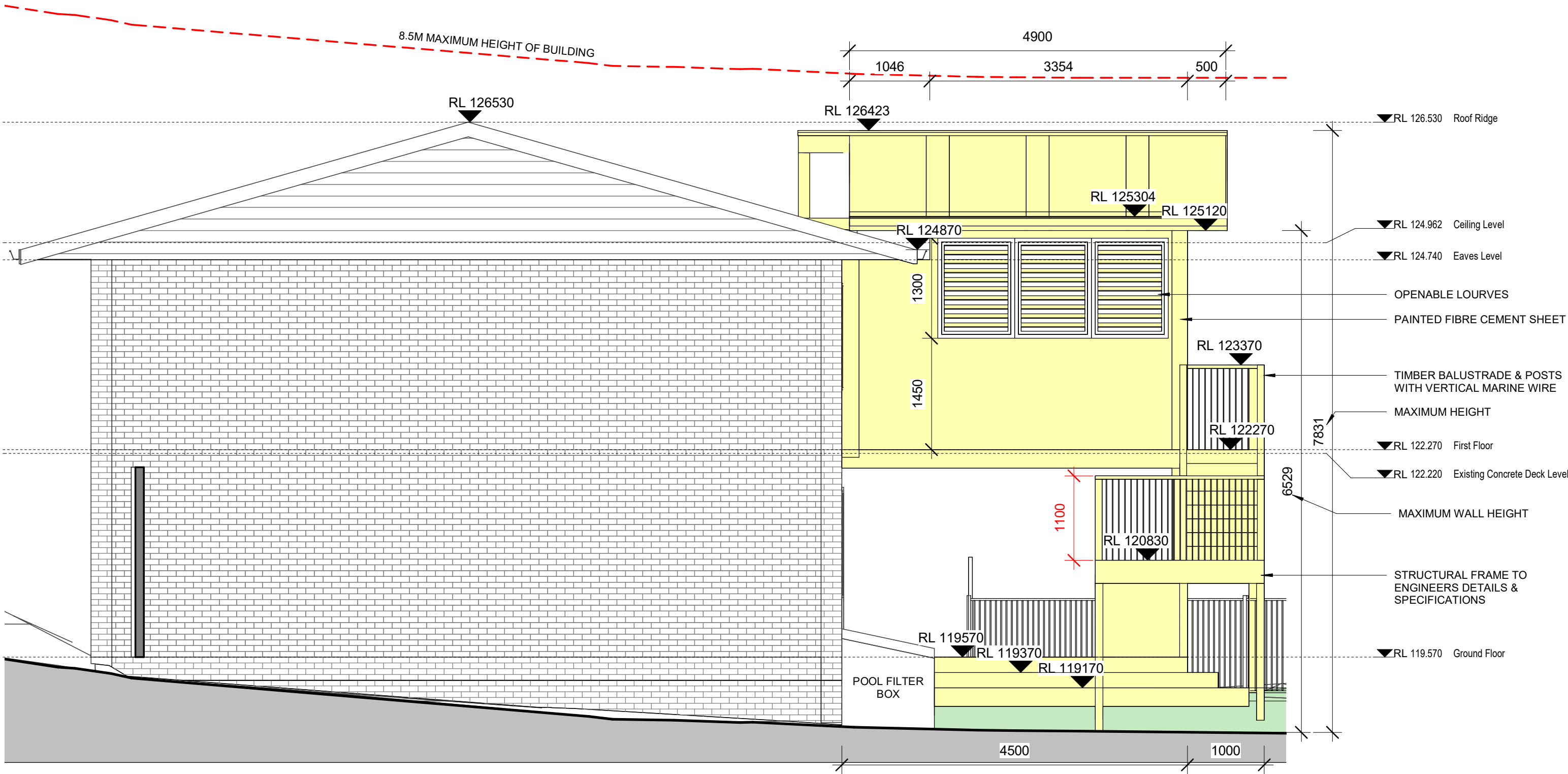
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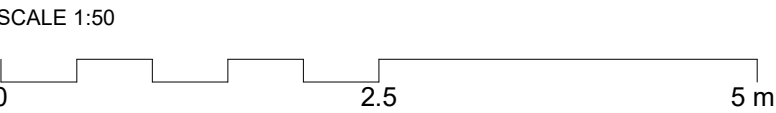
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DEVELOPMENT APPLICATION		
DRAWING TITLE		
East Elevation		
DA	11	A
DWG PHASE:	DWG NUMBER:	ISSUE:



