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NOTE:

VERIFY THE EXACT LOCATION OF ALL SERVICES ON SITE. LEGEND IS GENERAL AND MAY INDICATE SOME SERVICES THAT ARE NOT IN THE TENANCY

FUTURE TENANTS OR AGENTS THEREOF ARE TO VISIT SITE AND CHECK PLAN DETAILS PRIOR TO ANY DESIGN OR FITOUT MANUFACTURE OCCURING REPORT ANY DISCREPANCIES

DO NOT CUT OR CORE DRILL STRUCTURAL SLABS WITHOUT STRUCTURAL ENGINEER'S ADVICE

THE LOCATION, HEIGHT, SIZE ETC OF ALL SERVICES ARE NOMINAL ONLY AND SUBJECT TO CHANGE. FINAL DETAILS TO BE ADVISED BY RELEVANT CONTRACTOR

SERVICES TO/FROM OTHER TENANCIES OR STRATA MAY BE INSTALLED IN THE CEILING SPACE ABOVE MIN. CEILING HEIGHT. LESSEE TO CONFIRM FINAL LOCATION, DETAIL & EXTENT OF AND NOT INTERFERE WITH THESE SERVICES.

LEGEND

- STRUCTURAL COLUMN (UNPAINTED OFF FORM CONCRETE)
- MASONRY WALL (FAIRFACED UNPAINTED)
- STUD FRAME/ SHEET LINING WALL (UNPAINTED)
- LEASE LINE
- MOVEMENT JOINT
- STRUCTURAL BEAMS BELOW SLAB. NO PENETRATIONS PERMITTED IN THIS ZONE
- CW COLD WATER STOP VALVE (HIGH LEVEL)
- EDB ELECTRICAL DISTRIBUTION BOARD
- FH/ FHR FIRE HYDRANT/ FIRE HOSE REEL
- TW TRADE WASTE TURN UP
- WO WASTE OUTLET
- IDF TELEPHONE POINT
- GPO DOUBLE GPO
- AC AIR GRILLE
- AP ACCESS PANEL
- FSH FIRE SPRINKLER HEAD
- FS FIRE SPRINKLER ABOVE CEILING
- DR DRAINAGE POINT
- GA GAS POINT (HIGH LEVEL)
- DP DOWN PIPE
- RD FLUORESCENT RECESSED DOWNLIGHT

Lessee Information

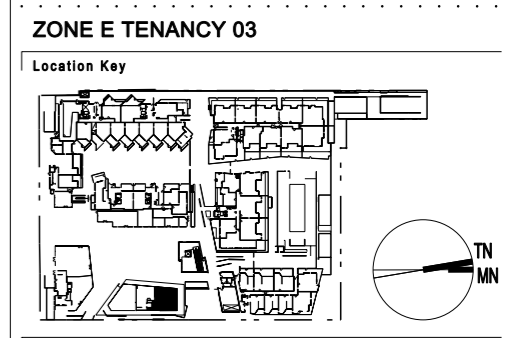
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No	Date	Description	Ver	App'd
01	01.02.08	ISSUE FOR CLIENT REVIEW		
02	11.03.08	ISSUE FOR CLIENT REVIEW		
03	08.07.08	ISSUE FOR CLIENT REVIEW		
04	05.08.08	ISSUE FOR CLIENT REVIEW		
05	08.09.08	ISSUE FOR CLIENT REVIEW		
06	03.10.08	ISSUE FOR CLIENT REVIEW		
07	17.12.08	ISSUE FOR CLIENT REVIEW		
08	22.01.09	ISSUE FOR CLIENT REVIEW		
09	15.04.09	UPDATES TO AS-BUILT LOCATION OF SERVICES		
10	03.07.09	LICENSED AREAS NOTE ADDED		
11	19.07.09	LICENSED AREAS NOTE REVISED		
12	21.10.09	LICENSED SEATING AREAS REVISED		



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Project Manager
CAVERSTOCK GROUP PTY LTD

Client
STOCKLAND DEVELOPMENT PTY LTD

Project
STOCKLAND BALGOWLAH
197-215 CONDOMINE STREET BALGOWLAH NSW 2093

Drawing Title
SHOP 066
FLOOR PLAN

Drawing No A T E03.01	Issue 12
Proj No. 04097	Scale at A3 1:100

OUTDOOR LICENSED SEATING AREA USAGE IS SUBJECT TO CONDITIONS OUTLINED IN LEASE AND DISCLOSURE DOCUMENTATION.

TREATMENT / ENCLOSURE TO FHR BY LESSEE, FINISH TO STOCKLAND APPROVAL

01 FLOOR PLAN

NOTE:

- REFER TO DWG A T 2101 FOR OVERLAND FLOW CONTROLS ACROSS PLAZA AREA.

