

**buck&simple.**  
*doers of stuff*

27/09/2019 12:11:04 PM



#### General

##### General Notes and Abbreviations

Refer also to the General Notes and Abbreviations where included with this drawing set.

**This specification table forms a non-exhaustive list of the Standards and provisions applicable to the works. Where an Australian Standard (AS/NZ/int) or provision of the NCC has been omitted, superseded or replaced the contractor is to ensure all works are carried out, completed and warranted in accordance with the most current form of the standard or provision. Where a discrepancy arises, notify the contract administrator immediately**  
\*Refer to Execution of Works.

##### Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify the project administrator of any discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

##### Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify the project administrator of any discrepancies prior to proceeding with the affected part of the works.

##### Units of measurement

Unless noted otherwise:  
- Dimensions are shown in millimetres; and  
- Levels are shown in meters

##### To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

##### Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

##### Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the site works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

##### Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

##### Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

##### Falls

Finish surfaces typically to fall as required to facilitate effective drainage.

##### Interpretation

"Provide" means to supply and install.  
"Required" means required by the contract documents or by the Local or Statutory Authorities.  
"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

##### Specifications and schedules

Where a written specification and/or schedule exist and a discrepancy between documents is identified, the written documents take precedence over this document to the extent of the discrepancy. Where a discrepancy is identified notify the project administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

##### Execution of the works (Specifications)

Execute the works in compliance with:  
- The relevant deemed-to-satisfy provisions of the current edition of the Building Code of Australia (Volume 2- Housing Provisions) (as amended at the time of execution of the works);  
- Current editions of relevant Australian and other applicable published Standards; and  
- The relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works.  
The specification of codes and standards included herein outlines the minimum acceptable standards.

##### Termite protection

Provide termite protection:  
In accordance with the BCA (Volume 2) Part 3.1.3\_Termite Risk Management and to AS/NZS 3660.1\_Termite management - New building work.  
Upon completion, a durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating: The method of termite protection, the date of installation of the system, where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label and the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.  
Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the relevant provisions of the BCA and Australian Standards.

##### Flashings and damp-proof courses

Flashings and damp-proof courses: To AS/NZS 2904\_Damp-proof courses and flashings

##### Fasteners

Steel nails: Hot-dip galvanized to AS/NZS 4680\_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles. Self-drilling screws: To AS 3566\_Self-drilling screws for the building and construction industries - General requirements and mechanical properties

##### Metal finishes

Corrosion protection:  
In accordance with the BCA (Volume 2) Part 3.4.2.2\_Steel framing - General.  
Preparation of metal surfaces:  
To AS 1627\_(Various)\_Metal finishing - Preparation and pretreatment of surfaces.  
Zinc plating:  
To AS 1789\_Electroplated zinc (electrogalvanized) coatings on ferrous articles (batch process), at least service condition number 2.  
Anodising:  
To AS 1231\_Aluminium and aluminium alloys - Anodic oxidation coatings, at least class AA10.  
Thermoset powder coating: To AS 3715\_Metal finishing - Thermoset powder coating for architectural applications of aluminium and aluminium alloys.  
Galvanize mild steel components (including fasteners): To AS 1214\_Hot-dip galvanized coatings on threaded fasteners (ISO metric coarse thread series) (ISO 10684:2004, MOD) or AS/NZS 4680\_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles, as appropriate, if exposed to weather, embedded in masonry or in contact with chemically treated timber.  
Galvanized other components:  
To AS/NZS 4680\_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles.  
Durability requirements:  
To AS/NZS 2699.2\_Built-in components for masonry construction - Connectors and accessories  
Steel sheeting:  
To AS/NZS 2728\_Prefinished/prepainted sheet metal products for interior/exterior building applications - Performance requirements.  
Cold-form sections from metallic-coated steel:  
To AS 1397\_Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium.  
Steel framing:  
Zinc-coated or aluminium/zinc alloy coated steel;  
To AS 1397 (Steel sheet and strip - Hot dipped zinc-coated or aluminium/zinc-coated) Z450 or AZ150.

##### Building in bushfire prone areas

Provide certification that **all construction methods** and any required bushfire prevention measures are installed in accordance with the approvals documentation, the NSW Rural Fire Service and **AS 3959**.  
  
In order to provide a suitable combination of bush fire protection measures the NSW Rural Fire Service also requires additional construction requirements beyond those prescribed in AS3959 as deemed appropriate.

##### Construction methods must comply with these requirements, including, but not limited to: Addendum Appendix 3 of Planning for bushfire fire protection, including, but not limited to the relevant provisions of A3.7 and the nominated Australian Standard clauses.

Specify all measures installed on the certification.

##### Demolition

Demolish existing structures as shown: To AS 2601 (The demolition of structures)  
Temporary Support: Provide temporary support for part(s) of the existing structure as required where part(s) of the works to be altered rely on work to be demolished for support .  
Temporary Cover: Provide temporary cover as necessary to prevent damage from the weather and ensure that the site remains secure so as to prevent unauthorised entry.  
Secure Site: Prior to the commencement of demolition works ensure that the site is secure and that erosion and other environmental protection measures are in place and operational.  
Asbestos: Demolition involving the removal of asbestos or materials containing asbestos fibre must only be carried out by persons licensed by Workcover NSW and be in accordance with the National Occupational Health and Safety Commission (WorkSafe Australia), Code of practice for the safe removal of asbestos.

##### Earthworks

To be carried out in accordance with:  
- The requirements of the Environmental Planning & Assessment Act 1979;  
- Relevant conditions of development consent; and  
- The relevant requirements of BCA (Volume 2) Part 3.1.1 of the BCA (volume 2)  
Excavation adjacent to existing buildings:  
To comply with BCA (Volume 2) Part 3.1.1.3  
Excavation for drains adjacent to existing footings: To be in accordance with BCA (Volume 2) Part 3.1.2.2 & Figure 3.1.2.1.

##### Piling

Timber piled footing systems: Proprietary System designed to AS 2870 (Residential slabs and footings - Construction). Screw-in foundations: Proprietary System designed to AS 2159 (Piling - Design and installation).

##### Structural design

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications and in accordance with the relevant provisions of the following structural design manuals.

##### Site classification

To be in accordance with Part 3.2.4 of the BCA (volume 2)

##### Structural design manuals

AS 1170.1 (Dead and live loads and load combinations)  
AS 1170.2 (Wind loads) or AS 4055 (Wind loads for housing)  
AS 1170.4 (Earthquake loads)  
AS 1720.1 (Timber structures code)  
AS2870 (Residential slabs and footings)  
AS 2159 (Piling - design and installation)  
AS 2327.1 (Composite structures)  
AS 3600 (Concrete structures)  
AS 3700 (Masonry Structures)  
AS 4100 (Steel structures)  
AS 4773 (Masonry in small buildings)

##### Structural design certification

Submit structural engineer's design certification, in accordance with Local Authority requirements, to the Principal Certifying Authority prior to the commencement of works.

##### Concrete construction

Concrete structures generally: To AS 3600 (Concrete structures).  
Ground slabs and footings: To AS 2870 (Residential slabs and footings - Construction).  
Ready mixed supply: To AS 1379 (Specification and supply of concrete).  
Concrete construction is to comply with Spec A2.4, B1.4 & AS 3600

##### Footings and slabs

Design and construct footings and slabs: In accordance with Part 3.2 of the BCA (volume 2) and AS 2870(Residential slabs and footings), AS 3600 (Concrete structures) and AS 2159(Piling - Design and installation).

##### Brick & block construction (masonry)

Masonry construction: To be in accordance with Part 3.3 of the BCA (volume 2) and to AS 3700 (Masonry structures).  
Masonry units: To AS/NZS 4455 (Masonry units and segmental pavers).  
Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 (Masonry units and segmental pavers - Methods of test - Determining resistance to salt attack) Appendix A (Salt attack resistance categories).  
AS 4773.1 and AS 4773.2 (Masonry in small buildings)

##### Wall ties

Wall ties: To AS/NZS 2699.1(Built-in components for masonry construction - Wall ties); Non-seismic areas: Type A; Seismic areas: Type B.  
Wall tie type: To BCA Volume 2 clause 3.3.3.2 (Acceptable construction - Masonry - Masonry accessories - Wall ties).  
Wall tie spacing: To BCA Volume 2 Figure 3.3.3.1 (Typical brick ties spacings in cavity and veneer construction).  
Wall tie corrosion protection: To BCA Volume 2 Table 3.3.3.1 (Corrosion protection for wall ties).

##### Lintels

Lintels generally: In accordance with Part 3.3.3.4 of the BCA (volume 2)  
Cold-formed lintels: Proprietary cold-formed flat-based type designed to AS/NZS 4600(Cold-formed steel structures), manufactured from mild steel galvanized to AS/NZS 4680 (Do not cut after galvanizing).  
Steel lintels (flats and angles): To BCA Volume 2 Figure 3.3.3.5. manufactured from mild steel galvanized to AS/NZS 4680 (Do not cut after galvanizing).  
Lintel corrosion protection: To AS/NZS 2699.3 (Built-in components for masonry construction - Lintels and shelf angles (durability requirements)).

##### Timber & steel framed construction

**Sub-floor ventilation**  
Sub floor ventilation: To be in accordance with Part 3.4.1 of the BCA (volume 2)

##### Timber wall, floor and roof framing

Timber framing: To be in accordance with Part 3.4 of the BCA (volume 2) and  
AS 1684.4 (Residential timber-framed construction - Simplified - Non-cyclonic) or AS 1720.1 (Timber structures - Design methods).  
Natural durability class of heartwood: To AS 5604(Timber - Natural durability ratings).  
Preservative treatment: To the AS 1604 series (Specification for preservative treatment).  
Contractor to ensure compliance with clause 3.4.3.0 of the BCA and AS 1684.2 (Amdt 1), AS1684.3(Amdt 1) or AS 1684.4 (Amdt 1).  
Timber construction is to comply with clause 3.4.3.0 & AS 1684.2 – (Amdt 1).

##### Steel framing and structural steel members

Steel framing: To be in accordance with Part 3.4.2 of the BCA (volume 2)  
Acceptable construction practice (Part 3.4.2.1 of the BCA) and / or  
AS 4100 (Steel structures)  
Steel structural members: To be in accordance with Part 3.4.4 of the BCA (volume 2) Acceptable construction practice and AS 4100 (Steel structures)  
Structural steelwork: To AS 4100 (Steel structures).  
Cold-formed steel framing: Provide a proprietary system designed to AS 3623(Domestic metal framing).  
Welding: To AS/NZS 1554.1 (Structural steel welding - Welding of steel structures).

##### Floors

Floors:  
To AS 1684.4  
Particleboard flooring: To AS/NZS 1860.1 (Particleboard flooring - Specifications) and install to AS 1860 (Installation of particleboard flooring).  
Compressed Fibre cement flooring: To AS/NZS 2908.2 (Cellulose-cement products - Flat sheets), Type A, Category 5.  
Plywood flooring: To AS/NZS 2269 (Plywood - Structural), bond type A, tongue and grooved.

##### Roof trusses

Roof trusses installation: To AS 4440 (Installation of nail-plated timber trusses).  
Anti-ponding boards: To AS/NZS 4200.2(Piable building membranes and underlays - Installation requirements).

##### Roof and wall cladding

**Roof tiling**  
To be in accordance with Parts 3.5.1.1 & 3.5.1.2 of the BCA (volume 2) and AS 2049 (Roof tiles).  
Roof tile installation: To AS 2050 (Installation of roofing tiles).

##### Metal roof sheeting

To be in accordance with the BCA (Volume 2) Part 3.5.10, 3.5.1.1 & 3.5.1.3

Metal roofing design and installation: To AS 1562.1(Design and installation of sheet roof and wall cladding - Metal).

##### Roof plumbing

To be in accordance with BCA (Volume 2) Part 3.5.2 and AS/NZS 3500 (Part 3 - Stormwater drainage) and AS/NZS 3500(Part 5 - Domestic installation - section 5 - stormwater drainage)  
PVC rainwater goods and accessories: To AS/NZS 2179.2 (Int) (Specification for rainwater goods, accessories and fasteners - PVC rainwater goods and accessories).

##### Eaves & soffits

lining is to comply with 3.5.3.4 of the BCA and AS/NZS 2908.2 - 2000 or ISO 8336 - 1993E.

##### Wall cladding

To be in accordance with Part 3.5.3 of the BCA (volume 2)  
Hardboard cladding: To AS/NZS 1859.4 (Int)(Reconstituted wood-based panels - Specifications - Wet-processed fibreboard).  
Fibre cement cladding: To AS/NZS 2908.2(Cellulose-cement products - Flat sheets), Type A, Category 3.  
Metal cladding design and installation: To AS 1562.1 (Design and installation of sheet roof and wall cladding - Metal).  
Unplasticised polyvinyl chloride (uPVC) sheet: To AS/NZS 4256.4 (Plastic roof and wall cladding materials - Unplasticised polyvinyl chloride (uPVC) wall cladding boards).  
Glass fibre reinforced polyester (GRP) sheet: To AS/NZS 4256.3 (Plastic roof and wall cladding materials - Glass fibre reinforced polyester (GRP)).  
Polycarbonate: To AS/NZS 4266.5 (Plastic roof and wall cladding materials - Polycarbonate).  
Installation of plastic claddings: To AS/NZS 1562.3 (Design and installation of sheet roof and wall cladding - Plastic).  
Timber cladding to comply with BCA (Volume 2) Part 3.5.3.2

##### Insulation and sarking

Cellulosic fibre (loose fill): To AS/NZS 4859.1 (Materials for the thermal insulation of buildings - General criteria and technical provisions), Section 5.  
Mineral wool blankets and cut pieces: To AS/NZS 4859.1, Section 8.  
Polystyrene (extruded rigid cellular sheets): To AS 1366.4 (Rigid cellular plastics sheets for thermal insulation - Rigid cellular polystyrene - Extruded (RC/PSE)).  
Polystyrene (moulded rigid cellular sheets): To AS 1366.3 (Rigid cellular plastics sheets for thermal insulation - Rigid cellular polystyrene - Moulded (RC/PS - M)).  
Reflective insulation: To AS/NZS 4859.1, Section 9.  
Wool: To AS/NZS 4859.1, Section 6.  
Sarking material: To AS/NZS 4200.1 (Pliable building materials and underlays - Materials).  
Standard: To AS 3999 (Thermal insulation of dwellings - Bulk insulation - Installation requirements).  
Sarking material: To AS/NZS 4200.2 (Pliable building materials and underlays - Installation requirements).