1 Proposed West Elevation
1 : 50

LEGEND: PROPOSED ADDITION



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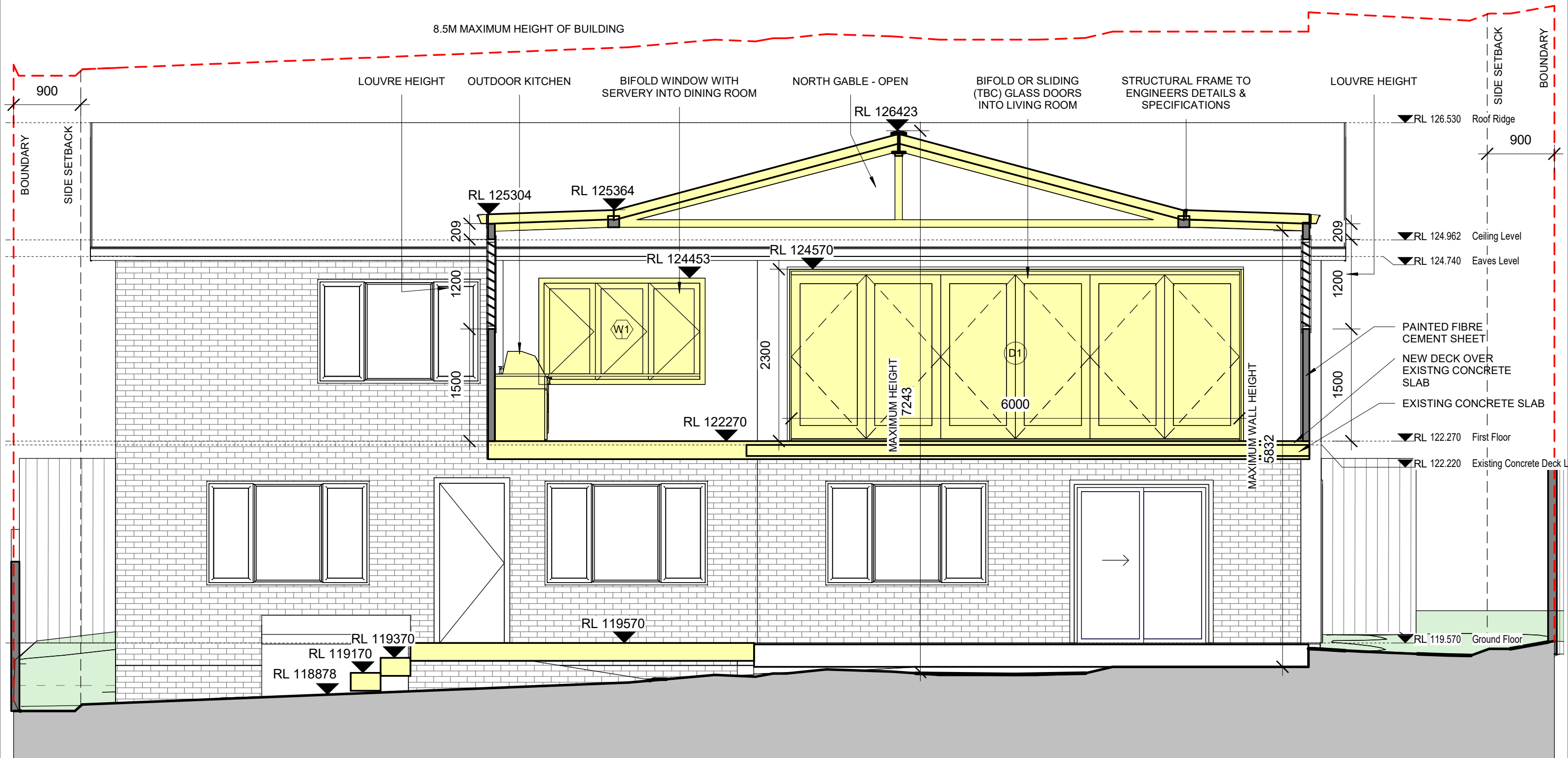
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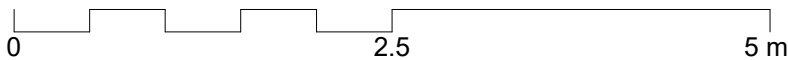
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DRAWING TITLE		
West Elevation		
DA	12	A
DWG PHASE:	DWG NUMBER:	ISSUE:



1 Long Section
1 : 50

LEGEND: PROPOSED ADDITION

SCALE 1:50



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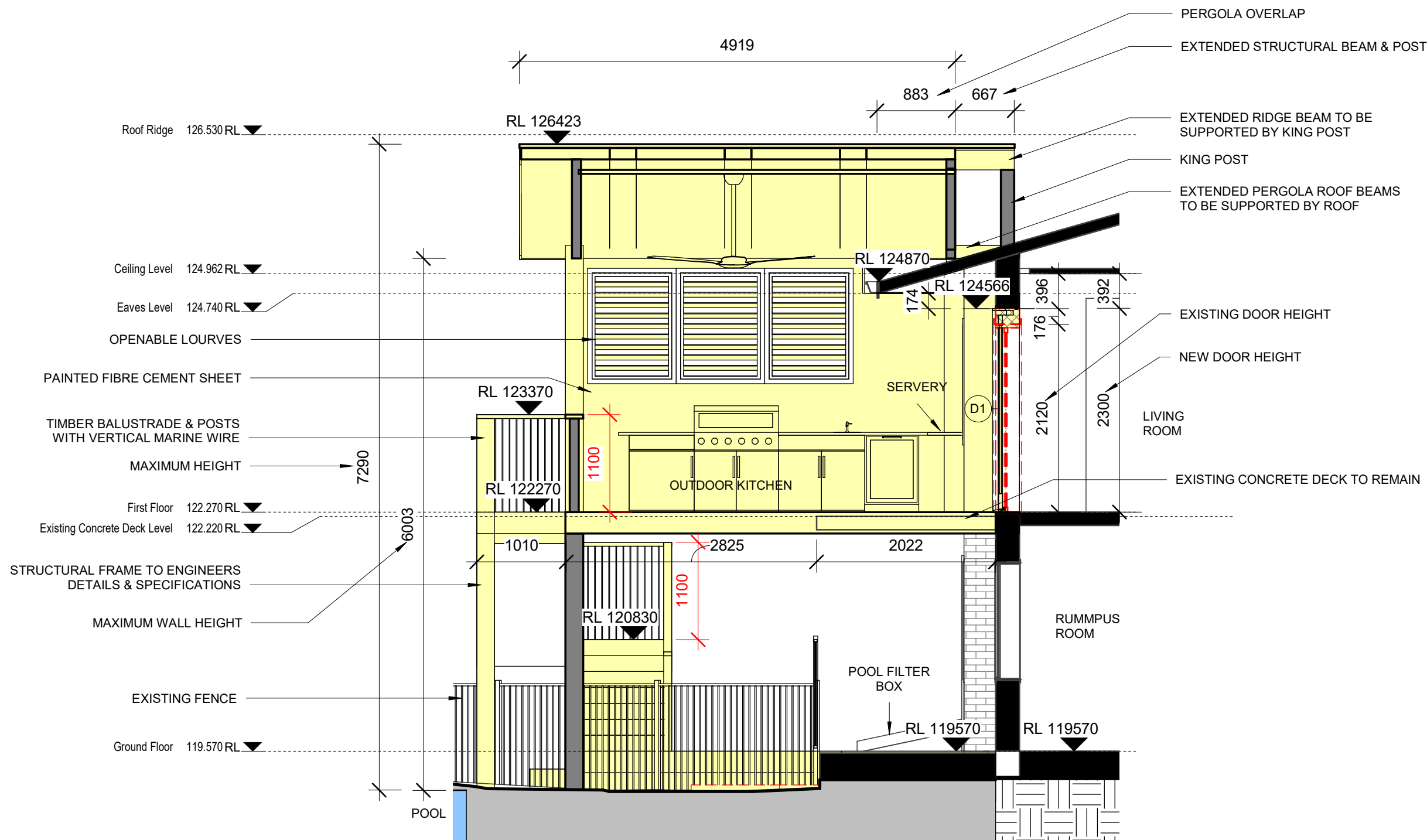


SCALE:
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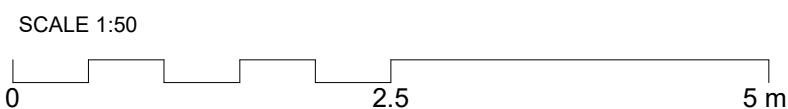
DEVELOPMENT APPLICATION
DRAWING TITLE
Long Section

DA	13	A
DWG PHASE:	DWG NUMBER:	ISSUE:



1 Cross Section
1 : 50

LEGEND: PROPOSED ADDITION



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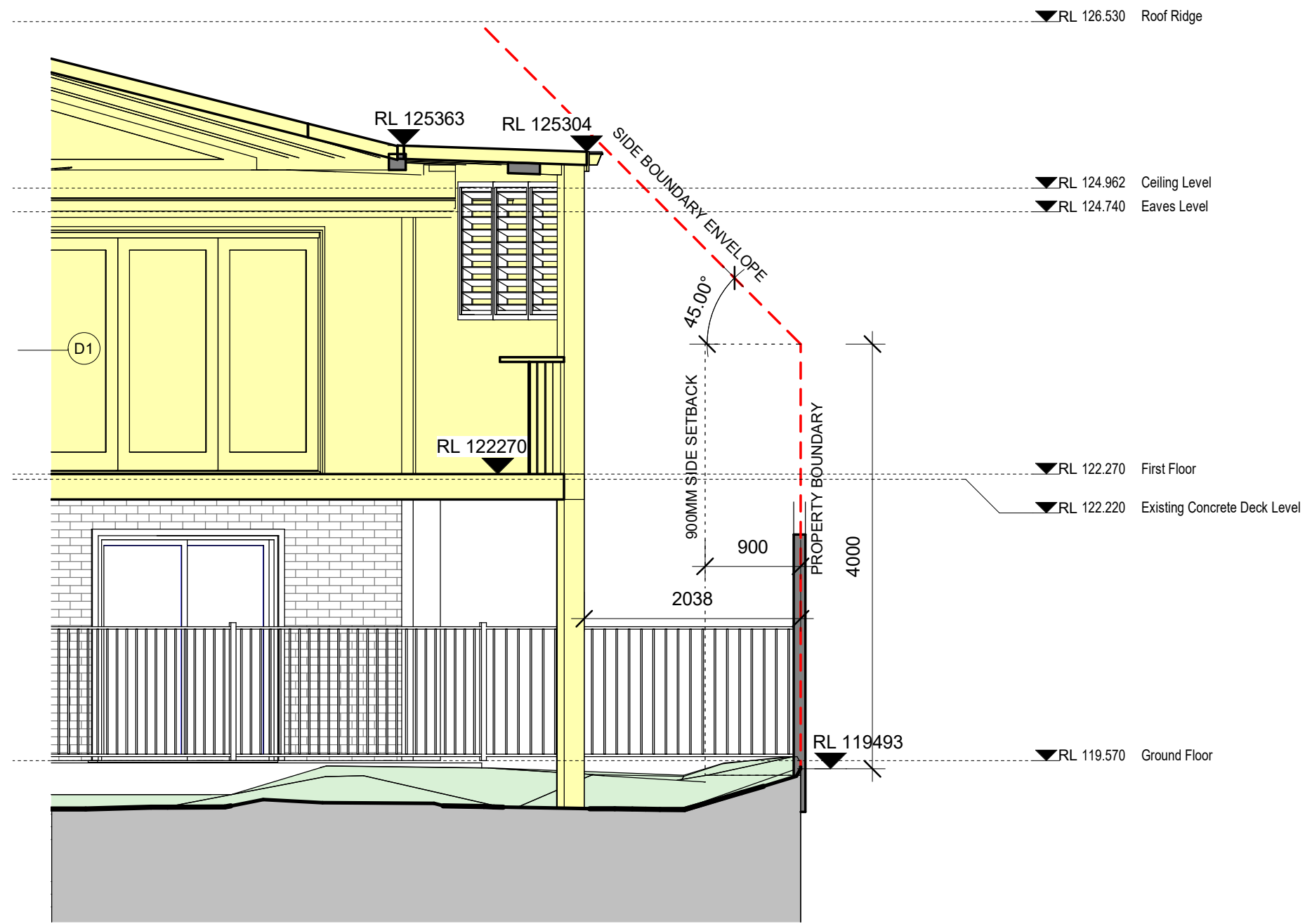

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ADDRESS
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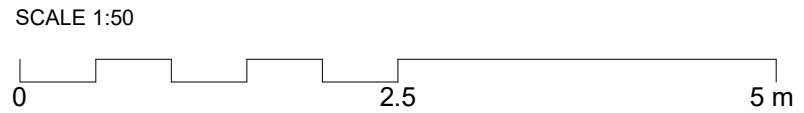
DEVELOPMENT APPLICATION
DRAWING TITLE
Cross Section

DA	14	A
DWG PHASE:	DWG NUMBER:	ISSUE:



1 Side Boundary Section
1 : 50

LEGEND: PROPOSED ADDITION



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DEVELOPMENT APPLICATION		
DRAWING TITLE		
Side Boundary Section		
DA	15	A
DWG PHASE:	DWG NUMBER:	ISSUE:

WINDOW SCHEDULE

Window Schedule				
Level	Mark	Height	Width	Phase Created
First Floor	W1	1337	2125	New Construction

BASIX SCHEDULE

Fixtures and systems			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting					
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.				✓	✓
Fixtures					
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.				✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.				✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.				✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	✓	✓	✓
external wall: brick veneer	R1.16 (or R1.70 including construction)				


DOOR SCHEDULE

Door Schedule				
Level	Mark	Height	Width	Phase Created
First Floor	D1	2300	6000	New Construction

Grand total: 1

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:					✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.					✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.				✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					✓	✓
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
D1	S	13.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W1	S	3.15	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

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A	DA	JW	14.06.21				
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SCALE:

NA

SHEET SIZE:
A3

DATE:
14.06.2021

PROJECT
Rear Deck Alterations & Additions

ADDRESS
81 Prahran Avenue, Davidson

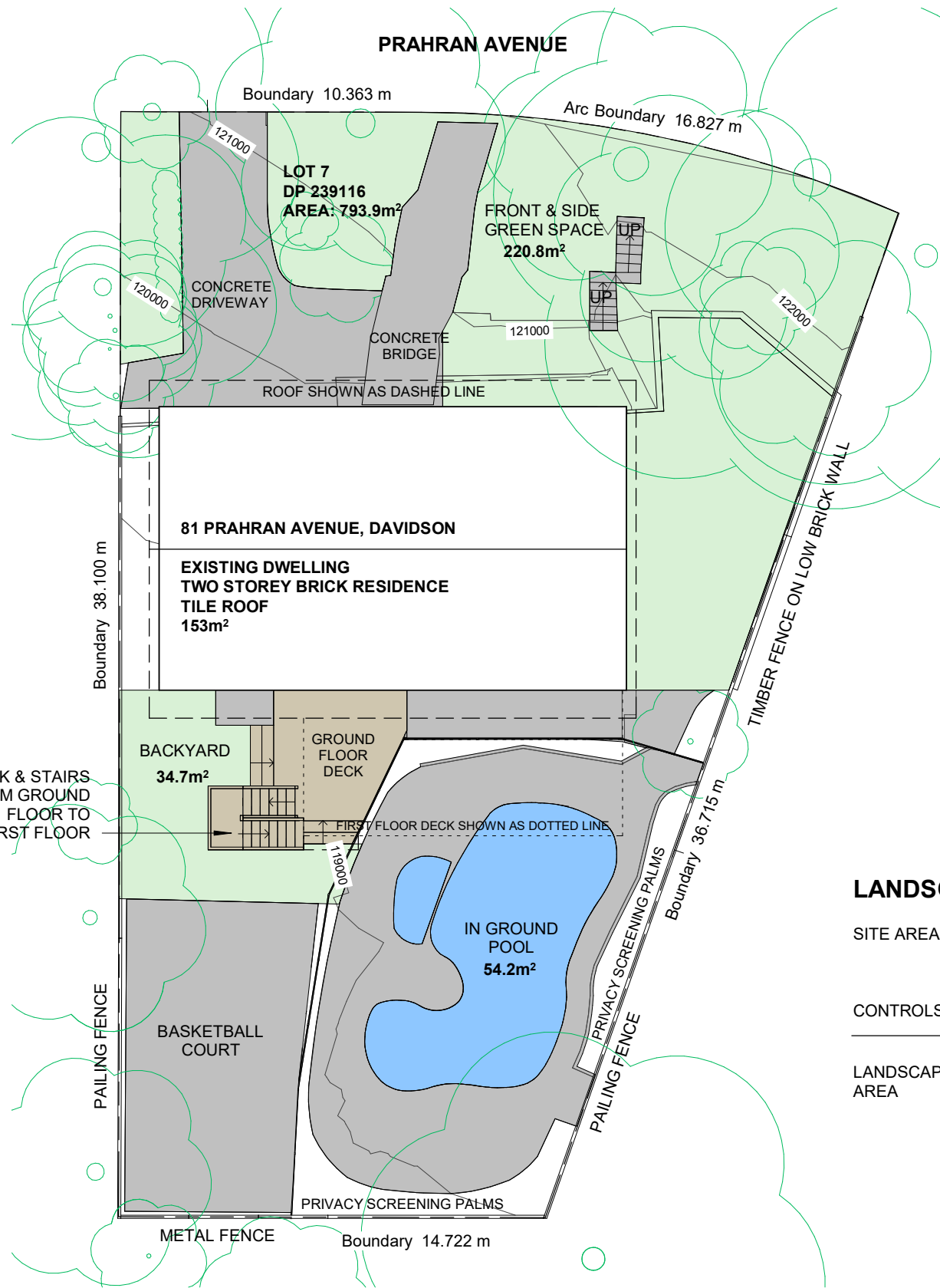
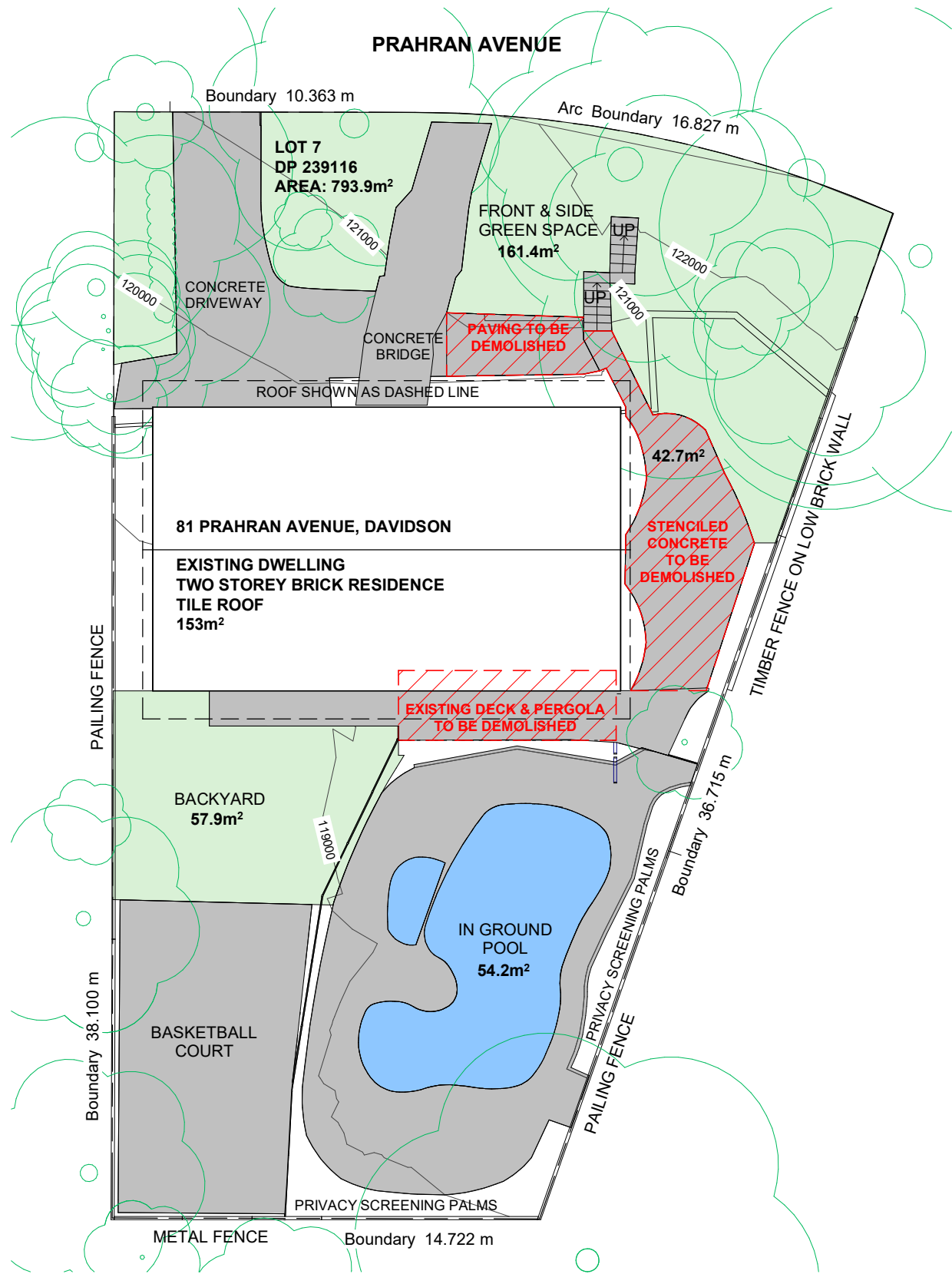
CLIENT
Andrew Fraser & Jo Keating