DRAWING REGISTER

WORKING DRAWINGS

No:		
000	FULL PROPOSED TENANCY PLAN	REV
100-1	PROPOSED INTERNAL FLOOR PLAN	REV
100-2	PROPOSED EXTERIOR SEATING PLAN	REV
101-1	INTERNAL REFLECTED CEILING LAYOUT	REV
101-2	INTERNAL REFLECTED CEILING LAYOUT	REV
101-3	LIGHTING LEGEND	REV
102	LIGHTING ZONE LAYOUT	REV
103-1	CONSTRUCTION PLAN - INTERIOR SEATING AREA	REV
103-2	CONSTRUCTION PLAN - EXTERIOR SEATING AREA	REV
104-1	FURNITURE LAYOUT - INTERIOR SEATING AREA	REV
104-2	FURNITURE LAYOUT- EXTERIOR SEATING AREA	REV
105-1	ELECTRICAL & HYDRAULICS LAYOUT - INTERNAL	REV
105-2	ELECTRICAL & HYDRAULICS LAYOUT - EXTERNAL	REV
105-3	ELECTRICAL & HYDRAULICS LAYOUT - LEGEND	REV
106	FLOOR FINISHES PLAN	REV
107	SIGNAGE LOCATION PLAN	REV
108	SHOPFRONT ELEVATIONS	REV
109	INTERNAL ELEVATION - SHEET 1	REV
110	INTERNAL ELEVATION - SHEET 2	REV
111	INTERNAL ELEVATION - SHEET 3	REV
112	INTERNAL ELEVATION - SHEET 4	REV
113	INTERNAL ELEVATION - SHEET 5	REV
300-1	SERVERY PROPOSED PLAN - LEFT HAND END	REV
300-2	SERVERY PROPOSED PLAN - RIGHT HAND END	REV
301-1	SERVERY ELECTRICAL & HYDRAULICS LAYOUT - LEFT HAND END	REV
301-2	SERVERY ELECTRICAL & HYDRAULICS LAYOUT - RIGHT HAND END	REV
302	SERVERY COUNTER FRONT ELEVATION A	REV
303-1	SERVERY REAR WALL ELEVATION B - LEFT HAND END	REV
303-2	SERVERY REAR WALL ELEVATION B - RIGHT HAND END	REV
304-1	SERVERY FRONT COUNTER REAR ELEVATION C - LEFT HAND END	REV
304-2	SERVERY FRONT COUNTER REAR ELEVATION C - RIGHT HAND END	REV
305	SERVERY FRONT COUNTER SECTIONS D & E	REV
306	SERVERY FRONT COUNTER SECTIONS F	REV
307	SERVERY FRONT COUNTER END ELEVATION G	REV
308-1	SERVERY PLINTH LAYOUT - LEFT HAND END	REV
308-2	SERVERY PLINTH LAYOUT - RIGHT HAND END	REV

STANDARD JOINERY DETAILS

No:		
500	SERVERY COUNTER SECTIONS	REV
504	BANQUETTE DETAIL	REV
505	DOOR SCHEDULE	REV
506	MAGAZINE RACK DETAIL	REV
513-1	COMMUNAL TABLES	REV
513-2	COMMUNAL TABLES	REV
548-1	MENU FLOOR UNIT	REV
548-2	MENU FLOOR UNIT	REV
560	EXTERNAL BENCH SEAT DETAIL	REV
564	SALES COUNTER BULKHEAD	REV
584	BENCH SEAT AND BRICKWALL	REV
585	FEATURE LATTICE PANEL	REV
586	EXTERNAL PLANTER SECTION	REV
587	DOUBLE SIDED MENU UNIT	REV

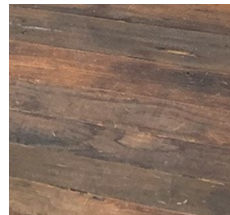
FINISHES SCHEDULE

CODE:

CT1	CERAMIC TILE	60 x 227mm ACADEMY TILES CODE: PIOMBO 77730 (BLACK) VERTICAL STACKED BOND - COUNTER END DAVCO 'RIVER STONE' #4 EPOXY GROUT
CT2	CERAMIC TILE	200 x 200mm POLISHED WHITE GLAZED CERAMIC TILE TO NEW KITCHEN WALLS ONLY - DAVCO 'GUNMETAL GREY' #3 EPOXY GROUT
CT3	CERAMIC TILE	60 x 400mm NATIONAL TILES CODE: LIBERTY BLACK MATT HORIZONTAL RUNNING BOND - COUNTER OVERHEAD WALL DAVCO 'RIVER STONE' #4 EPOXY GROUT
CT4	CERAMIC TILE	143 x 18mm ACADEMY TILES - CODE: 87292 (SPECKLED GREEN) VERTICAL STACKED BOND - COUNTER OVERHEAD WALL DAVCO 'RIVER STONE' #4 EPOXY GROUT
EX	EXISTING	EXISTING FINISH TO BE RETAINED. FINISH REPAIRED OR CLEANED AS REQUIRED
F1	FABRIC	INSTYLE - ZONE 'EQUATOR' - INTERNAL BANQUETTES CONTACT: (03) 9427 9055
F2	CANVAS	INSTYLE BUZZ 'AROUND' - EXTERNAL BANQUETTES CONTACT: (03) 9427 9055
FF1	EXIST. CONC.	EXISTING CONCRETE FINISH TO BE RETAINED AND REPAIRED WHERE REQUIRED BACK TO NEW - REFER TO DRAWING 106 FOR LAYOUT
FF2	EXIST. CONC.	EXISTING CONCRETE FINISH TO BE RETAINED AND REPAIRED WHERE REQUIRED BACK TO NEW - 1 x COAT VERZON MICROCOTE HPU GLOSS AND 1 x COAT OF MOCROCOTE HPU GLOSS WITH GRIPLOCK MAX APPLIED TO TOP
G1	GLAZING	NEW SHOPFRONT GLAZING TO AUSTRALIAN STANDARDS.
L2	LAMINATE	LAMINEX 'BLACK' 460 - FLINT FINISH
M1	METAL	STAINLESS STEEL - CATERING GRADE TO BE SUPPLIED BY BRANDONS
P1	PAINT FINISH	DULUX 'WAYWARD GREY' PG1G8 - LOW SHEEN - SEATING AREA CEILING
P2	PAINT FINISH	DULUX 'BLACK' SG6G9 - LOW SHEEN
P3	PAINT FINISH	DULUX 'LEXICON HALF' PCWF7 - LOW SHEEN
PC1	POWDERCOAT	DULUX DURALLOY BLACK MATT - #19319
PC2	POWDERCOAT	OXYTECH 'MANGROVE' - SATIN - PR12-21007-CS6
SS	METAL FINISH	ANODISED STAINLESS STEEL (FINISH TO BE TO HEALTH STANDARDS WHERE REQUIRED)
T1	TIMBER FINISH	NATURAL MESSMATE (SANDED) WIDEBODY TIMBER (PLANKS TO BE APPROX. 200mm WIDE EACH) - GAPS TO BE INFILLED WITH PUTTY AND FINISHED TO MATCH TIMBER.1 COAT OF 1/2 STRENGTH BROWN JAPAN STAIN AND 3 x COATS MICROZOTE HPU SATIN FINISH (WATER BASED) SAMPLE TO BE SUPPLIED TO CLIENT PRIOR TO INSTALLATION.
T2	CEILING PANEL	GUNNERSSENS EASYCRAFT 'EASYVJ' 9mm MR MDF PANEL PAINTED OUT 'P3' DULUX 'LEXICON HALF' PG1G8 - LOW SHEEN - ENTRY BULKHEAD
T3	TIMBER FINISH	NATURAL MESSMATE (NOT SANDED) WIDEBODY TIMBER (PLANKS TO BE APPROX. 200mm WIDE EACH).1 COAT OF 1/2 STRENGTH BROWN JAPAN STAIN AND 3 x COATS MICROZOTE HPU SATIN FINISH. SAMPLE TO BE SUPPLIED TO CLIENT PRIOR TO INSTALLATION
T4	PANEL	GUNNERSSENS EASYCRAFT 'EASYVJ' 9mm MR MDF PANEL PAINTED OUT 'P1' DULUX 'WAYWARD GREY' PG1G8 - LOW SHEEN - SERVERY BULKHEAD & EXTERNAL PLANTERS
T5	LATTICE PANEL	PREMIUM DRESSED 42 x 13mm RADIATA PINE LATTICE (1800 x 2400mm) PANEL - CONTACT: JIMBOOMBA TIMBERS (07) 5547 8722 - PAINT OUT 'P1' DULUX 'WAYWARD GREY'
T6	TIMBER FINISH	NATURAL RECYCLED WIDEBODY TIMBER. PLANKS TO BE APPROX. 30 x 100mm WIDE TO REAR OF BENCH AND 30 x 60mm WIDE TO SEAT BASE. 3 x COATS MICROZOTE HPU SATIN FINISH (WATER BASED)
WF1	BRICK WALL	AUSTRAL BRICKS - 'SAN SELMO RECLAIMED ORIGINAL' FACING 230 x 76 x 18mm - MORTAR TO MATCH DAVCO 'RIVER STONE' #4