##### Windows and doors

Glazing to be in accordance with Part 3.6 of the BCA (volume 2).  
Glass Selection and installation: To AS 1288(Glass in buildings - Selection and installation).  
Timber doorsets: To AS 2688 (Timber doors).  
Timber frames and jamb linings: To AS 2689 (Timber doorsets).  
Security screen doors and windows grilles: To AS 5039 (Security screen doors and security window grilles).  
Window selection and installation: To AS 2047 (Windows in buildings - Selection and installation).  
Doorset installation: To AS 1909 (Installation of timber doors).  
Garage doors: To AS/NZS 4505 (Domestic garage doors).  
Provide certification from a licensed installer that window framing and glazing is installed in accordance with the relevant standards.

##### Lining

Plasterboard: To AS/NZS 2588 (Gypsum plasterboard).  
Plasterboard installation: To AS/NZS 2589.1 - (Gypsum linings in residential and light commercial construction - Application and finishing - Gypsum plasterboard) Level 4 finish.  
Fibre cement: To AS/NZS 2908.2 (Cellulose-cement products - Flat sheets), Type B, Category 2.  
Fibrous plaster products: To AS 2185 (Fibrous plaster products).

##### Fire safety

**Fire separation**  
To be in accordance with BCA (Volume 2) Part 3.7.1  
Fire separation - Separating wall construction: To BCA (Volume 2) Part 3.7.1.8  
Fire separation - Roof lights: BCA (Volume 2) Part 3.7.1.10  
Refer to architectural details of fire separation methods.

##### Flashing

Flashing to wall openings are to comply with BCA (Volume 2) Part 3.5.3.6 and AS/NZS 2904 - 1995 Amdt 1

##### Smoke alarms

To be in accordance with Part 3.7.2 of the BCA (volume 2), AS 3786 (Smoke alarms) and the Manufacturer's instructions. Where consumer mains power is supplied smoke alarms must be connected to mains power. For Class 1A buildings smoke alarms must be installed on every storey. In storeys containing bedrooms smoke alarms are to be located on or near the ceiling:  
- In every corridor or hallway associated with a bedroom, or  
- If there is no corridor or hallway, between the part of the building containing the bedroom and the remainder of the building.

On storeys not containing bedrooms a smoke alarm must be provided and should be located along the path of travel people will most likely take to evacuate the building.  
Provide certification from a Licensed electrical contractor certifying that the alarm system has been installed in accordance with the relevant standards.

All smoke alarms to be interlinked

##### Heating appliances

Part 3.7.3 of the BCA (volume 2) and  
AS 2918 - Domestic solid - fuel burning appliances - installation

##### Health and amenity

##### Wet areas

Refer to "Waterproofing"

##### Room heights

To be in accordance with Part 3.8.2 of the BCA (volume 2)  
Ceiling heights are to comply with clause 3.8.2.2 of the BCA.

##### Kitchen, sanitary and washing facilities

To be in accordance with Parts 3.8.3.2 and 3.8.3.3 of the BCA (volume 2)

##### Natural and artificial light

To be in accordance with Parts 3.8.4.2 and 3.8.4.3 of the BCA (volume 2)

##### Ventilation

To be in accordance with Part 3.8.5 of the BCA  
Natural Ventilation: Parts 3.8.5.2 and 3.8.5.3 of the BCA (volume 2)  
Mechanical Ventilation: Parts 3.8.5.0 and 3.8.5.3 of the BCA (volume 2)

##### Sound insulation

To be in accordance with Part 3.8.6.1 of the BCA (volume 2)  
Refer to architectural details of sound insulation measures

##### Safe movement and access

**Stair construction**  
To be in accordance with BCA (Volume 2) Part 3.9.1.1  
\_Acceptable construction practice. Stair construction must comply with the provisions of the BCA (Volume 2) Part 3.9.1, i.e., treads min 240mm nosing to nosing; risers 115mm - 190mm; slope relationship (2R+G); handrail height 865mm above nosing; open treads maximum gap between treads is 125mm.

##### Balustrades

To be in accordance with BCA (Volume 2) Part 3.9.2.1  
\_Acceptable construction practice. Balustrade construction must comply with the provisions of the BCA (Volume 2) Part 3.9.2. Balustrade height 1m above finished floor surface.  
Where ground height exceeds 4m from floor level of the deck / balcony balusters must be vertical / non-climbable between 150mm and 760mm above deck level.

##### Block and tile finishes

Ceramic tiling: Follow the guidance provided by AS 3958.1 (Ceramic tiles - Guide to the installation of ceramic tiles) and AS 3958.2 (Ceramic tiles - Guide to the selection of a ceramic tiling system).  
Adhesives: To AS 2358 (Adhesives - For fixing ceramic tiles).

##### Waterproofing

To be in accordance with BCA (Volume 2) Part 3.8.1 and AS 3740 (Waterproofing of wet areas in residential buildings)  
Provide certification from a licensed installer certifying that the waterproofing is installed in accordance with the relevant standards.

##### Floor coatings and coverings

Carpeting: To AS/NZS 2455.1 (Textile floor coverings - Installation practice - General).  
Resilient finishes: To AS 1884 (Floor coverings - Resilient sheet and tiles - Laying and maintenance practices).

##### Painting

Painting generally: Follow the guidance provided by AS/NZS 2311 (Guide to the painting of buildings) and AS/NZS 2312 (Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings).  
**Preparation**  
Prepare surfaces to be painted in accordance with the Manufacturer's recommendations to suit the selected paint system, the type of substrate and its condition.

##### Timber fixtures

Hardboard: To AS/NZS 1859.4 (Int) (Reconstituted wood-based panels - Specifications - Wet-processed fibreboard).  
Particleboard: To AS/NZS 1859.1 (Int) (Reconstituted wood-based panels - Specifications - Particleboard).  
Medium density fibreboard: To AS/NZS 1859.2 (Int) (Reconstituted wood-based panels - Specifications - Dry-processed fibreboard).  
Decorative overlaid wood panels: To AS/NZS 1859.3 (Reconstituted woodbased panels - Decorative overlaid wood panels).

High-pressure decorative laminate sheets: To AS/NZS 2924.1 (High pressure decorative laminates - Sheets made from thermosetting resins - Classification and specification).  
Domestic kitchen assemblies: To AS/NZS 4386.1 (Domestic kitchen assemblies - Kitchen units).

##### Hydraulic (plumbing) installations

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements. Where a discrepancy arises the hydraulic consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.  
Plumbing and drainage products: To SAA MP52-2001 (Manual of authorization procedures for plumbing and drainage products) and AS/NZS 3718 (Water supply - Tap ware).  
Stormwater: To AS/NZS 3500.3 (Plumbing and Drainage - Stormwater drainage) or AS/NZS 3500.5(National Plumbing and Drainage - Domestic installations).  
Wastewater: To AS/NZS 3500.2 (Plumbing and Drainage - Sanitary plumbing and drainage) or AS/NZS 3500.5

Waterless composting toilets: To AS/NZS 1546.2 (On-site domestic wastewater treatment units - Waterless composting toilets).  
On-site domestic wastewater treatment units: To AS/NZS 1546.3 (On-site domestic wastewater treatment units - Aerated wastewater treatment units).  
Septic systems: To AS/NZS 1546.1 (On-site domestic wastewater treatment units - Septic tanks).  
Effluent disposal: To AS 1547 (On-site domestic wastewater management).  
Freshwater: To AS/NZS 3500.1 (Plumbing and Drainage - Water services) and AS/NZS 3500.4 (Plumbing and Drainage - Heated water services) or AS/NZS 3500.5  
Copper pipe: To AS 4809 (Copper pipe and fittings - Installation and commissioning).  
Rainwater tanks installation: To AS/NZS 3500.1.  
Polyethylene tanks: To AS/NZS 4766 (Int).  
Gas: To AS 5601(Gas installation code).  
Gutters & downpipes:  
To comply with BCA (Volume 2) Part 3.5.2.0 & AS/NZS 3500.3 (Amdt 1 & 2), or AS/NZS 3500.5 (Amdt 1 to 4).

##### Electrical installations

Where a discrepancy arises the electrical consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.  
Electrical installation: To AS/NZS 3018 (Electrical installations - Domestic installations).  
Circuit breakers: To AS/NZS 3947.2 (Low voltage switchgear and controlgear - Circuit-breakers).  
Electrical accessories: To AS/NZS 3100-(Approval and test specification - General requirements for electrical equipment).  
Luminaries: To AS 3137 (Approval and test specification - Luminaries (lighting fitting)).  
Smoke detectors: Refer to "Fire Safety, Smoke Alarms"  
Switchboards: To AS/NZS 3439.1 (Low-voltage switchgear and controlgear assemblies - Type-tested and partially type-tested assemblies) or AS/NZS 3439.3 (Low-voltage switchgear and controlgear - Particular requirements ...), as appropriate.  
Telecommunications accessories: To AS/ACIF S008 (Requirements for authorised cabling products).  
Television antenna: To AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Construction and installation) and AS 1417.2 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Performance).  
Telecommunications installation: To AS/ACIF S009 (Installation Requirements for Customer Cabling (Wiring Rules))and the recommendations of SAA HB29 (Communications Cabling Manual, Module 2: Communications Cabling Handbook).  
Small office/home office installations: To AS/ACIF S009 and AS/NZS 3086 (Telecommunications installations - Integrated communications cabling systems for small office/home office premises) and in accordance with the recommendations of SAA HB29.

Television and audio systems: To AS/NZS 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit installations) and conforming to the recommendations of Digital Broadcasting Australia.  
Smoke detection installation and testing: To AS 1670.1 (Fire detection, warning, control and intercom systems - System design, installation, and commissioning - Fire) in accordance with the requirements of the Building Code of Australia. Connect smoke detectors to mains power.

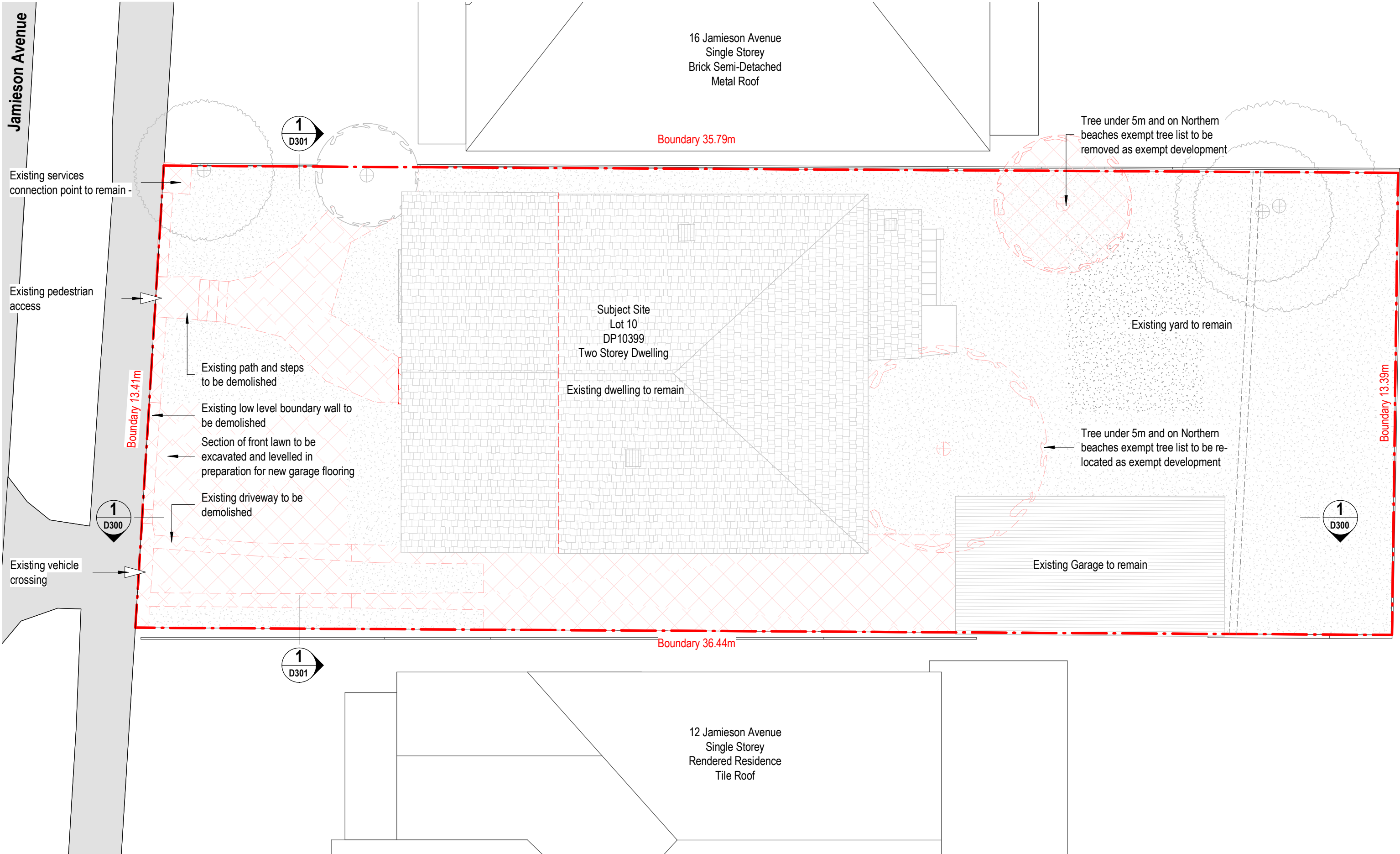
Test electrical installations: To AS/NZS 3017 (Electrical installations - Testing guidelines). Certify compliance with AS/NZS 3018.