DEVELOPMENT APPLICATION

DRAWING TITLE

Window, Door & BASIX Schedule

DA	16	A
DWG PHASE:	DWG NUMBER:	ISSUE:



LANDSCAPE AREA CALCULATIONS

SITE AREA: 793.9m²

CONTROLS:	REQUIREMENT	CURRENT	PROPOSED
LANDSCAPED AREA	40% 317.6m ²	34.45% 273.5m ²	39% 309.7m ²

1 Existing Landscape Plan
1 : 200

2 Proposed Landscape Plan
1 : 200



LEGEND

- GREEN SPACE
- POOL / GREEN SPACE
- CONCRETE / PAVING
- TO BE DEMOLISHED
- NEW DECK



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DATE:
14.06.2021

PROJECT
Rear Deck Alterations & Additions

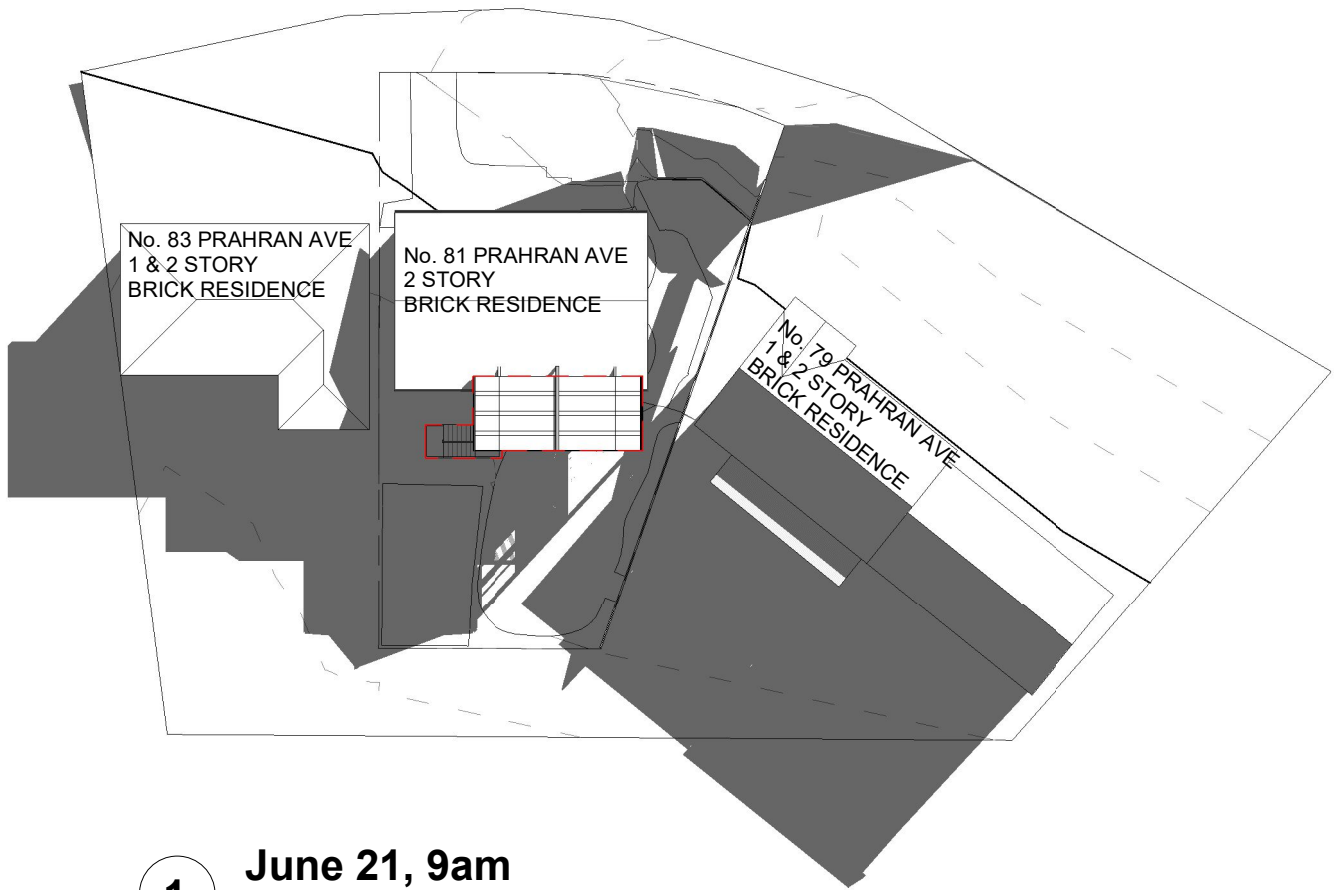
ADDRESS
81 Prahran Avenue, Davidson

CLIENT
Andrew Fraser & Jo Keating

DEVELOPMENT APPLICATION

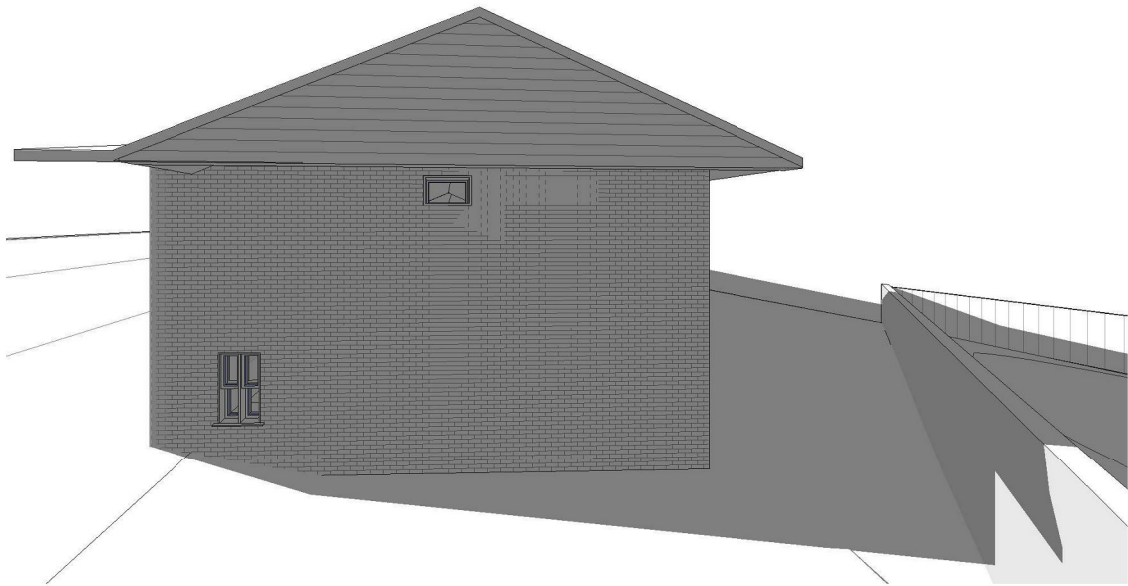
DRAWING TITLE
Landscape Plan

DA	17	A
DWG PHASE:	DWG NUMBER:	ISSUE:

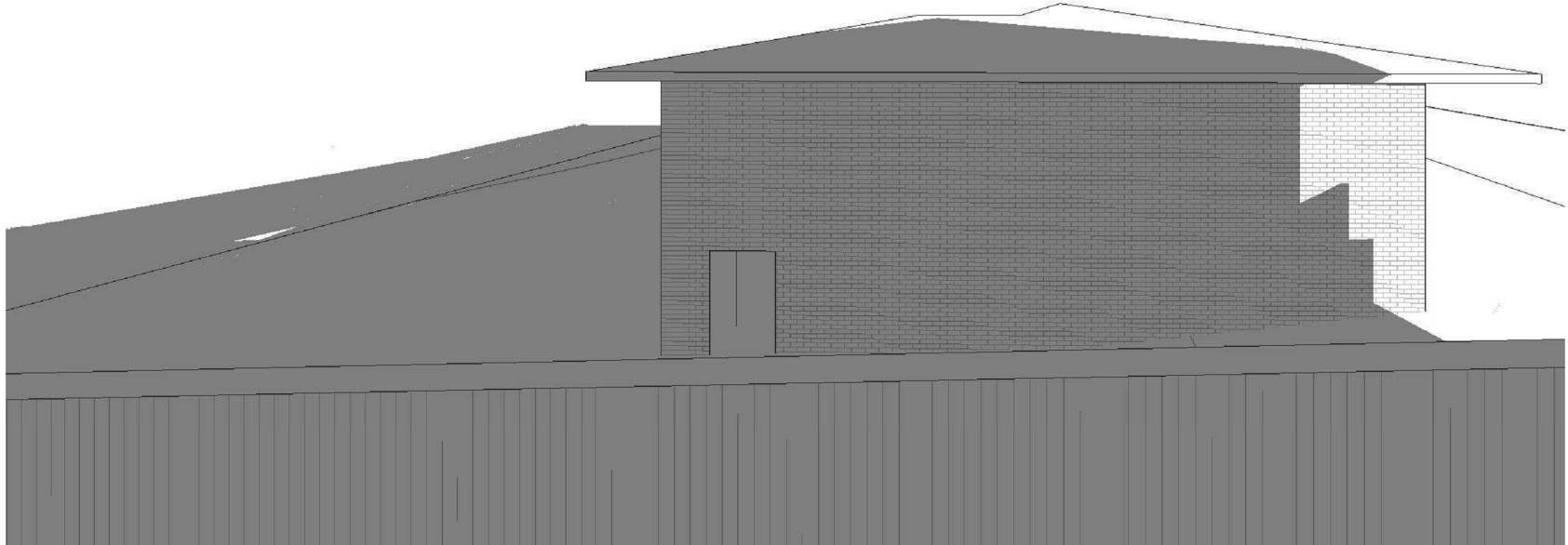


1 June 21, 9am

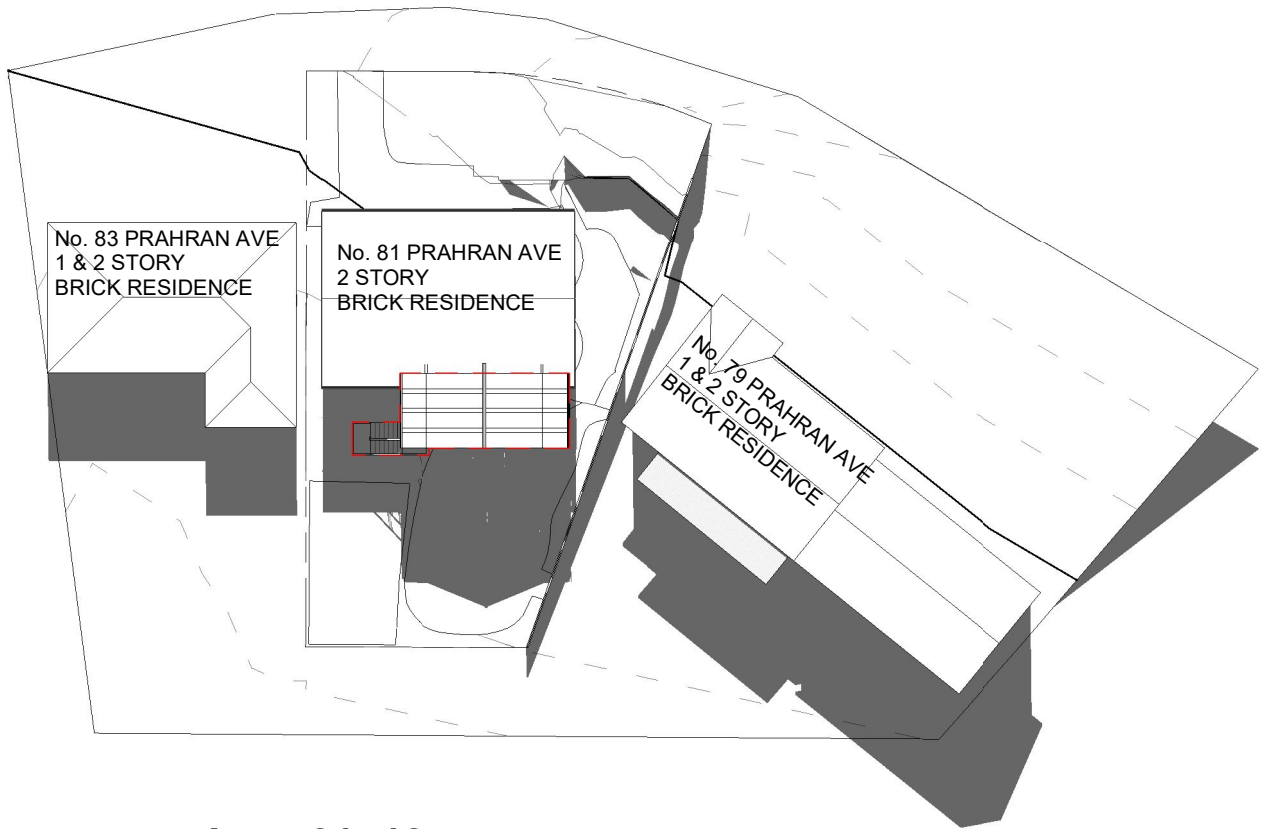
1 : 500



ELEVATION VIEW OF NO. 79
JUNE 21, 9AM

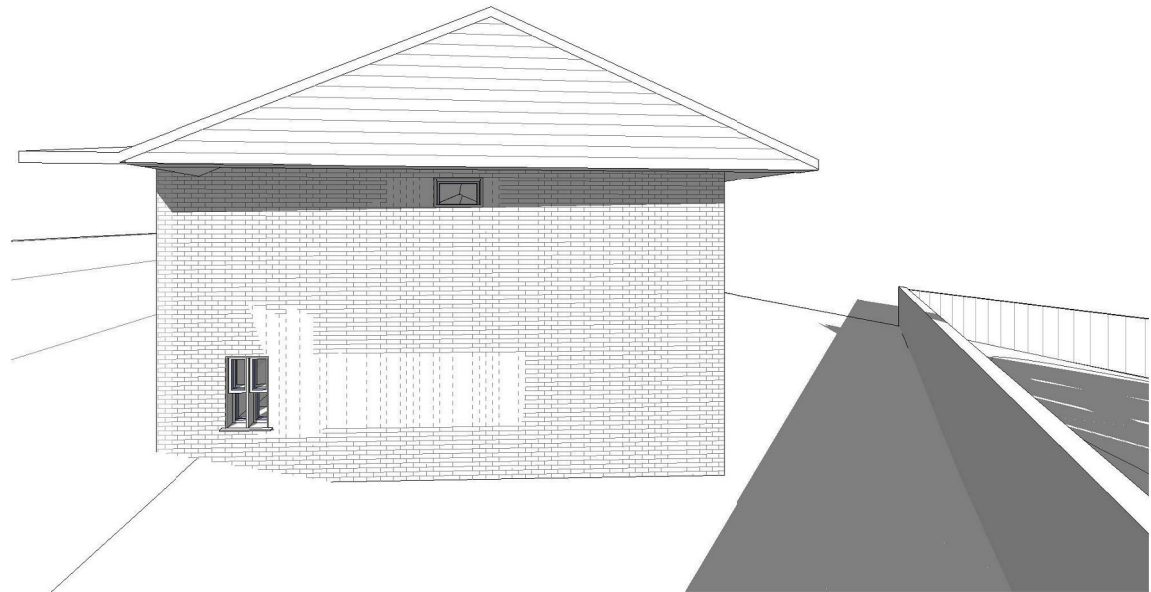


ELEVATION VIEW OF NO. 83
JUNE 21, 9AM

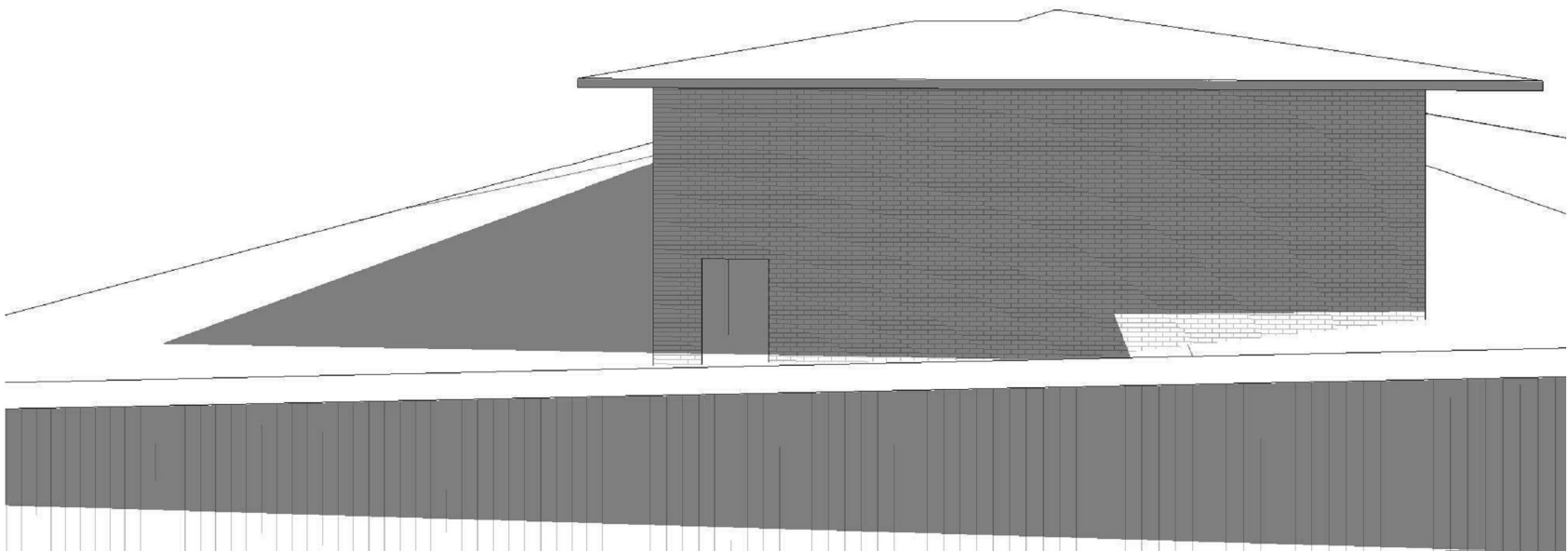


2 June 21, 12pm

1 : 500



ELEVATION VIEW OF NO. 79
JUNE 21, 12PM

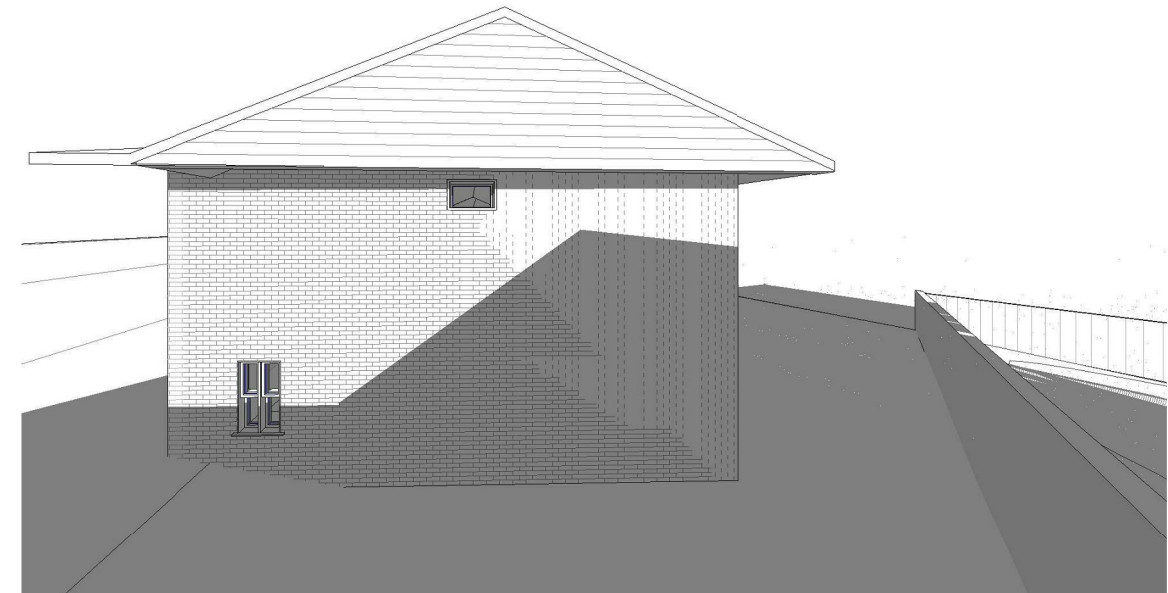


ELEVATION VIEW OF NO. 83
JUNE 21, 12PM

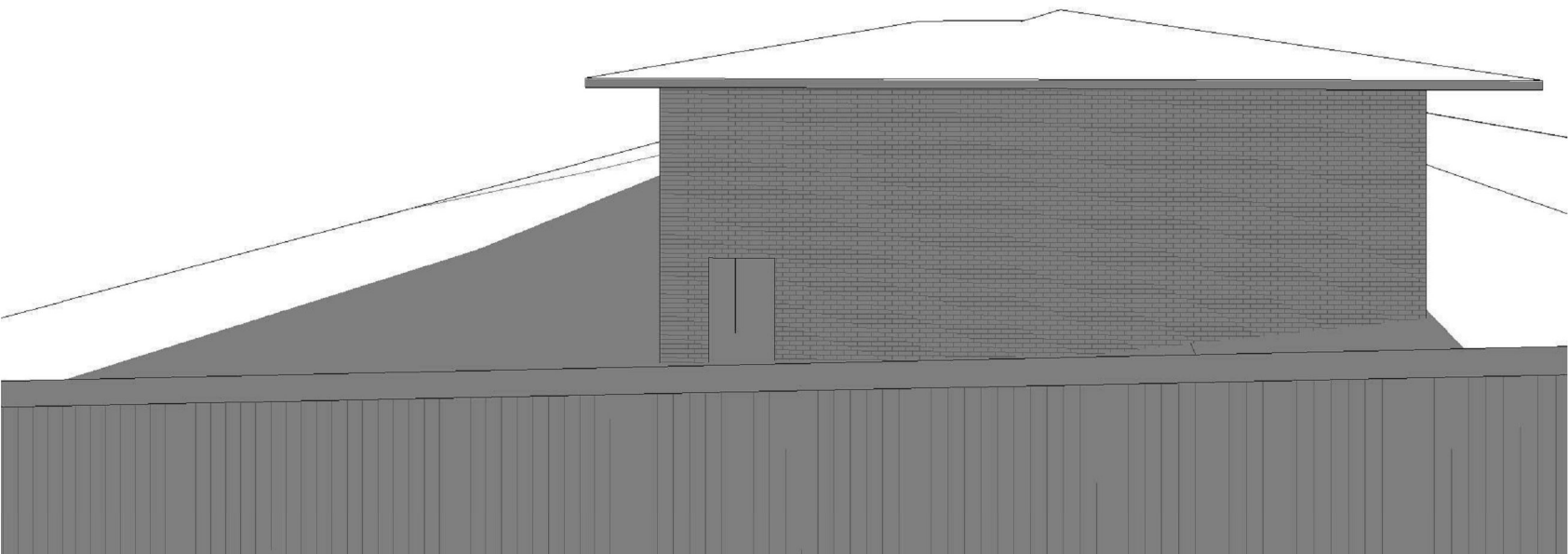


3 June 21, 3pm

1 : 500



ELEVATION VIEW OF NO. 79
JUNE 21, 3PM



ELEVATION VIEW OF NO. 83
JUNE 21, 3PM

LEGEND:
- - - - - PROPOSED ADDITION



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SCALE:
1 : 500
SHEET SIZE:
A2
DATE
15/06/2021 12:16:13 AM

PROJECT
Rear Deck Alterations & Additions
ADDRESS
81 Prahran Avenue, Davidson
CLIENT