T1 TIMBER PHOTO
Scale 1:-



T3 TIMBER PHOTO
Scale 1:-

GENERAL NOTES:

SHOPFRONTS

- LEASE LINE LOCATIONS ARE TO BE VERIFIED ON SITE WITH THE TENANCY CO-ORDINATOR PRIOR TO INSTALLATION OF SHOPFRONT.

FLOORING

- TENANCY WASH DOWN AREAS ARE TO HAVE WATERPROOF MEMBRANES INSTALLED BY THE LESSEE/SHOPFITTER INCLUSIVE OF A 300mm UPSTAND.100mm COVING TO BACK OF HOUSE AND SERVERY IS ALL THAT IS REQUIRED FOR HEALTH APPROVAL.
- EXPANSION JOINTS IN SLABS ARE TO BE CARRIED THROUGH BRITTLE FLOOR FINISHES. SLIMLINE PROPRIETARY BRASS OR ALUMINIUM EXPANSION JOINT SYSTEMS MAY BE USED; RUBBER, VINYL OR WIDE PROFILE COVER STRIPS ARE NOT PERMITTED.
- ALL FLOOR FINISHES ARE TO BE FLUSH WITH DISSIMILAR MATERIALS SEPARATED BY A FLUSH BRASS OR ALUMINIUM DIVISION STRIP.

JOINERY

- ALL FIXINGS ARE TO BE CONCEALED OR OBSCURED WITHIN RECESSED FLANGES OR NEGATIVE DETAILS, WITH WHICH THEY ARE TO BE COLOUR MATCHED.
- ALL EXPOSED EDGES PRONE TO DAMAGE MUST HAVE INLAID EDGE PROTECTION FOR THE FULL HEIGHT/LENGTH OF THE EFFECTED EDGE.(SUBJECT TO THE FINISH)

SIGNAGE

- INTERNALLY ILLUMINATED SIGNS ARE TO HAVE EVEN ILLUMINATION WITHOUT BANDING OR DARK SPOTS. JOINTS ARE TO BE DESIGNED IN A MANNER TO AVOID LIGHT SEEPAGE.
- ILLUMINATED SIGNAGE AND SHOPFRONT ZONE AND DISPLAY CASEWORK LIGHTING IS TO BE CONNECTED TO AN ELECTRONIC 7 DAY/24 HR ELECTRONIC TIMER, AND SET TO CENTRE MANAGEMENT REQUIREMENTS.
- SIGNAGE IS NOT TO BE BRANDED WITH SUPPLIER/MANUFACTURER LOGOS.
- POWER AND SWITCHING TO SIGNAGE AND MENU BOARDS IS TO BE TOTALLY CONCEALED.
- ALL GLASS AND MIRROR EDGES (EXPOSED) ARE POLISHED AND HAVE RADIUS CORNERS.
- VENTS FOR UNDER COUNTER EQUIPMENT (EG DISPLAY FRIDGE UNITS) ARE NOT TO BE EXPOSED TO PUBLIC VIEW. DRESS FRIDGE VENT WILL BE TO SERVERY FACE (AS PER NATIONAL ROLLOUT)

CEILINGS & PARTITIONS

- ALL ACCESS PANELS ARE TO BE FLUSH PLASTERBOARD AND HINGED, AND SIZED AS PER THE CONSULTANT'S ADVICE.
- SERVERY & KITCHEN STUD WALLS TO BE FOAM FILLED WITH COMPRESSED SHEET LINING TO NSW HEALTH STANDARDS.
- MOTORS TO COOLROOM AND FREEZER TO BE INSTALLED IN WELL VENTILATED LOCATIONS.

LIGHTING

- FOOD TENANCIES - GLASS DISPLAY CASES HAVE CONCEALED FRAMES AT COUNTER TOPS (CONCESSION APPROVED), UV GLUED/FRAMELESS EDGES AND APPROPRIATE INTERNAL LIGHTING (SHROUDED TO AVOID GLARE).
- ALL EXIT SIGNAGE TO THE SHOPFRONT IS TO BE EDGE LIT TYPE WITH CONTROL GEAR RECESSED INTO THE CEILING.
- ALL LIGHTING IS TO COMPLY WITH BCA CODES REQUIREMENTS.

SERVICES

- CHASING OF WALLS IS NOT PERMITTED.
- CHASING OF FLOORS IS NOT PERMITTED.
- EXPOSED CONDUITS NOT PERMITTED. UNLESS IN SECTION OF CEILING EXPOSED - TO BE PAINTED OUT BLACK.
- GAS; SUPPLIED BY LESSOR TO GATE VALVE IF REQUIRED BY THE TENANCY.
- HOT WATER SYSTEM, WHERE REQUIRED, TO BE FITTED WITH SAFETY TRAY AND/OR TUNDISH DRAINAGE.
- AUDIBLE ALARM SYSTEMS ARE NOT PERMITTED.
- POWER OUTLETS ARE TO BE FLUSH FITTING, AT OR BELOW BENCH HEIGHT AND COLOUR COORDINATED WHERE VISIBLE TO THE PUBLIC.

- SHOPFITTER TO ARRANGE UPGRADE OF POWER IF REQUIRED - 3 PHASE 10 AMPS
- SHOPFITTER TO CO-ORDINATE ANY UPGRADE OF GAS WITH CLIENT.

CENTRE NOTES

- LESSEE TO ENSURE THAT ALL BCA FIRE SAFETY AND FIRE COLLAR INSTALLATION TO ALL SLAB PENETRATIONS ARE COMPLIANT
- METHOD AND DETAIL OF ALL ROOF PENETRATIONS ARE TO BE APPROVED BY THE PROJECT ARCHITECT
- MECHANICAL SERVICES ARE TO COMPLY WITH BCA AND ALL OTHER RELEVANT VENTILATION CODES

No.	Revision:	Project:	DESIGN ISSUE	Drawn:	TC	Drawing No:	CS	Drawing Title:
		SHOP 066 STOCKLANDS BALGOWLAH NSW 2093		Checked:	SM			
				Date:	18.01.21	Job No:	21003	DRAWING REGISTER & FINISHES SCHEDULE
				Scale:	1:100 @ A3			



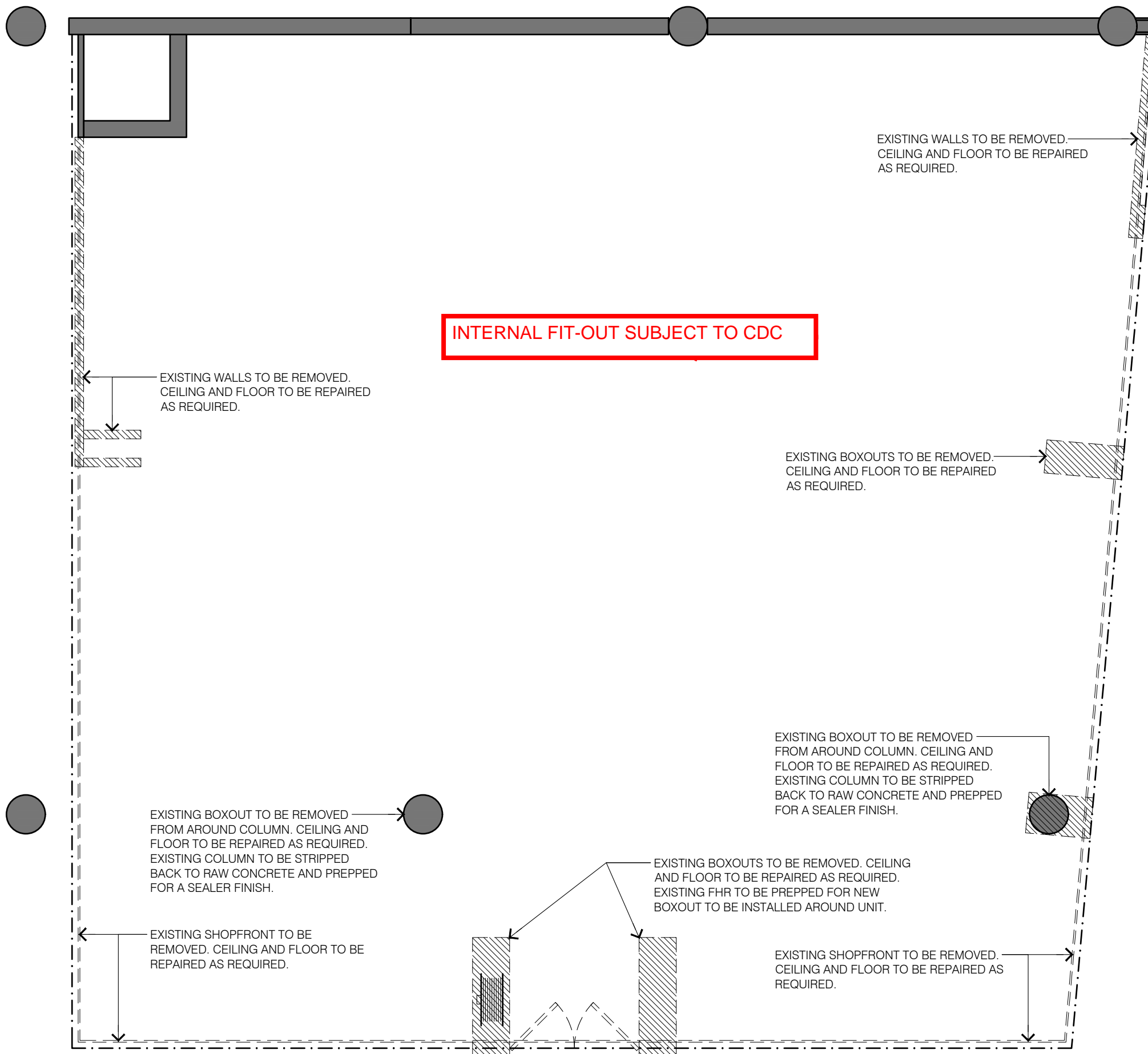
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INTERNAL FIT-OUT SUBJECT TO CDC

No.	Revision:

Project:
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 BALGOWLAH
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TENDER ISSUE

Drawn: TC
 Checked: SM
 Date: 17.07.18
 Scale: 1:50 @ A3

Drawing No:
107
 Job No: 21003

Drawing Title:
 PROPOSED
 DEMOLITION
 PLAN

S T | Y L E

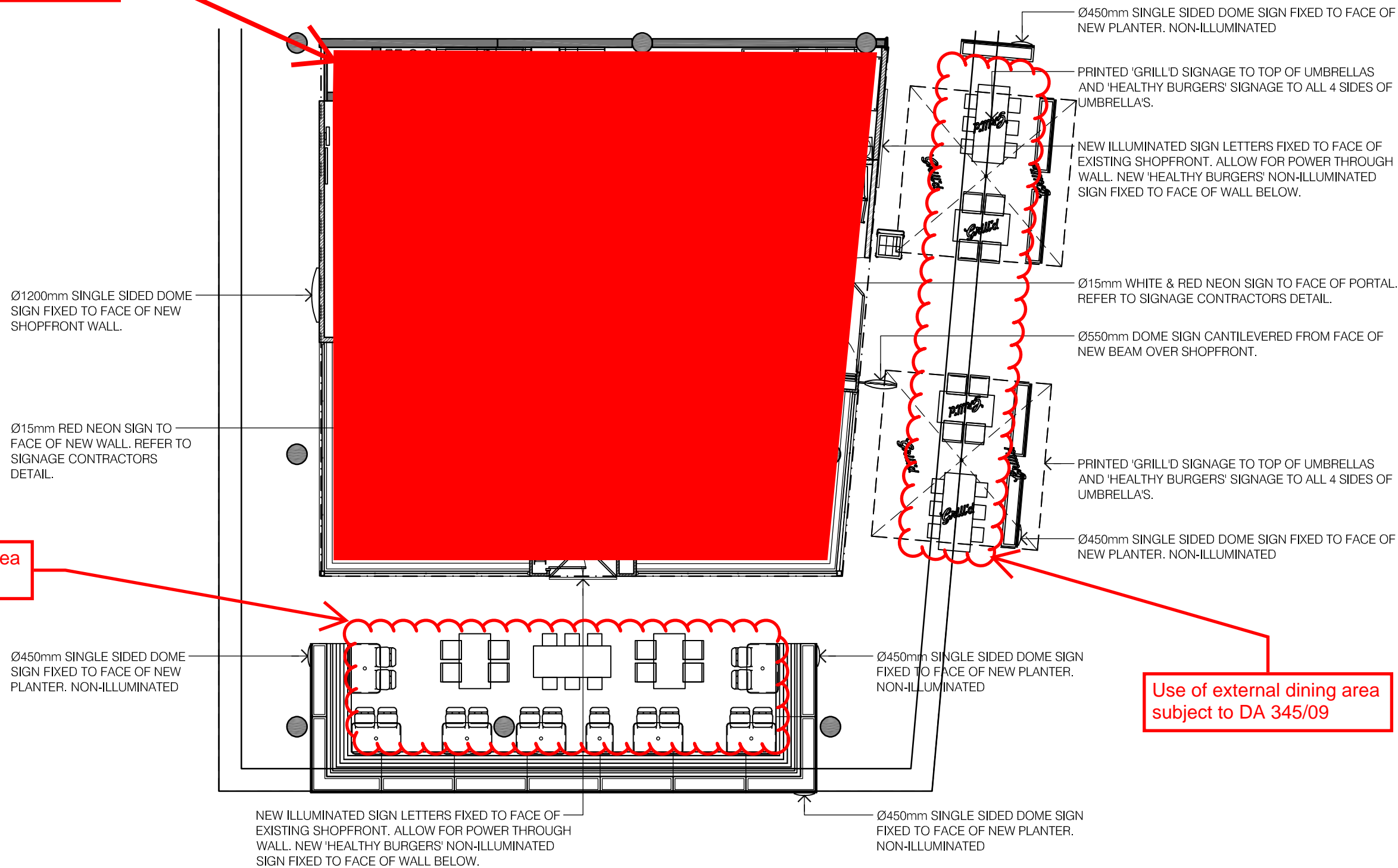
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INTERNAL FIT-OUT SUBJECT TO CDC

Use of external dining area subject to DA 345/09

Use of external dining area subject to DA 345/09



NOTES & CONDITIONS:
REFER TO DRAWING 000 FOR NOTES AND CONDITIONS.

No.	Revision:	Project:	DESIGN ISSUE	Drawn:	TC	Drawing No:	113	Drawing Title:	
		SHOP 066 STOCKLANDS BALGOWLAH NSW 2093		Checked:	SM	Job No:		21003	SIGNAGE LAYOUT
				Date:	18.01.21				
				Scale:	1:100 @ A3				

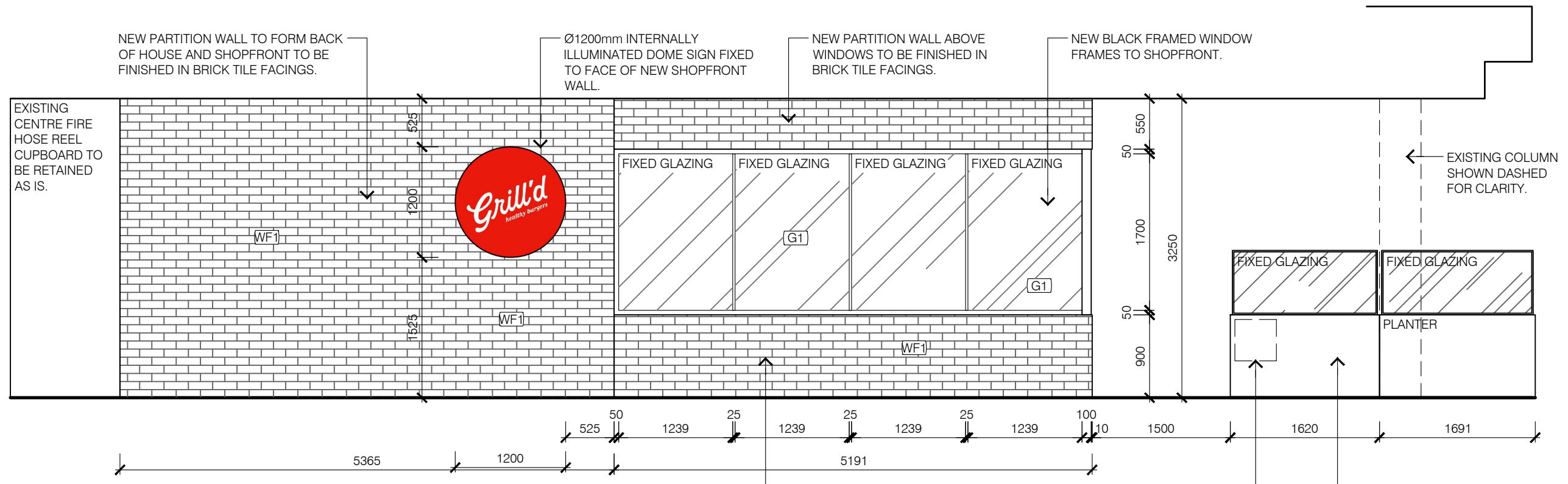


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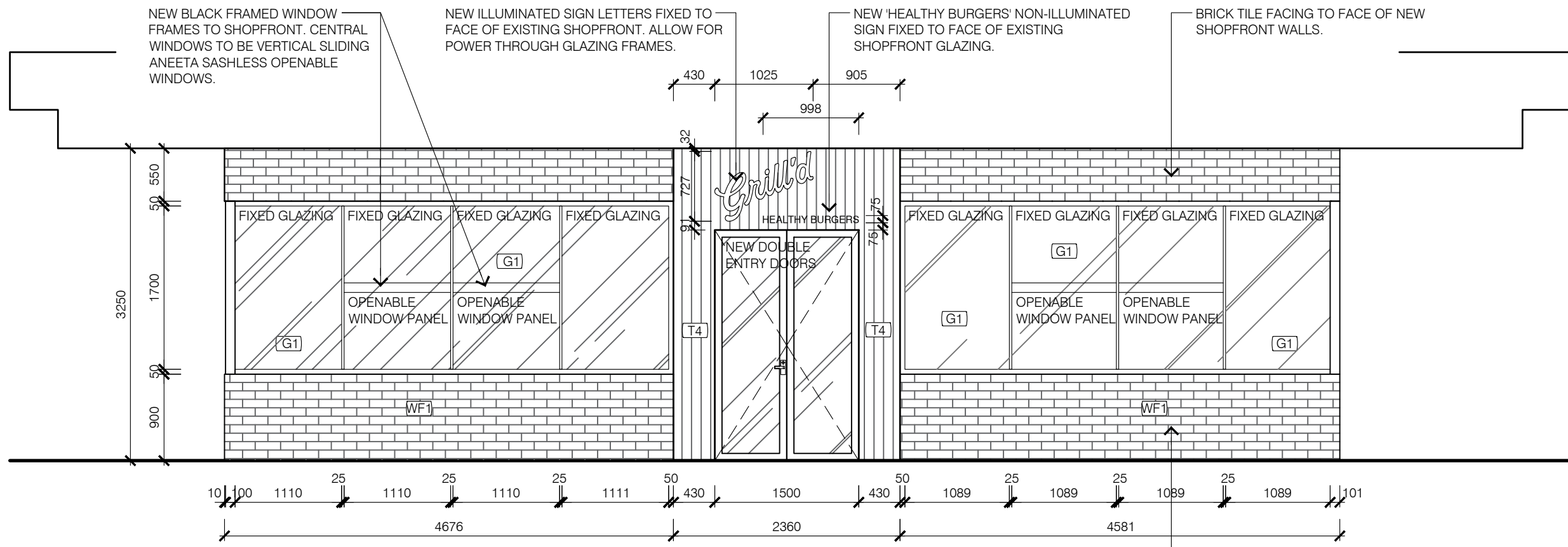
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SHOPFRONT ELEVATION A
 A 100 Scale 1:50



SHOPFRONT ELEVATION B
 B 100 Scale 1:50

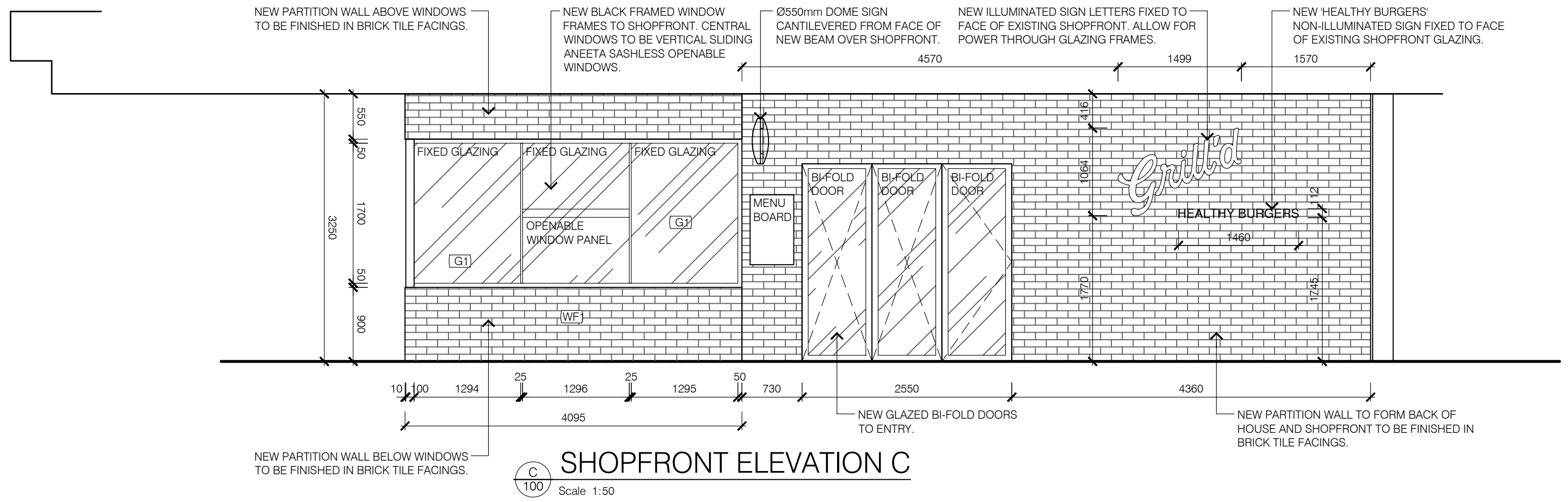
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		SHOP 066 STOCKLANDS BALGOWLAH NSW 2093		Checked:	SM	Job No:			21003
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No.	Revision:	Project:	TENDER ISSUE	Drawn:	TC	Drawing No:	109	Drawing Title: EXTERNAL & INTERNAL ELEVATIONS
		SHOP 066 STOCKLANDS BALGOWLAH NSW 2093		Checked:	SM			
				Date:	18.01.21			
				Scale:	1:50 @ A3	Job No:		

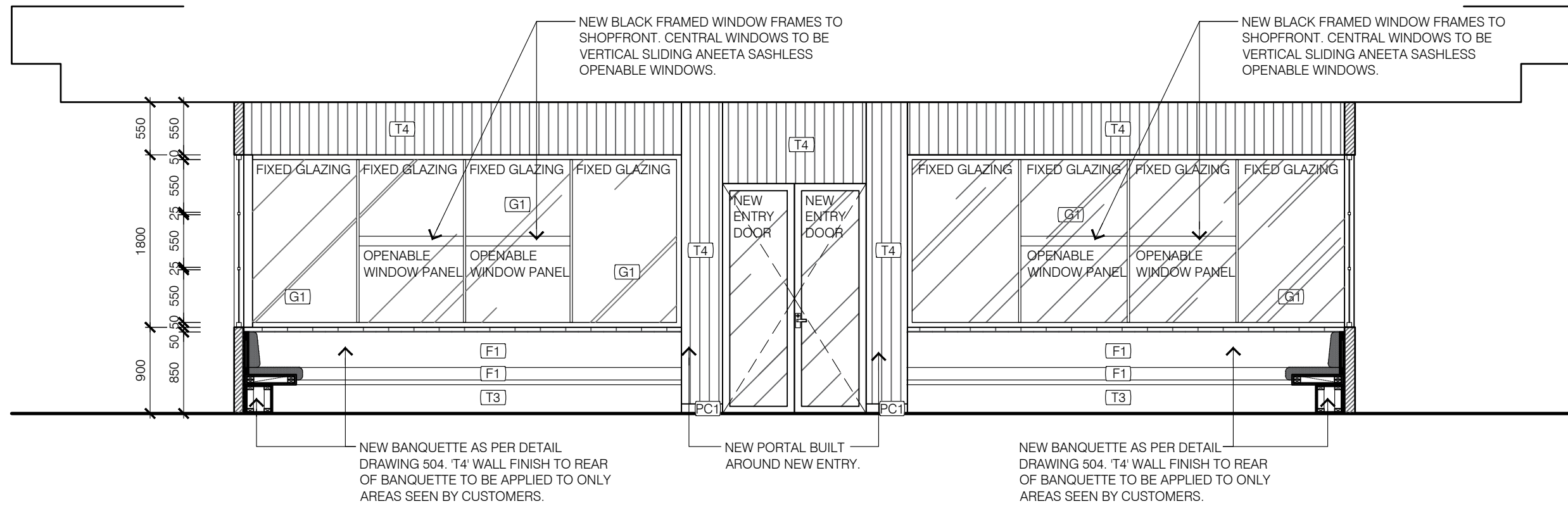


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SHOPFRONT ELEVATION G
 Scale 1:50

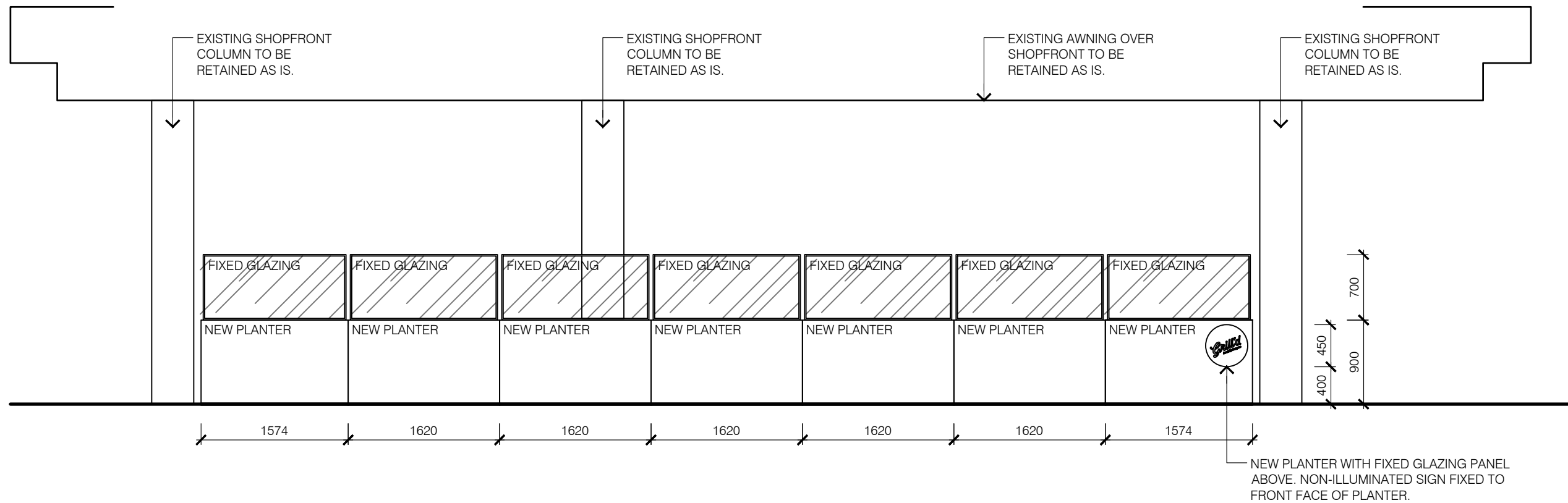
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				Date:	18.01.21				
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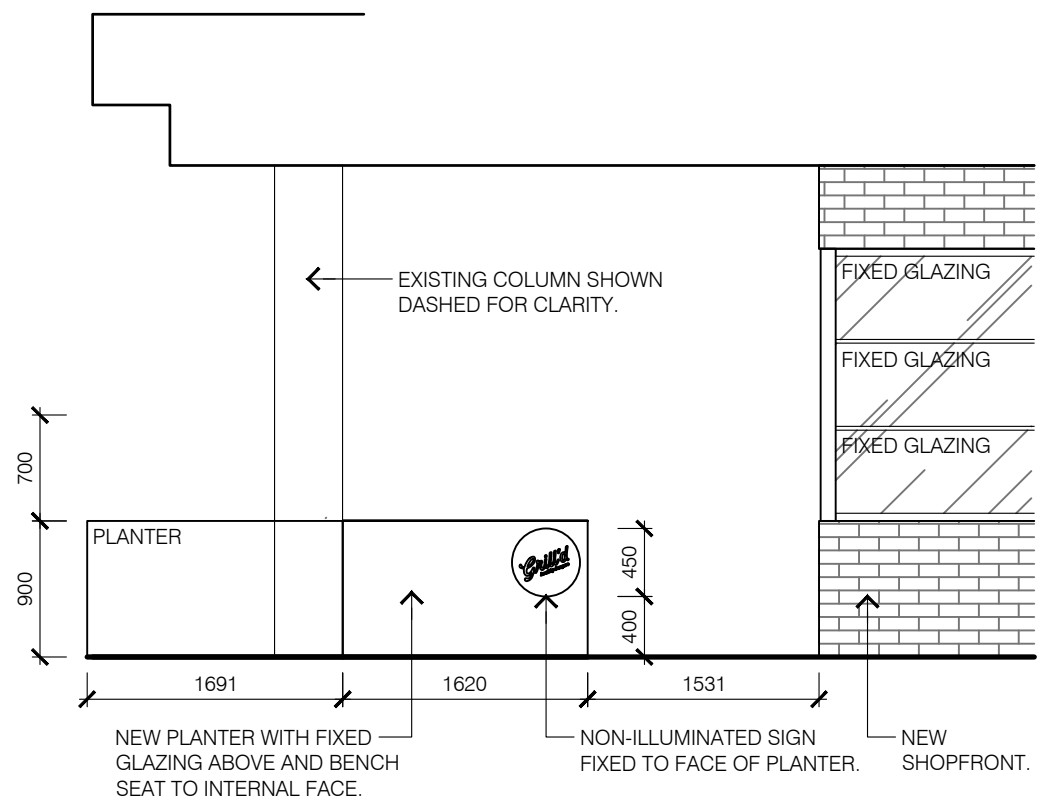
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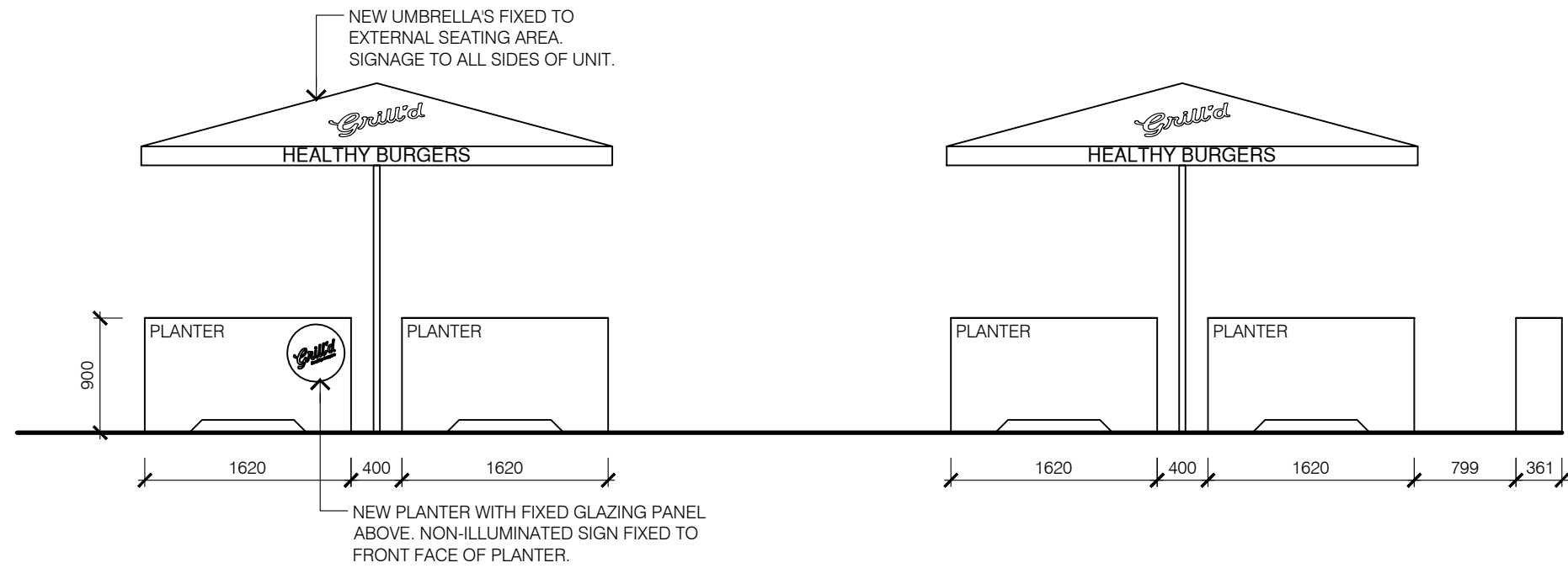


EXTERNAL SEATING ELEVATION K
 Scale 1:50



EXTERNAL SEATING ELEVATION L
 Scale 1:25

No.	Revision:	Project:	DESIGN ISSUE	Drawn:	TC	Drawing No:	114	Drawing Title:
		SHOP 066 STOCKLANDS BALGOWLAH NSW 2093		Checked:	SM	Job No:		21003
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				Scale:	1:100 @ A3			



EXTERNAL SEATING ELEVATION M
 Scale 1:50

No.	Revision:	Project:	DESIGN ISSUE	Drawn:	TC	Drawing No:	115	Drawing Title:	
		SHOP 066 STOCKLANDS BALGOWLAH NSW 2093		Checked:	SM	Job No:		21003	EXTERNAL SEATING ELEVATIONS
				Date:	18.01.21				
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