Test telecommunications cabling: To AS/NZS 3086 and the recommendations of SAA HB29. Test the cable link performance in accordance with the recommendations of SAA HB29 at the maximum frequency and data rate for the cable class, and the cable category. Certify compliance with AS/NZS 1367.

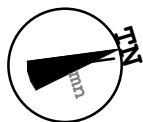
##### Mechanical installations

Mechanical ventilation: To AS 1668.2 (The use of ventilation and airconditioning in buildings - Mechanical ventilation for acceptable indoor quality) - Grade 2 amenity.  
Refrigeration systems: To AS1677.2 (Refrigerating systems - Safety requirements for fixed applications) and the recommendations of SAA HB40.1 (The Australian Refrigeration and Air Conditioning Code of Good Practice - Reduction of Emissions of Fluorocarbon Refrigerants in Commercial and Industrial Refrigeration and Airconditioning Applications) and HB40.2 (... in Residential Airconditioning Applications).  
Non-ducted airconditioners: To AS/NZS 3823.1.1 (Performance of electrical appliances - Room airconditioners - Non-ducted airconditioners and heat pumps - Testing and rating for performance).  
Ducted airconditioners: To AS/NZS 3823.





**buck&simple.**  
*doers of stuff*



**General Notes**

The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

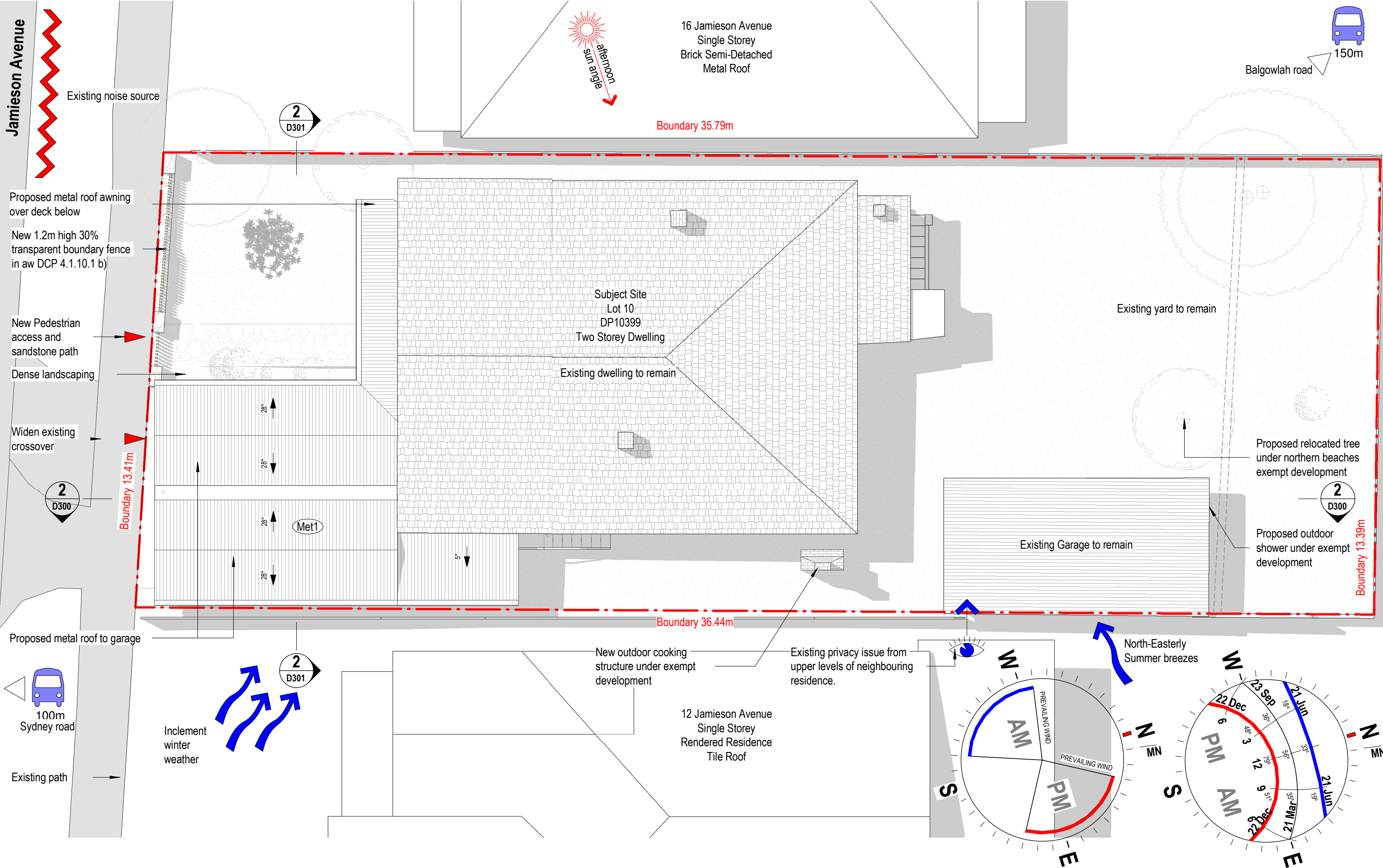
Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
[www.buckandsimple.com](http://www.buckandsimple.com)  
**Development Application**

No.	Description	Date
1	Issue for DA	25 Sept 2019

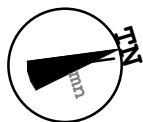
<b>Project</b> <b>Fairlight</b>
<b>Location</b> <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>
<b>Client</b> <b>Sam and Justin McCallum</b>
<b>Drawing</b> <b>Site Plan - Existing &amp; Demolished</b>

Scale @ A3 <b>1 : 100</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	
Project number <b>1129</b>	Drawing # <b>D010</b>	Revision <b>1</b>





**buck&simple.**  
*doers of stuff*



**General Notes**  
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

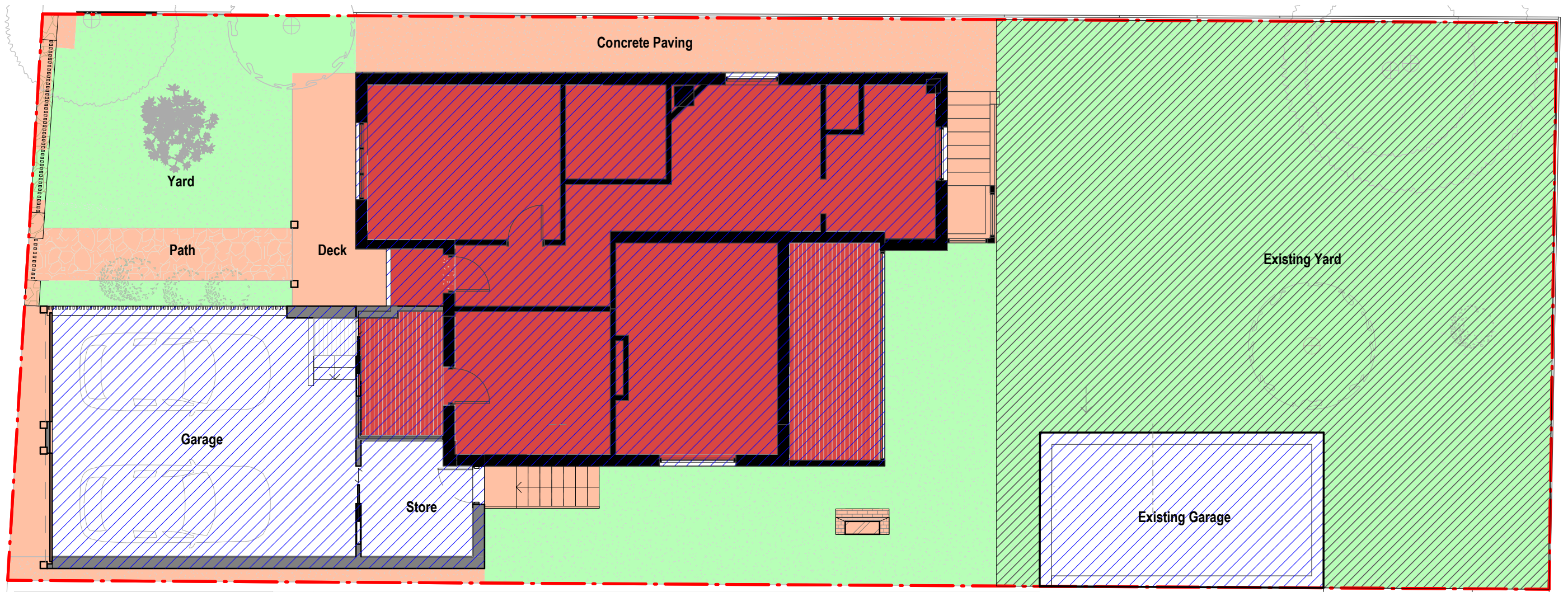
Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
[www.buckandsimple.com](http://www.buckandsimple.com)  
**Development Application**

No.	Description	Date
1	Issue for DA	25 Sept 2019

<b>Project</b> <b>Fairlight</b>
<b>Location</b> 14 Jamieson Avenue, Fairlight, NSW 2094
<b>Client</b> Sam and Justin McCallum
<b>Drawing</b> Site Plan - Proposed & Site Analysis

Scale @ A3 <b>1 : 100</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	
Project number <b>1129</b>	Drawing # <b>D011</b>	Revision <b>1</b>

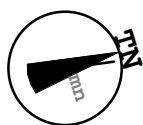




1 Compliance Plan  
1 : 100

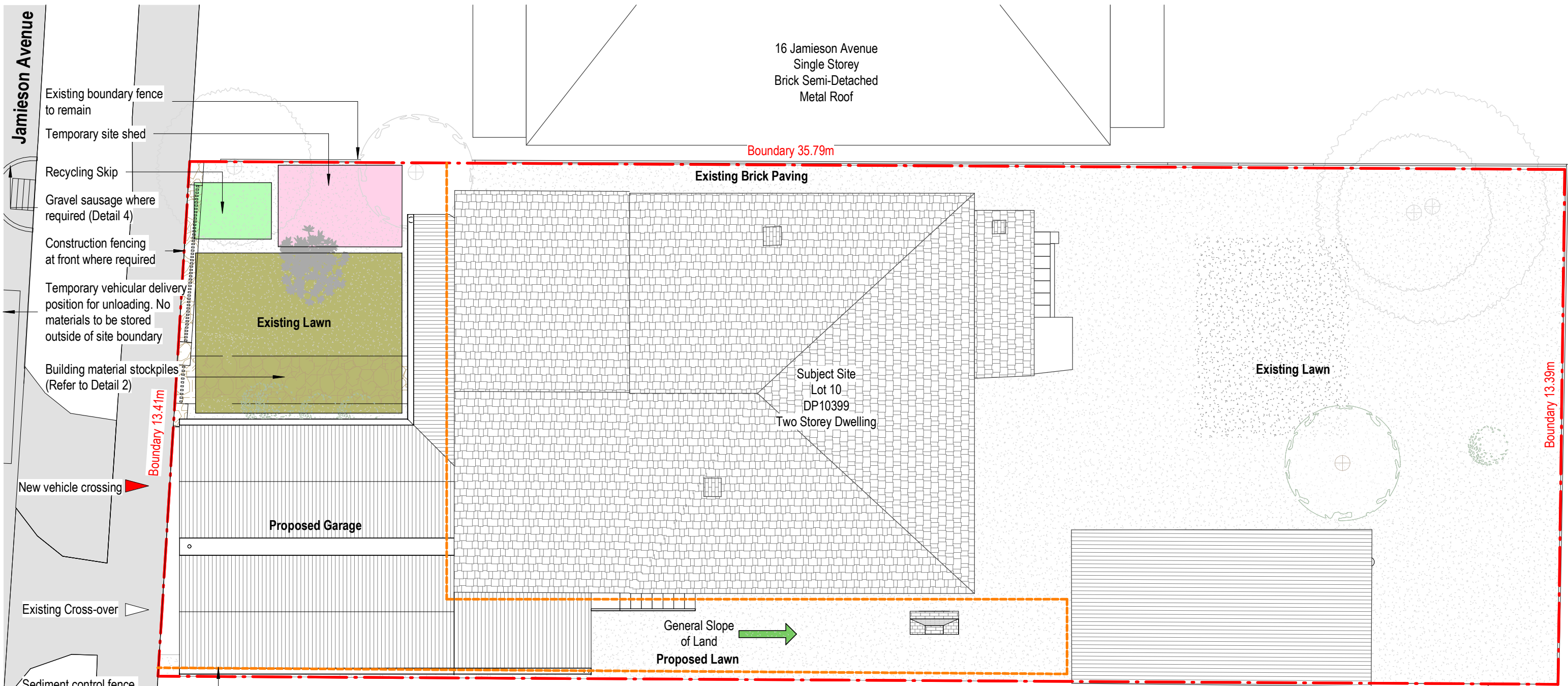
Legend	Calculation		Manly LEP - 4.4 Floor Space Ratio	
<div></div> GFA			<b>Maximum</b> gross floor area as shown on Manly LEP map: 0.60/1 ('F')	290m <sup>2</sup>
Ground Floor	115 m <sup>2</sup>			
Total	115 m <sup>2</sup>		Proposed = <b>115m<sup>2</sup></b> (0.24/1) Compliant:	YES

Legend	Calculation		Manly DCP - 4.1.5.1 (a) Total Open Space		Manly DCP - 4.1.5.1 (a) Landscaped Area		Manly DCP - 4.1.5.3 (a) Private Open Space		Manly LEP - 4.3 Building Height		Manly DCP - 4.1.2.1 Wall Height	
<div></div> Soft Landscaping	231 m²	48 %	<b>Minimum</b> total open space for site in 'Area OS3': 55% of site  Proposed = <b>286m² (59%)</b> Compliant:	265m²	<b>Minimum</b> landscaped area of total open space: 35% of open space  Proposed = <b>231m² (81%)</b> Compliant:	93m²	<b>Minimum</b> area of private open space for a single dwelling:  Proposed = <b>151m² (31%)</b> Compliant:	18m²	<b>Maximum</b> building height in accordance with Manly LEP building map: 8.5m (l)  Proposed = <b>4.0m</b> Compliant:	YES	<b>Maximum</b> wall height on land with a site gradient of 1:4 or steeper:  Proposed = <b>2.4m</b> Compliant:	8m
<div></div> Hard Landscaping	55m²	11 %		YES		YES		YES				
<div></div> Site Coverage	197 m²	41 %										
<div></div> Site Area	483 m²	100 %										
<div></div> Private Open Space	151 m²	13.3 x 13.0m										

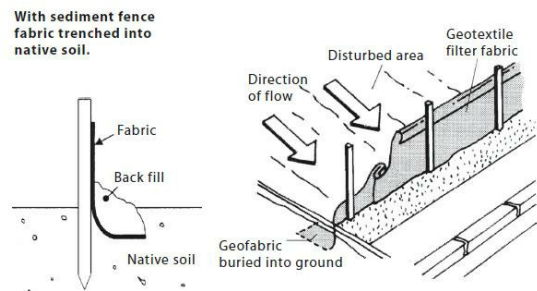


General Notes	No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	1	Issue for DA	25 Sept 2019	<b>Fairlight</b>	<b>As indicated</b>	<b>BS</b>	<b>BS</b>
		Contact: info@buckandsimple.com ABN : 86 106 604 025 <b>www.buckandsimple.com</b>		Location <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>	Project Issue Date	Sheet Issue Date	
				Client <b>Sam and Justin McCallum</b>	Issue Date	25 Sept 2019	
				Drawing <b>Compliance Plan</b>	Project number <b>1129</b>	Drawing # <b>D050</b>	Revision <b>1</b>
Development Application							

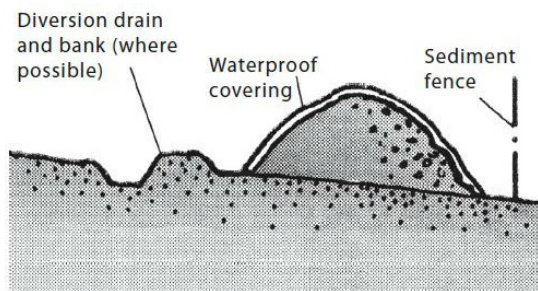




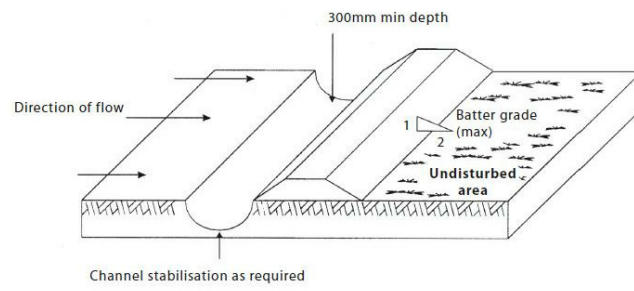
Note:  
Gravel sausage to be used if there is any evidence of untreated runoff entering nearby stormwater inlets during construction (Refer to Detail 4)



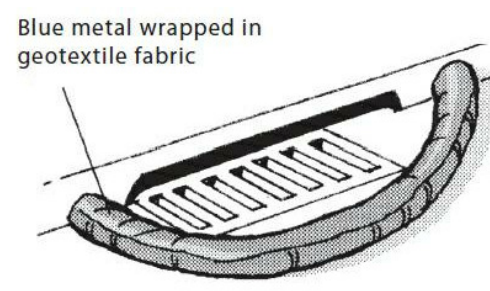
Detail 1 - Sediment Control Fence



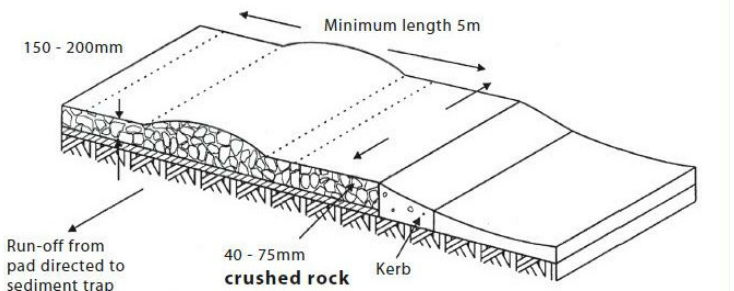
Detail 2 - Building Material Stockpiles



Detail 3 - Diversion Drain

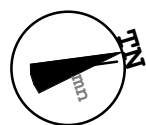


Detail 4 - Gravel Sausage



Detail 5 - Stabilised Channel

**buck&simple.**  
*doers of stuff*



**General Notes**  
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

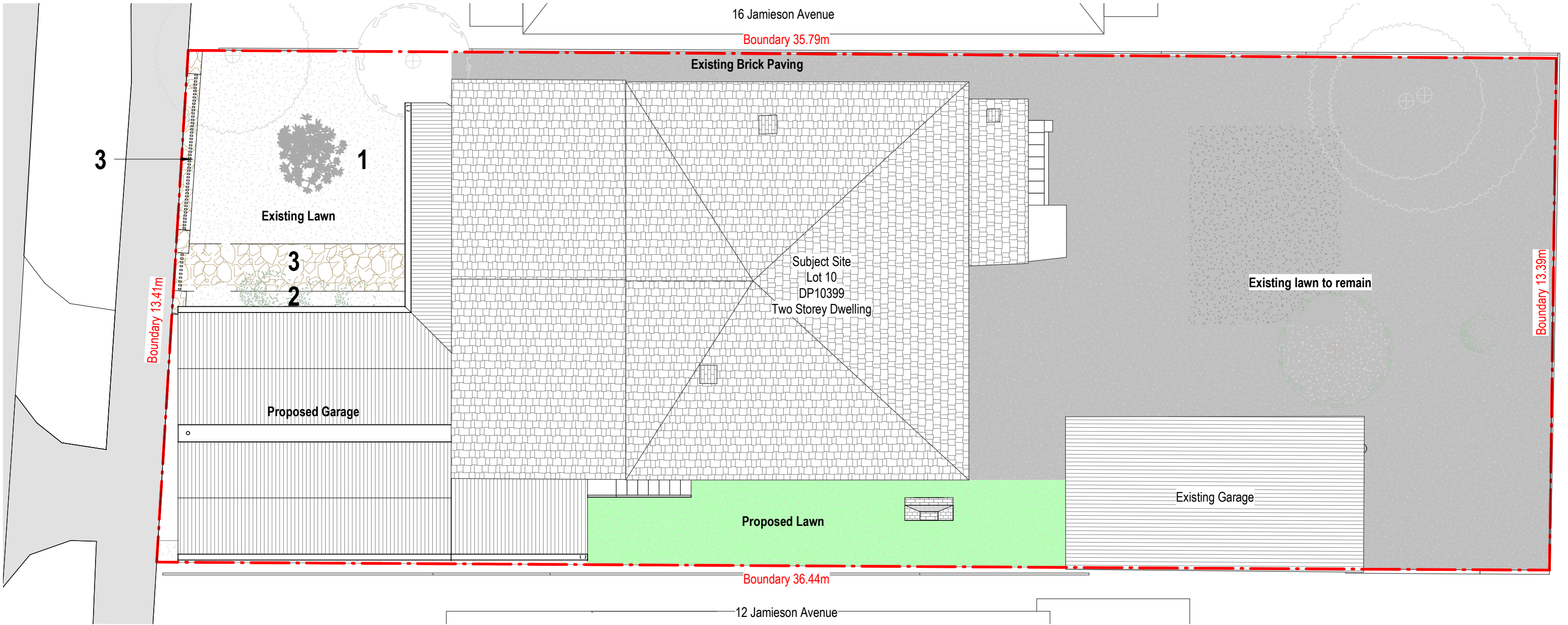
Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
**[www.buckandsimple.com](http://www.buckandsimple.com)**  
**Development Application**

No.	Description	Date
1	Issue for DA	25 Sept 2019

Project <b>Fairlight</b>
Location <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>
Client <b>Sam and Justin McCallum</b>
Drawing <b>Erosion, Sediment, Stormwater and Waste Management</b>

Scale @ A3 <b>1 : 100</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	
Project number <b>1129</b>	Drawing # <b>D060</b>	Revision <b>1</b>





1) Crepe Mytle Tree

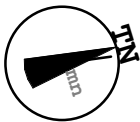


2) Native Grasses



3) Sandstone Wall and Path

**buck&simple.**  
*doers of stuff*

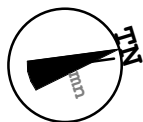


General Notes		No.	Description	Date
<p>The copyright of this design remains the property of buck&amp;simple. This design is not to be used, copied or reproduced without the authority of buck&amp;simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.</p>		Contact: info@buckandsimple.com		25 Sept 2019
		ABN : 86 106 604 025		
		www.buckandsimple.com		
		Development Application		

Project	
Fairlight	
Location	
14 Jamieson Avenue, Fairlight, NSW 2094	
Client	
Sam and Justin McCallum	
Drawing	
Landscape Plan	

Scale @ A3	Drawn by	Checked by
1 : 100	BS	BS
Project Issue Date		Sheet Issue Date
Issue Date		25 Sept 2019
Project number	Drawing #	Revision
1129	D070	1





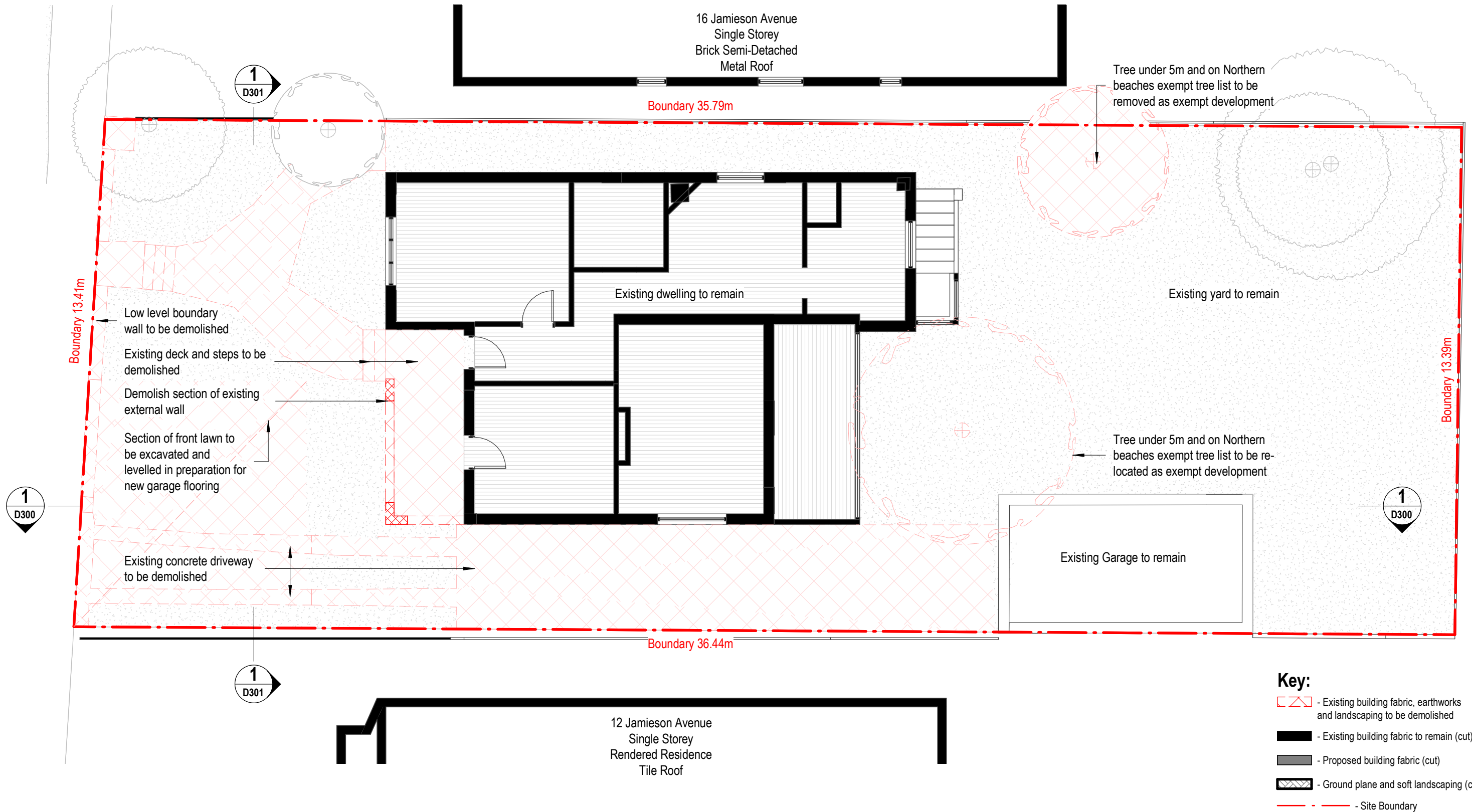
**General Notes**  
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
[www.buckandsimple.com](http://www.buckandsimple.com)  
**Development Application**

No.	Description	Date
1	Issue for DA	25 Sept 2019

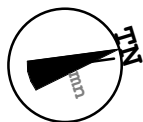
<b>Project</b> <b>Fairlight</b>
<b>Location</b> <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>
<b>Client</b> <b>Sam and Justin McCallum</b>
<b>Drawing</b> <b>Ground Floor Plan - Existing &amp; Demolition</b>

Scale @ A3 <b>1 : 100</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	
Project number <b>1129</b>	Drawing # <b>D100</b>	Revision <b>1</b>



- Key:**
- Existing building fabric, earthworks and landscaping to be demolished
  - Existing building fabric to remain (cut)
  - Proposed building fabric (cut)
  - Ground plane and soft landscaping (cut)
  - Site Boundary





**General Notes**

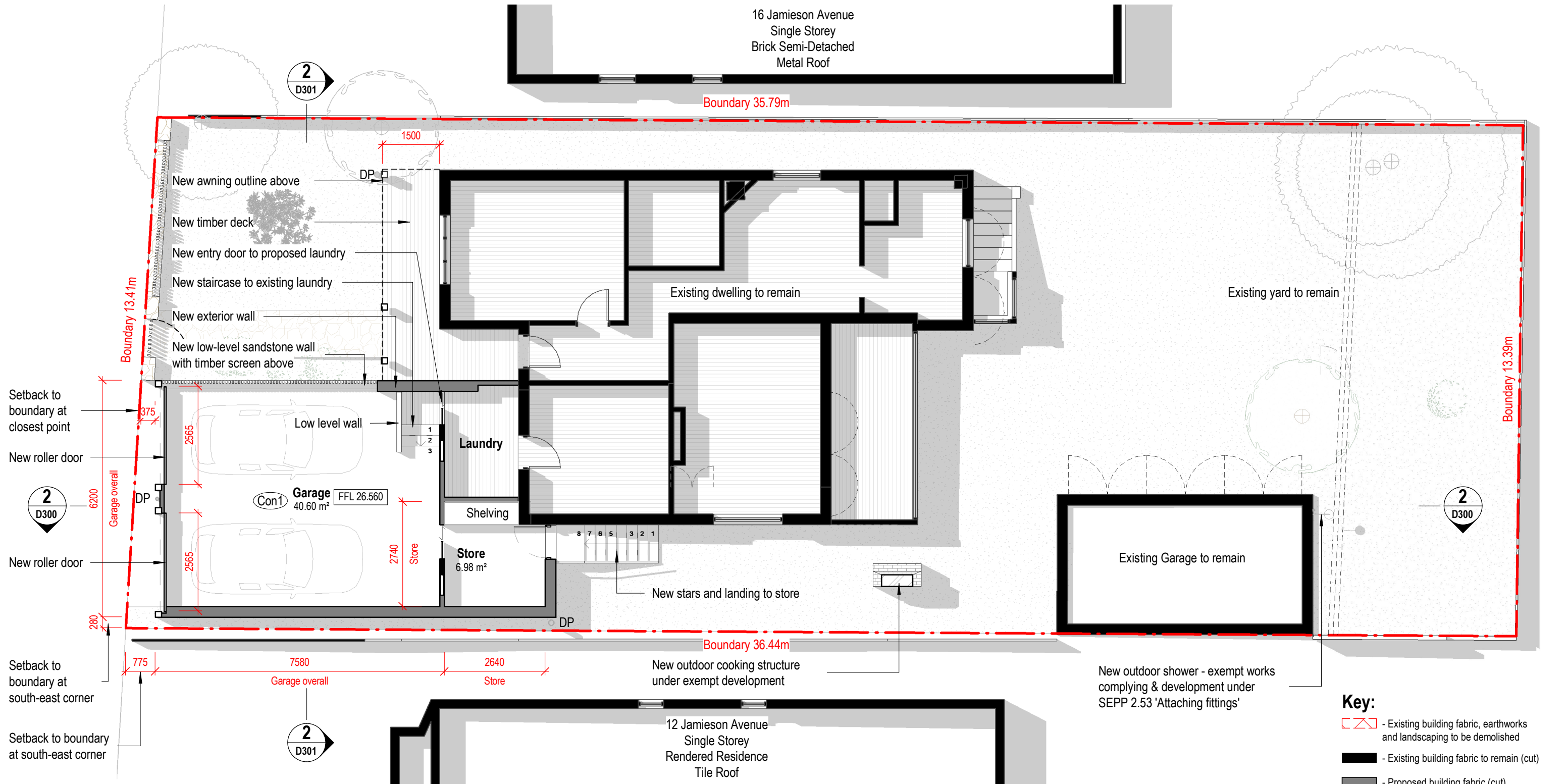
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
[www.buckandsimple.com](http://www.buckandsimple.com)  
**Development Application**

No.	Description	Date
1	Issue for DA	25 Sept 2019

<b>Project</b> <b>Fairlight</b>
<b>Location</b> <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>
<b>Client</b> <b>Sam and Justin McCallum</b>
<b>Drawing</b> <b>Ground Floor Plan - Proposed</b>

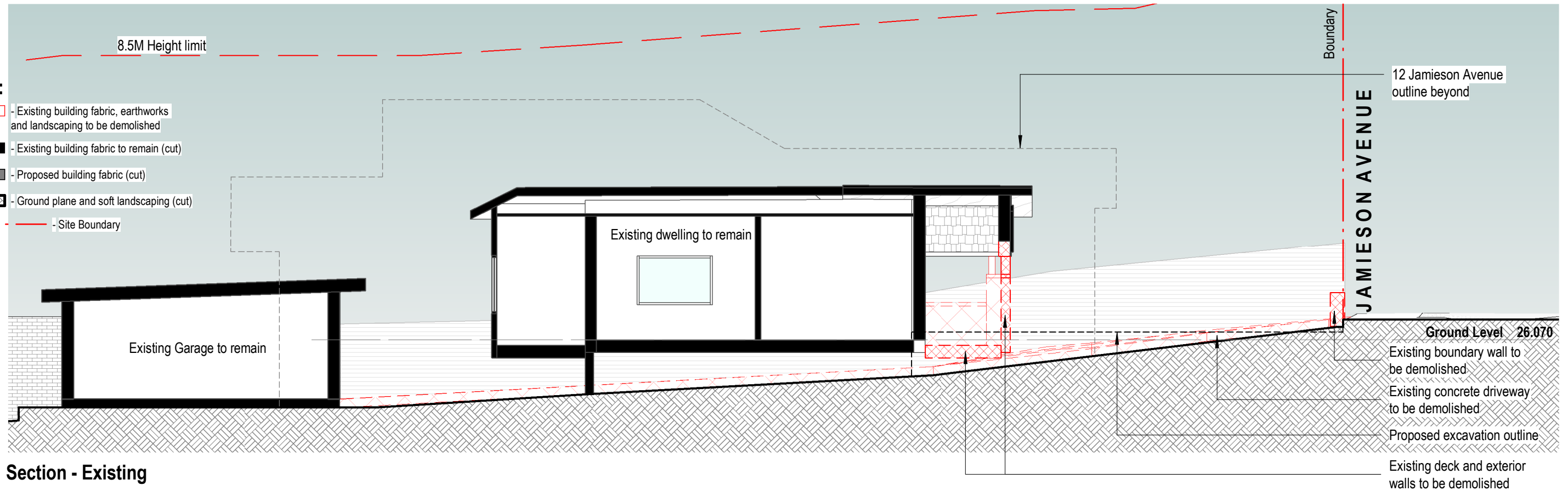
Scale @ A3 <b>1 : 100</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	Revision <b>1</b>
Project number <b>1129</b>	Drawing # <b>D101</b>	



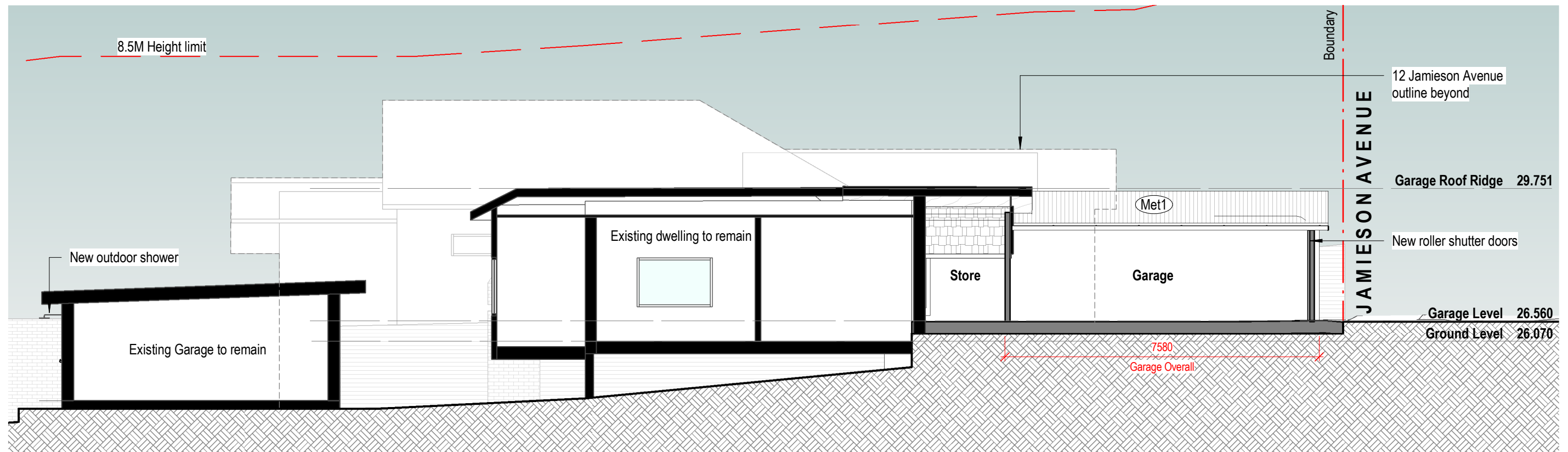


## Key:

- Existing building fabric, earthworks and landscaping to be demolished
- Existing building fabric to remain (cut)
- Proposed building fabric (cut)
- Ground plane and soft landscaping (cut)
- Site Boundary



**1 Section - Existing**

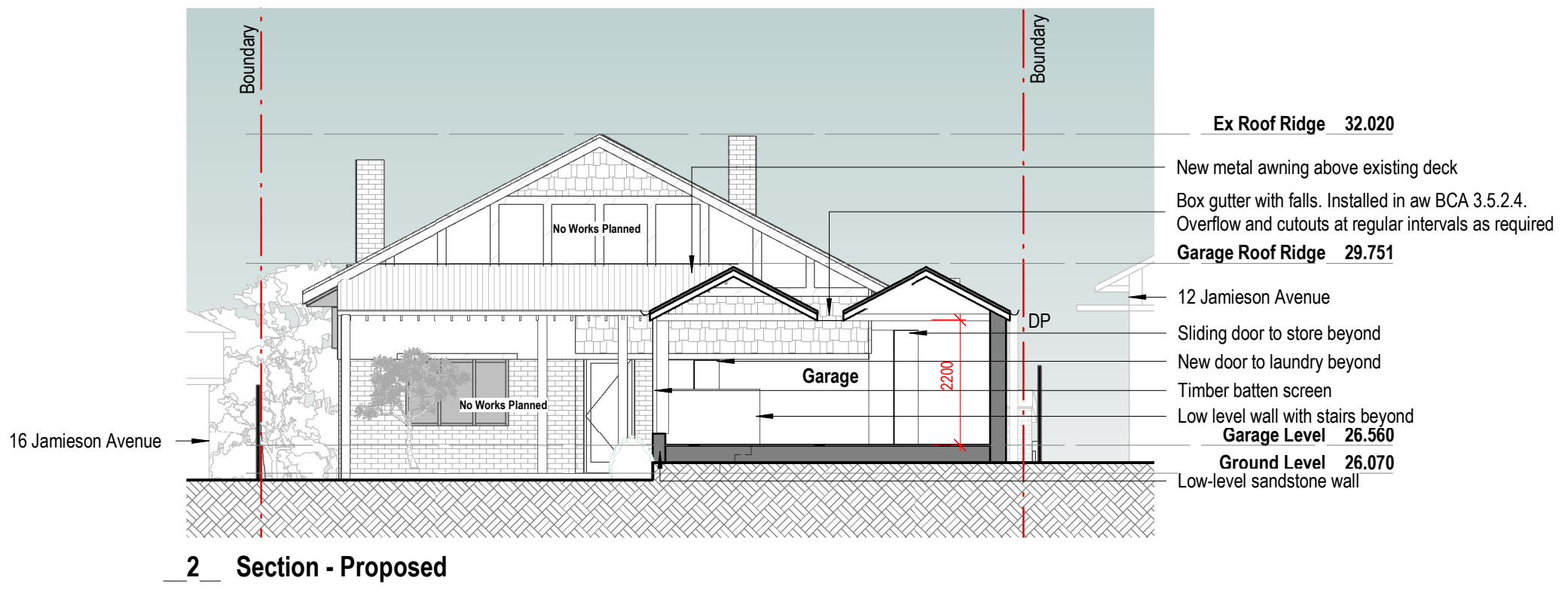
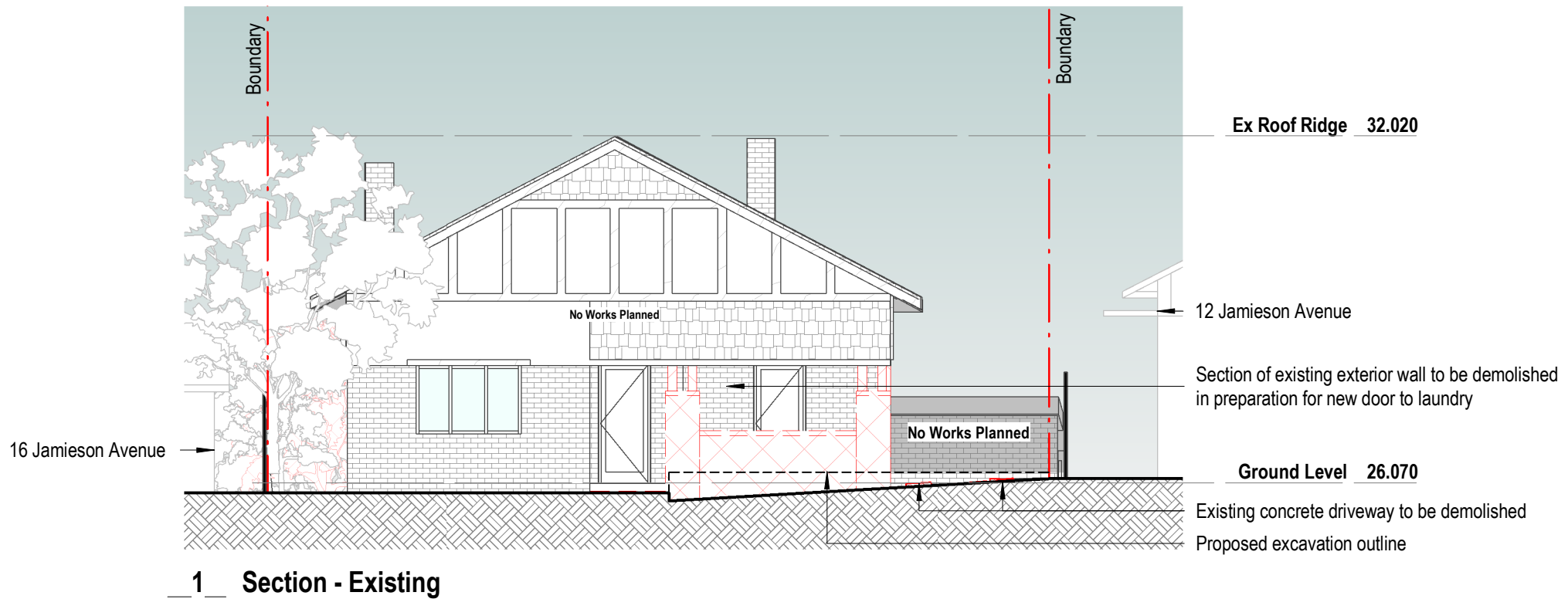


**2 Section - Proposed**

**buck&simple.**  
*doers of stuff*

General Notes	No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	1	Issue for DA	25 Sept 2019	<b>Fairlight</b>	<b>1 : 100</b>	<b>BS</b>	<b>BS</b>
Contact: info@buckandsimple.com ABN : 86 106 604 025 <b>www.buckandsimple.com</b>				Location <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>	Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	
<b>Development Application</b>				Client <b>Sam and Justin McCallum</b>	Project number <b>1129</b>	Drawing # <b>D300</b>	Revision <b>1</b>
				Drawing <b>Sections - Existing, Demolished &amp; Proposed</b>			





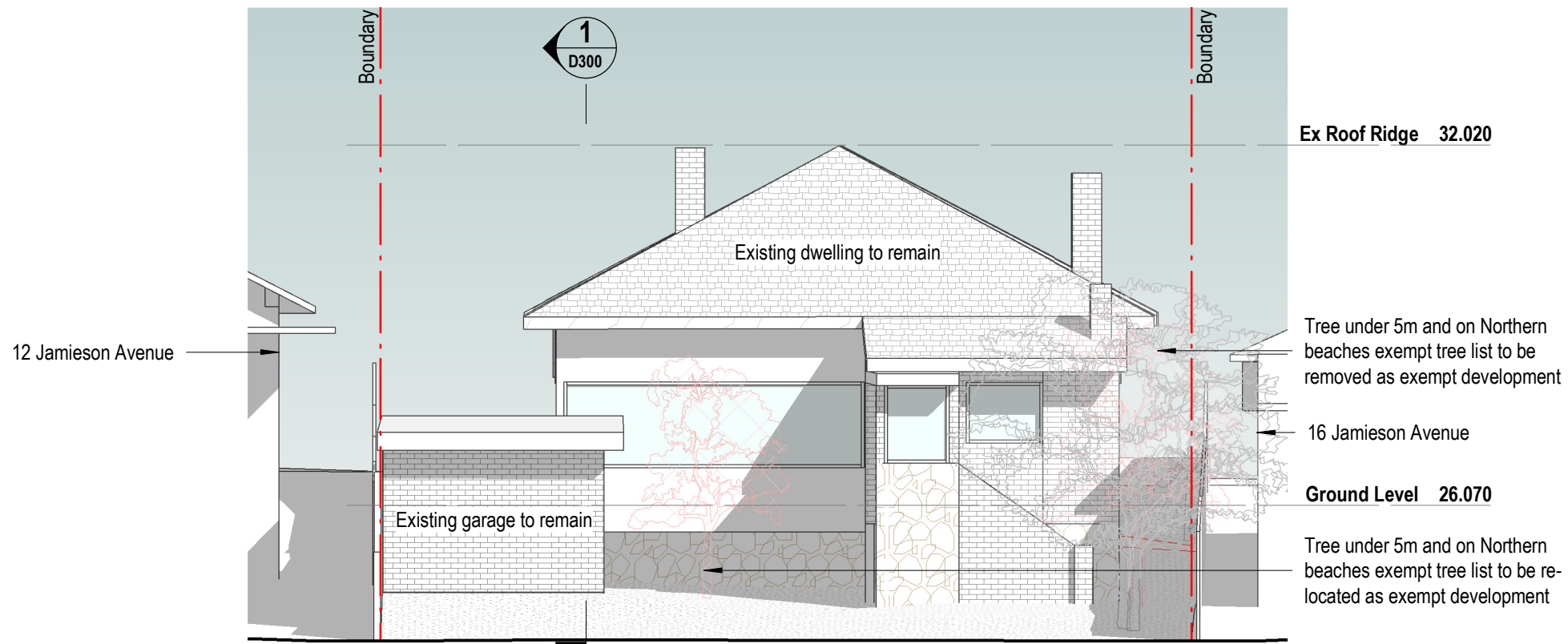
### Key:

- Existing building fabric, earthworks and landscaping to be demolished
- Existing building fabric to remain (cut)
- Proposed building fabric (cut)
- Ground plane and soft landscaping (cut)
- Site Boundary

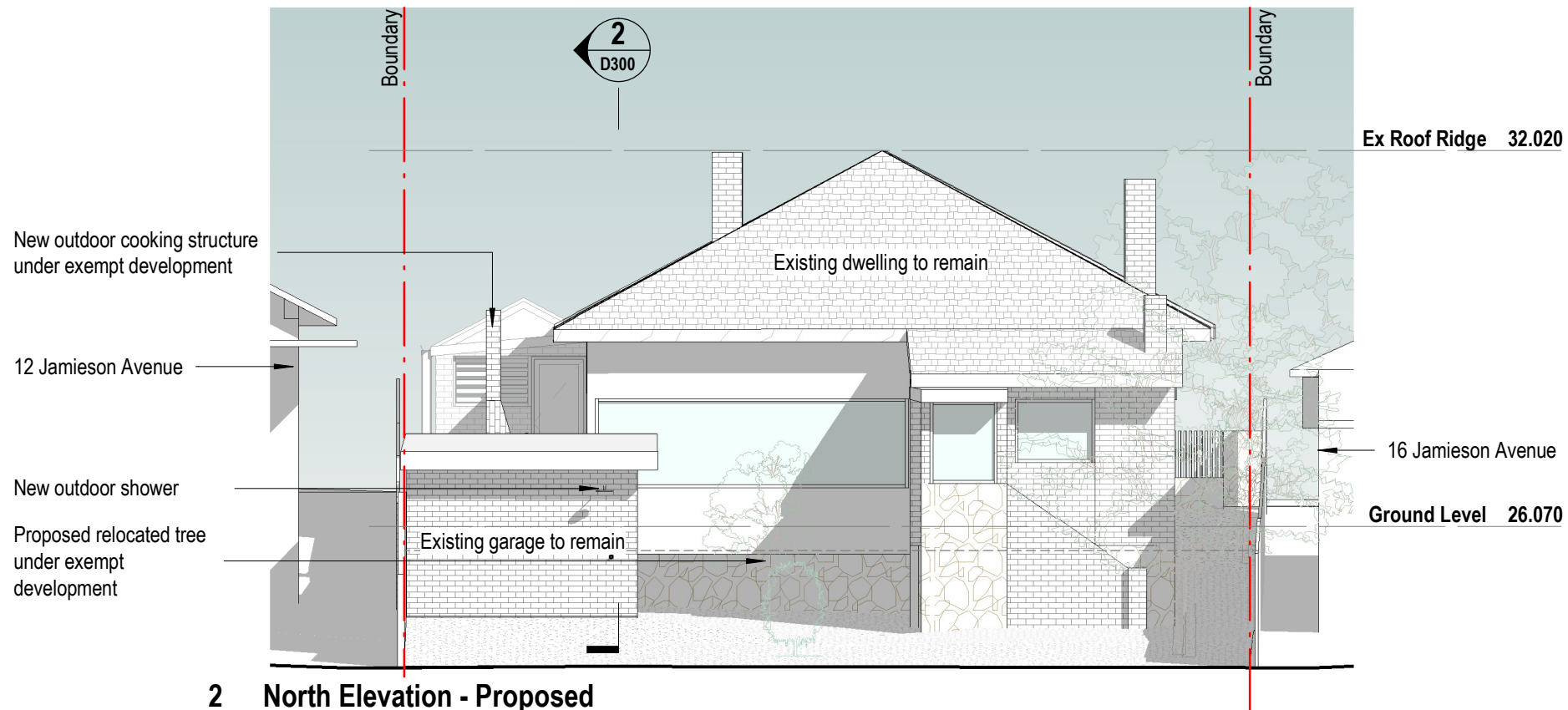
**buck&simple.**  
*doers of stuff*

General Notes		No. DescriptionDate	ProjectFairlight	Scale @ A31 : 100	Drawn byBS	Checked byBS
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	Contact: info@buckandsimple.com  ABN : 86 106 604 025  www.buckandsimple.com	1 Issue for DA25 Sept 2019	Location14 Jamieson Avenue, Fairlight, NSW 2094	Project Issue DateIssue Date	Sheet Issue Date25 Sept 2019	
	Development Application		ClientSam and Justin McCallum	Project number1129	Drawing #D301	Revision1
			DrawingSections - Existing, Demolished & Proposed			





**1 North Elevation - Existing**



**2 North Elevation - Proposed**

**Key:**






- Existing building fabric, earthworks and landscaping to be demolished
- Existing building fabric to remain (cut)
- Proposed building fabric (cut)
- Ground plane and soft landscaping (cut)
- Site Boundary

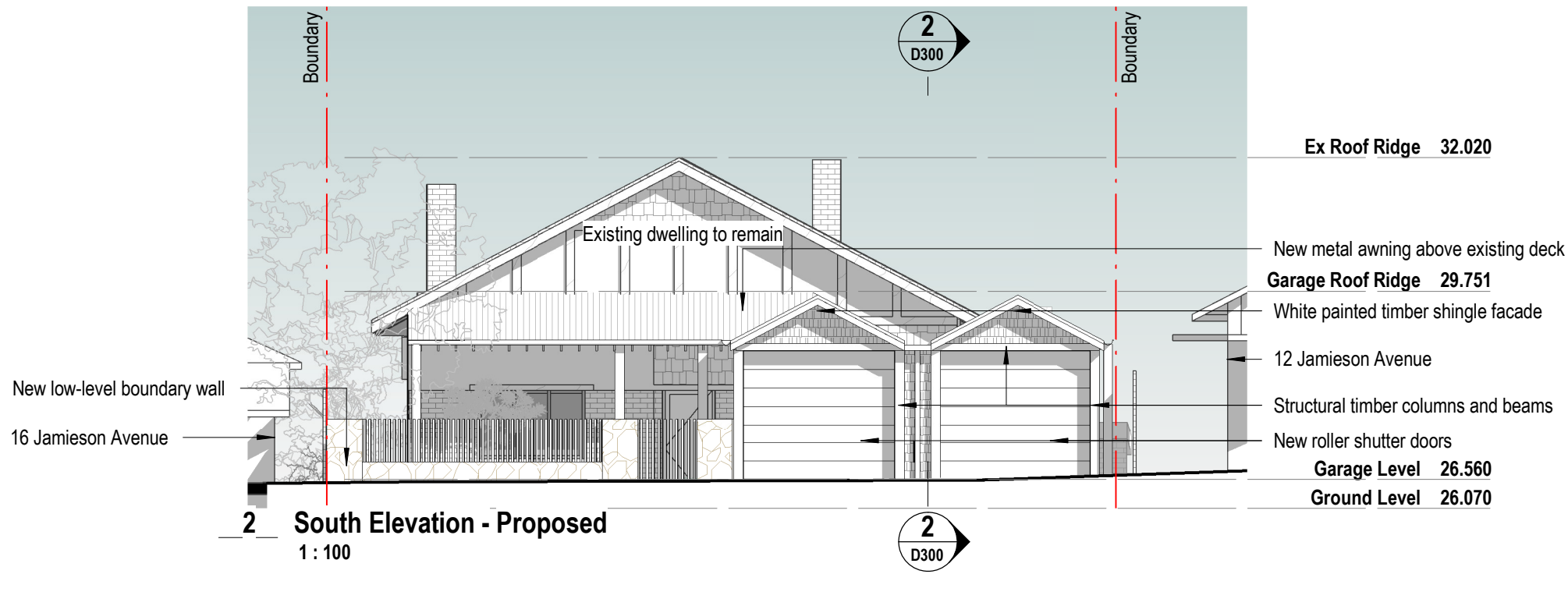
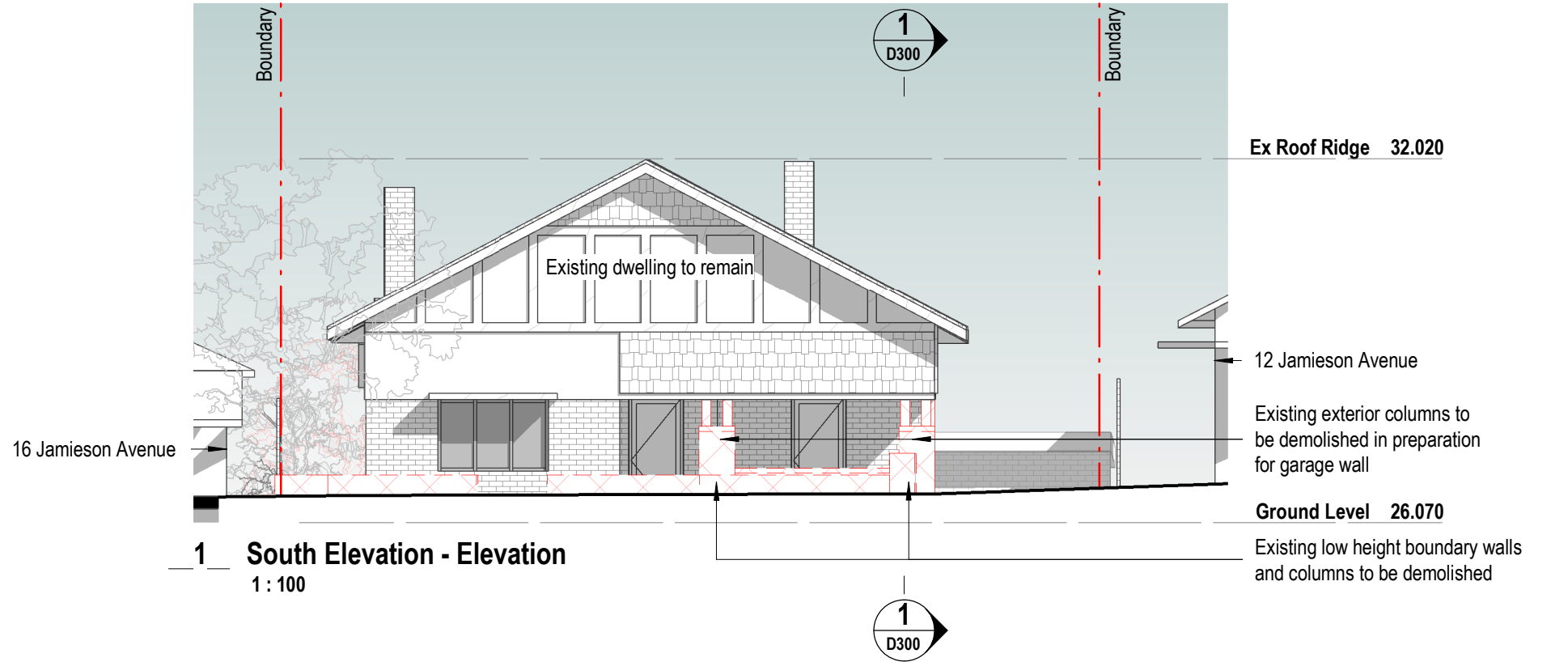
**buck&simple.**  
*doers of stuff*

General Notes	No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	1	Issue for DA	25 Sept 2019	<b>Fairlight</b>	<b>1 : 100</b>	<b>BS</b>	<b>BS</b>
Contact: info@buckandsimple.com ABN : 86 106 604 025 <b>www.buckandsimple.com</b>				Location <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>	Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	
				Client <b>Sam and Justin McCallum</b>	Project number <b>1129</b>	Drawing # <b>D400</b>	Revision <b>1</b>
				Drawing <b>Elevations - North - Existing, Demolished &amp; Proposed</b>			



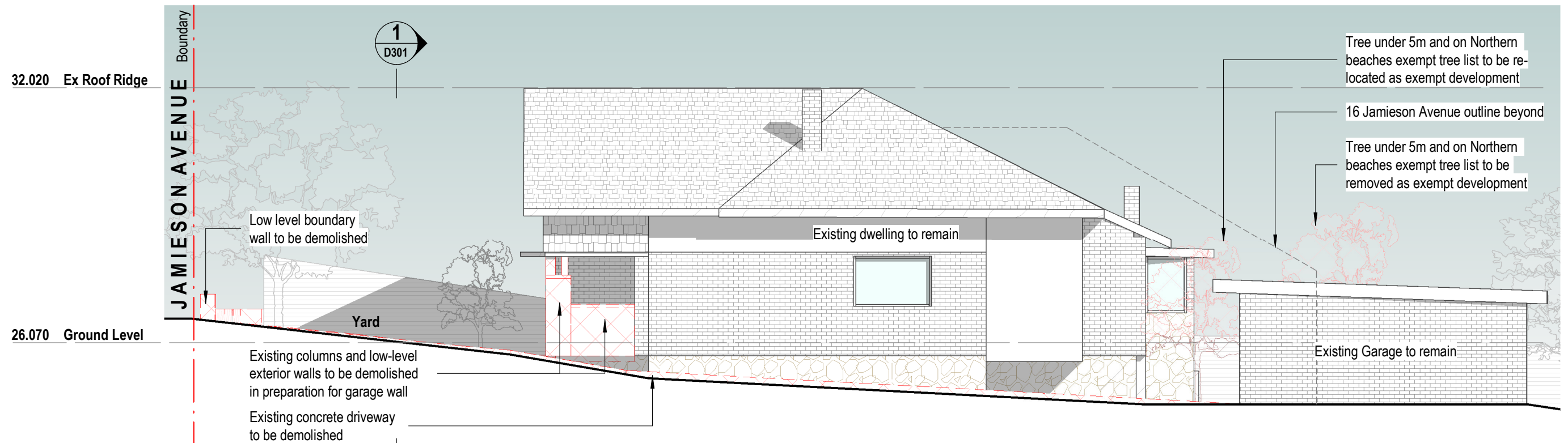
**Key:**

-  - Existing building fabric, earthworks and landscaping to be demolished
-  - Existing building fabric to remain (cut)
-  - Proposed building fabric (cut)
-  - Ground plane and soft landscaping (cut)
-  - Site Boundary

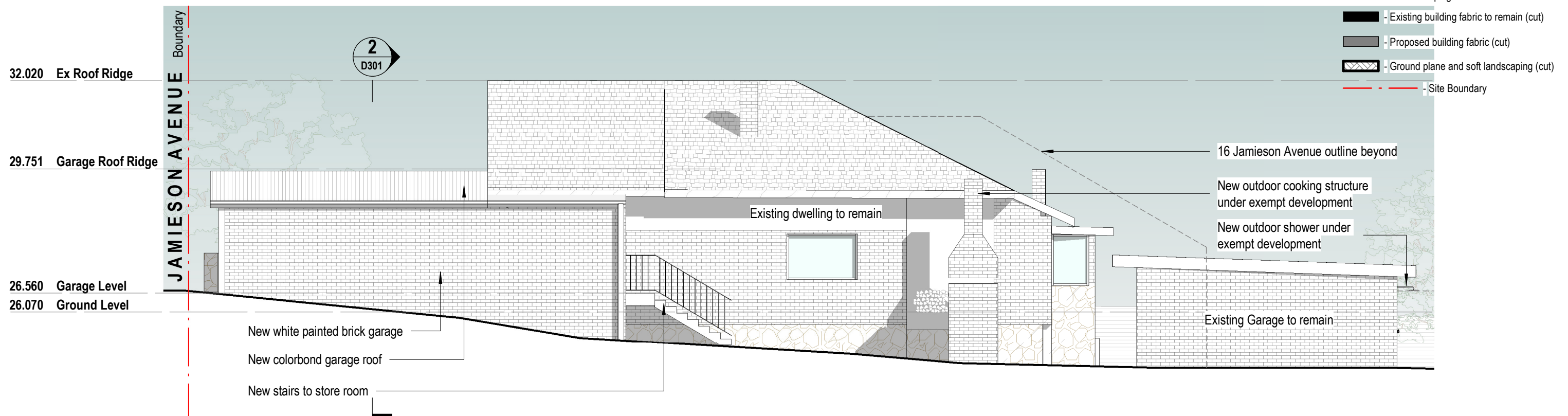


General Notes	No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	1	Issue for DA	25 Sept 2019	<b>Fairlight</b>	<b>1 : 100</b>	<b>BS</b>	<b>BS</b>
Contact: info@buckandsimple.com ABN : 86 106 604 025 <b>www.buckandsimple.com</b> <b>Development Application</b>				Location <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>	Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	
				Client <b>Sam and Justin McCallum</b>	Project number <b>1129</b>	Drawing # <b>D401</b>	Revision <b>1</b>
				Drawing <b>Elevations - South - Existing, Demolished &amp; Proposed</b>			





**1 East Elevation - Existing**



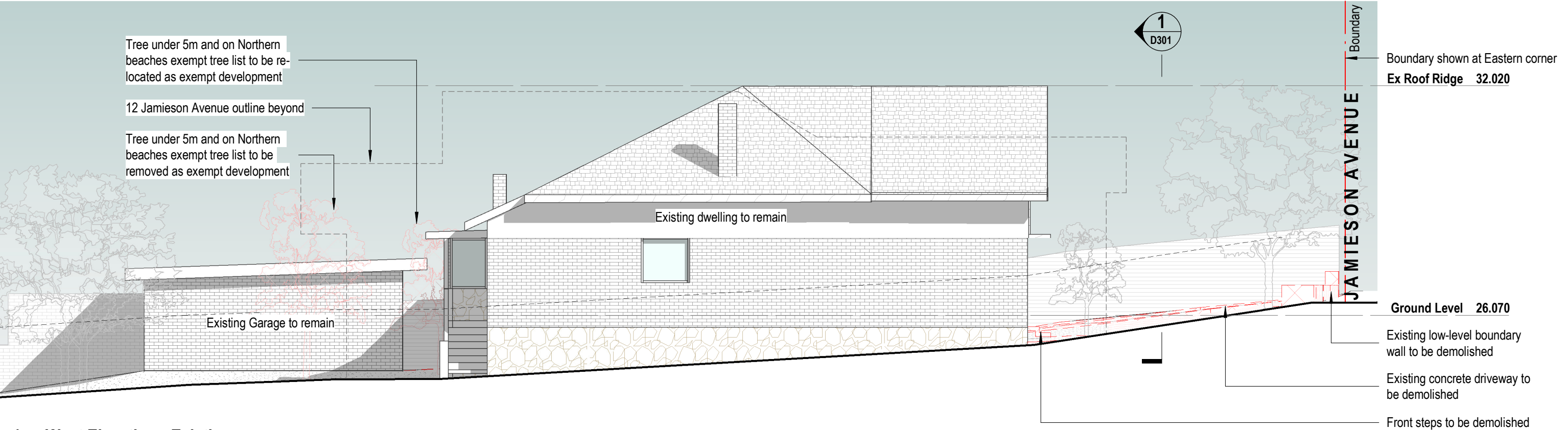
**2 East Elevation - Proposed**  
1 : 100

- Key:**
- Existing building fabric, earthworks and landscaping to be demolished
  - Existing building fabric to remain (cut)
  - Proposed building fabric (cut)
  - Ground plane and soft landscaping (cut)
  - Site Boundary

**buck&simple.**  
*doers of stuff*

General Notes	No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	1	Issue for DA	25 Sept 2019	<b>Fairlight</b>	<b>1 : 100</b>	<b>BS</b>	<b>BS</b>
Contact: info@buckandsimple.com ABN : 86 106 604 025 <b>www.buckandsimple.com</b>				Location <b>14 Jamieson Avenue, Fairlight, NSW 2094</b>	Project Issue Date <b>Issue Date</b>	Sheet Issue Date <b>25 Sept 2019</b>	
				Client <b>Sam and Justin McCallum</b>	Project number <b>1129</b>	Drawing # <b>D402</b>	Revision <b>1</b>
				Drawing <b>Elevations - East - Existing, Demolished &amp; Proposed</b>			

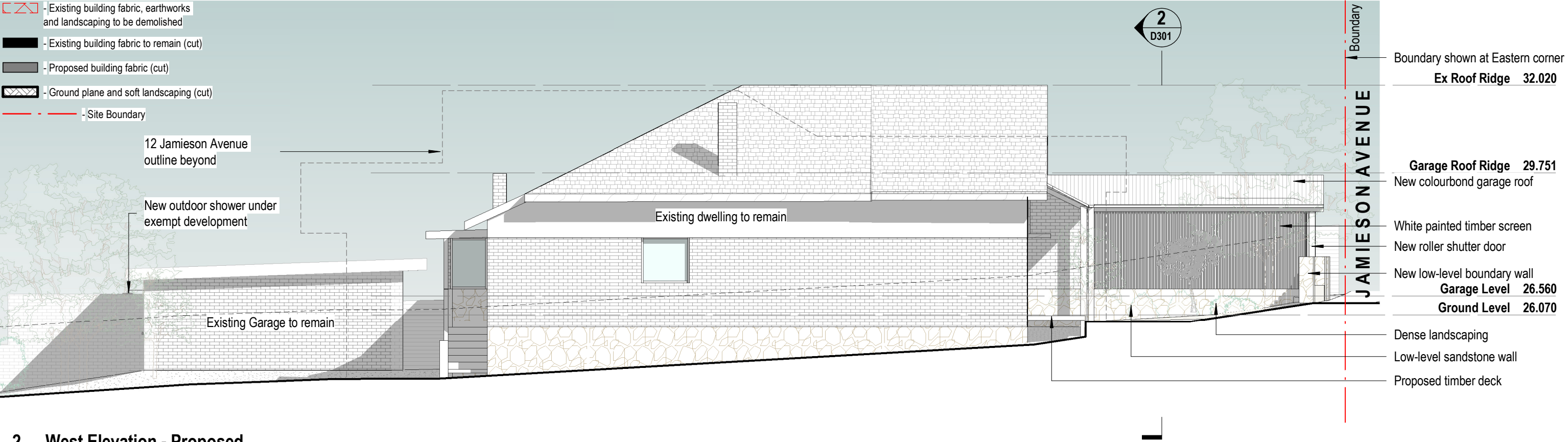




1 West Elevation - Existing

Key:

- Existing building fabric, earthworks and landscaping to be demolished
- Existing building fabric to remain (cut)
- Proposed building fabric (cut)
- Ground plane and soft landscaping (cut)
- Site Boundary



2 West Elevation - Proposed

**buck&simple.**  
*doers of stuff*

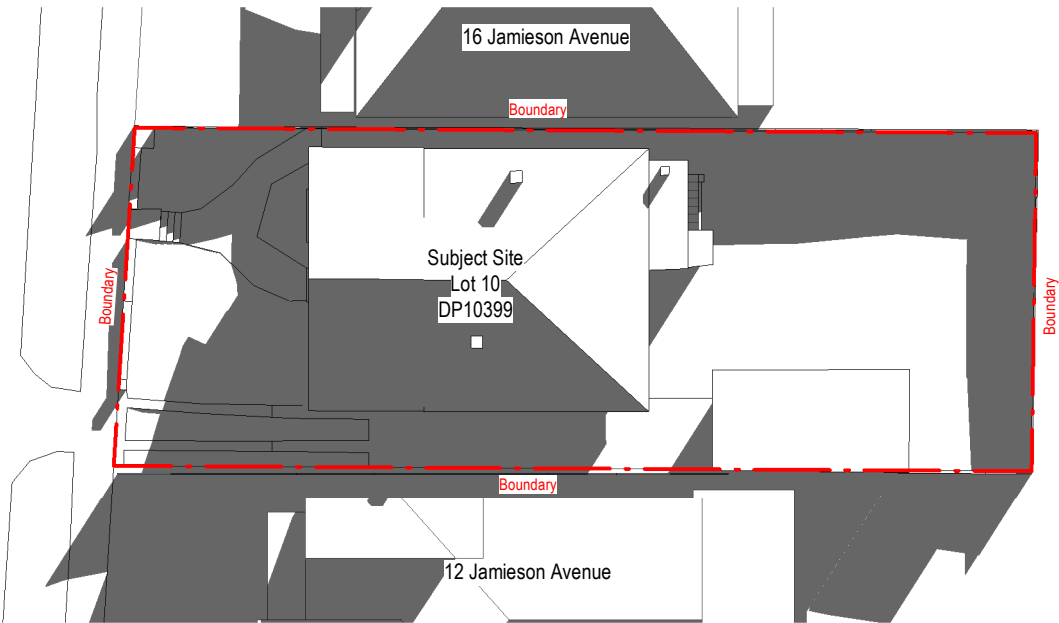
General Notes		No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	Contact: info@buckandsimple.com	1	Issue for DA	25 Sept 2019	Fairlight	1 : 100	BS	BS
	ABN : 86 106 604 025				Location	Project Issue Date		
	www.buckandsimple.com				14 Jamieson Avenue, Fairlight, NSW 2094	Issue Date		
					Client	25 Sept 2019		
					Sam and Justin McCallum	Project number		
	Development Application				Drawing	Drawing #	Revision	
					Elevations - West - Existing, Demolished & Proposed	1129	D403	1



The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple.  
Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works.  
This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

No.	Description	Date
1	Issue for DA	25 Sept 2019

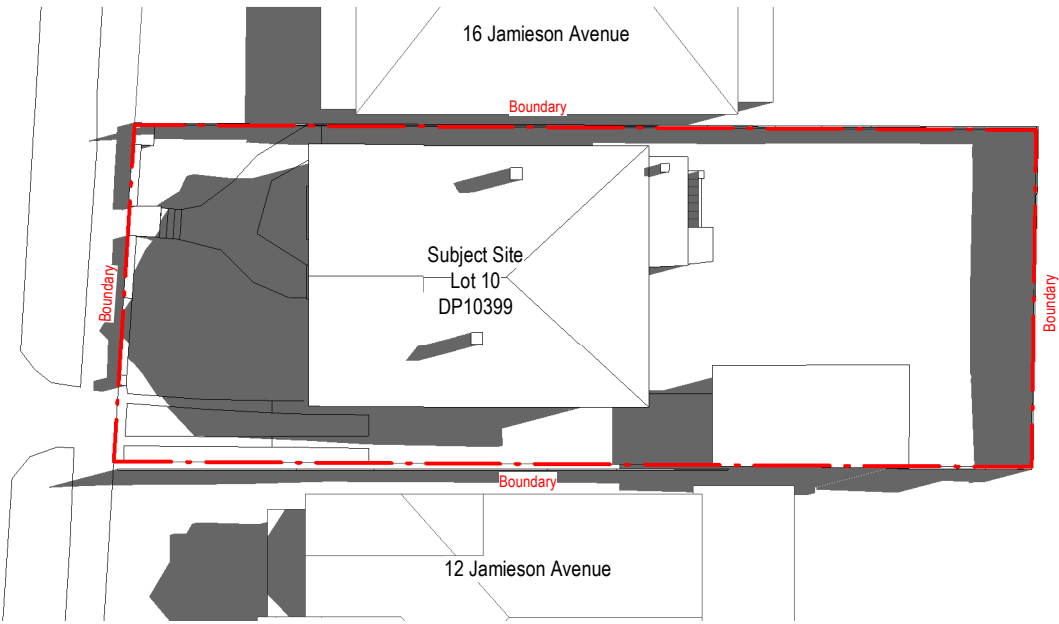
3 21 June 3pm - Existing  
1 : 300



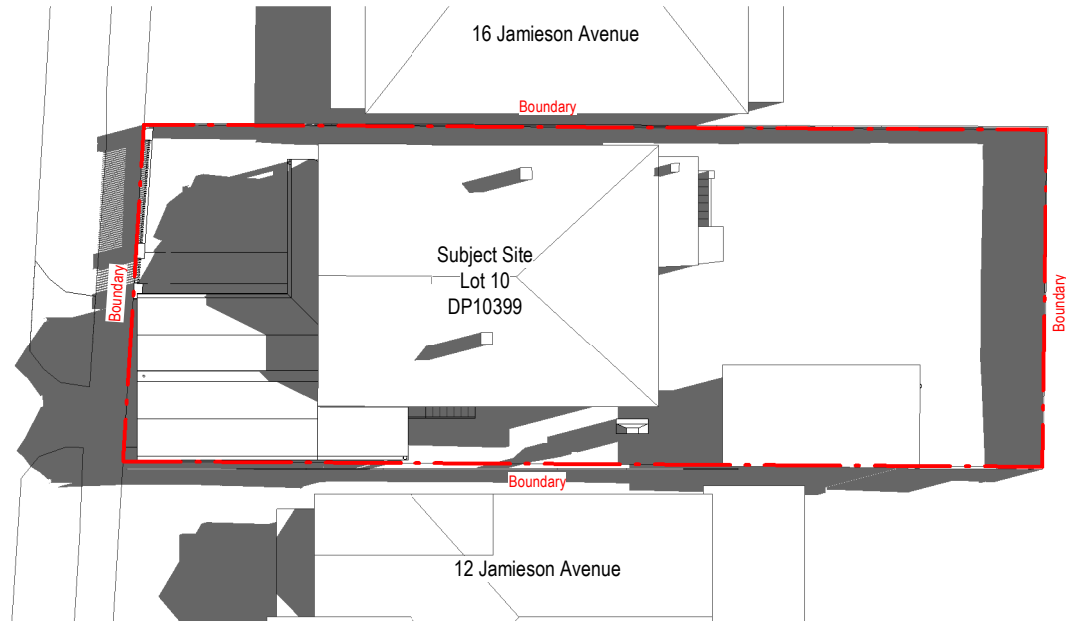
6 21 June 3pm - Proposed  
1 : 300



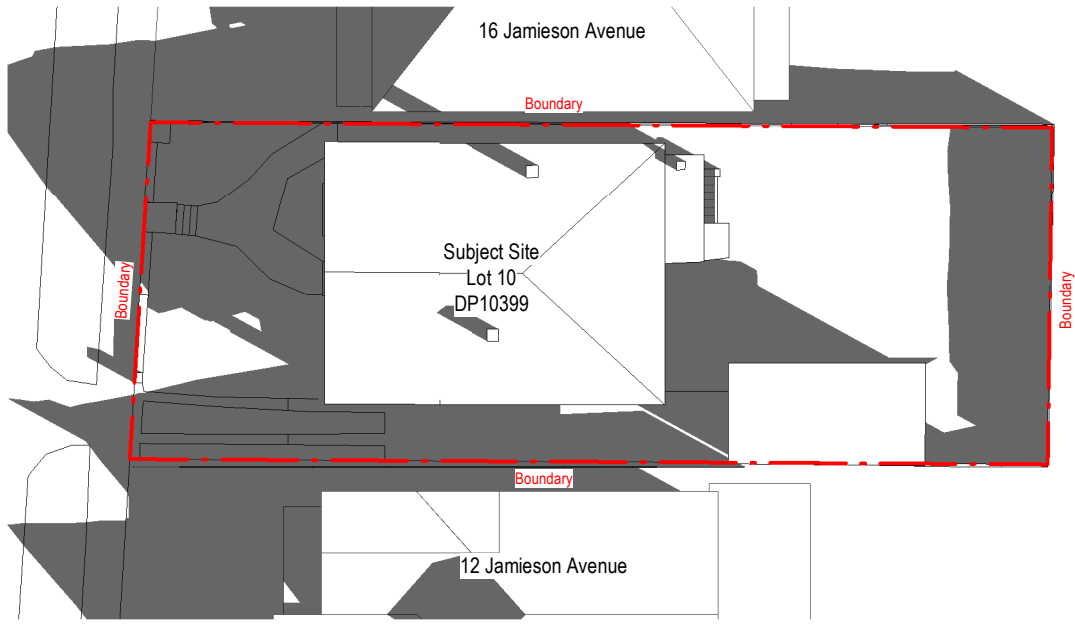
2 21 June 12pm - Existing  
1 : 300



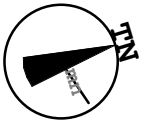
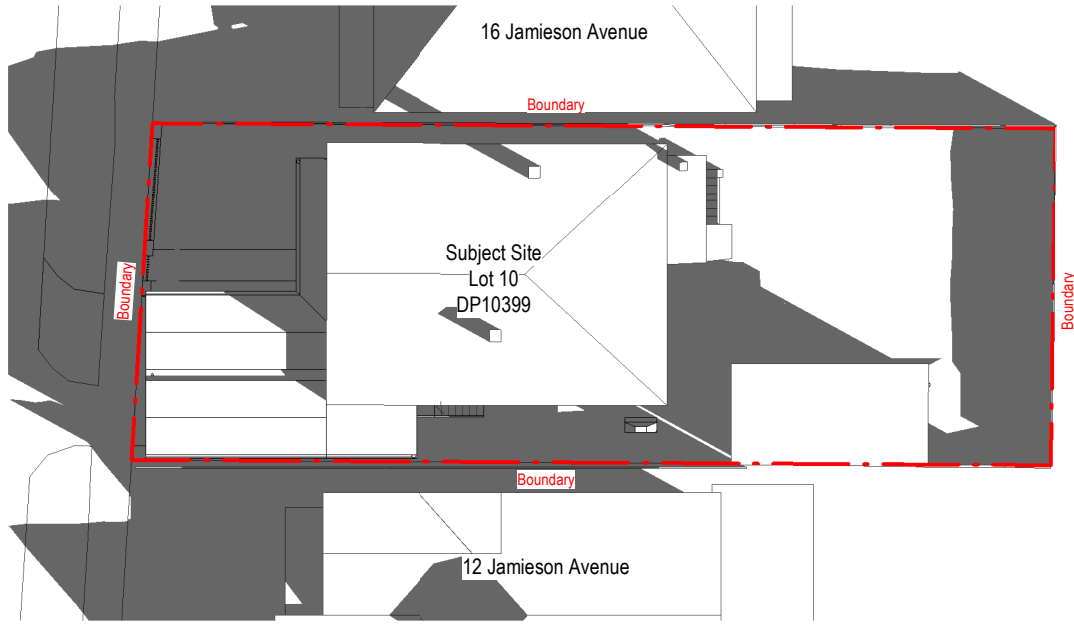
5 21 June 12pm - Proposed  
1 : 300



1 21 June 9am - Existing  
1 : 300



4 21 June 9am - Proposed  
1 : 300



**buck&simple.**  
*doers of stuff*

ABN : 86 106 604 025  
[www.buckandsimple.com](http://www.buckandsimple.com)

## Development Application

Project	Fairlight
Location	14 Jamieson Avenue, Fairlight, NSW 2094
Client	Sam and Justin McCallum
Drawing	Shadow Diagrams

Scale @ A3	1 : 300	Drawn by	BS	Checked by	BS
Project Issue Date	Issue Date				
Project number	1129	Drawing #	D900	Revision	1

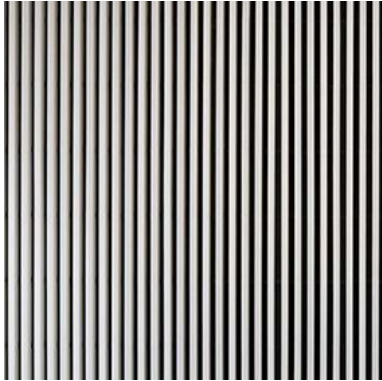




Sandstone clad low height wall to match existing sandstone



Shale Grey rain water goods exposed flashing, gutters, downpipes and garage doors



White painted timber detailing including posts and screens



White painted hardwood timber shingles

**buck&simple.**  
*doers of stuff*

General Notes		No.	Description	Date	Project		Scale @ A3	Drawn by	Checked by	
<p>The copyright of this design remains the property of buck&amp;simple. This design is not to be used, copied or reproduced without the authority of buck&amp;simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.</p>		Contact: info@buckandsimple.com		1	Issue for DA	25 Sept 2019	1 : 100		BS	BS
		ABN : 86 106 604 025					Project Issue Date		Sheet Issue Date	
		www.buckandsimple.com					Issue Date		25 Sept 2019	
		Development Application					Client		Revision	
							1129	D905	1	
							Drawing			
							Perspectives & Materials			