Andrew Fraser & Jo Keating

DEVELOPMENT APPLICATION
DRAWING TITLE
Shadow Diagrams

DA
DWG PHASE:

18
DWG NUMBER:


A
ISSUE:

FINISHES SCHEDULE


81 PRAHRAN AVENUE, DAVIDSON


ELEMENT	MATERIAL	COLOUR	IMAGE
DECK	PORCELAIN - TIMBER LOOK TILE	NATURAL MATERIAL / GREY COLOUR WITH A GRIP TILE FINISH	


DECK STAIRS	HARDWOOD	TINTED OIL WITH MATT CLEAR FINISH	
-------------	----------	--------------------------------------	--


WALLS OF DECK & PERGOLA	FIBRE CEMENT SHEET	LIGHT & NATURAL EARTHY COLOUR	
-------------------------------	-----------------------	----------------------------------	---

LOUVRED WINDOWS	ALUMINIUM	OFF WHITE	
-----------------	-----------	-----------	---

ELEMENT	MATERIAL	COLOUR	IMAGE
BEARERS, JOISTS & POSTS	STEEL & HARDWOOD as per engineers drawings and specifications	NATURAL STEEL FINISH WITH CLEAR FILM	

PERGOLA ROOF SKYLIGHTS	CORRUGATED POLYCARBONATE ROOFING SHEET	FROSTED - SEMI TRANSPARENT	
------------------------------	--	-------------------------------	--

ROOFING & GUTTERING	CUSTOM ORB METAL ROOF SHEETING	DARK COLORBOND COLOUR - DEEP OCEAN /WOODLAND GREY	
------------------------	-----------------------------------	---	---

BALUSTRADE	STEEL POSTS WITH STAINLESS STEEL CABLE WIRES	TOP RAIL & POSTS TO MATCH DECKING - SIMILAR MID-DARK BROWN	
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SHEET SIZE:
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DATE:
14.06.2021

PROJECT
Rear Deck Alterations & Additions

ADDRESS
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CLIENT
Andrew Fraser & Jo Keating

DEVELOPMENT APPLICATION
DRAWING TITLE
Finishes Schedule

DA

DWG PHASE:

19

DWG NUMBER:

A

ISSUE: