Fairlight 14 Jamieson Avenue, Fairlight, NSW 2094 Sam and Justin McCallum

General Notes

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding and/or Civil Works Consultant's with the works

Specifications and Schedules

Where applicable refer to and coordinate with relevant Specifications and Schedules. Written specifications and schedules take precedence Authority and, where applicable, Hydraulic to the extent of any discrepancy. Notify discrepancies between documents for direction avoid erosion, sedimentation and/or prior to proceeding with the works.

Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales. Notify discrepancies for direction prior to proceeding with the works.

Execution of the works (Standards)

Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

Units of measurement

Unless noted otherwise: - Dimensions are shown in millimetres; and - Levels are shown in meters

To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Structure

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tiedown and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

Hydraulics

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic requirements

Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local or Civil Works Consultant's requirements to contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work . Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

Interpretation

"Provide" means to supply and install. "Required" means required by the contract documents or by the Local or Statutory Authorities "Proprietary" means identifiable by naming

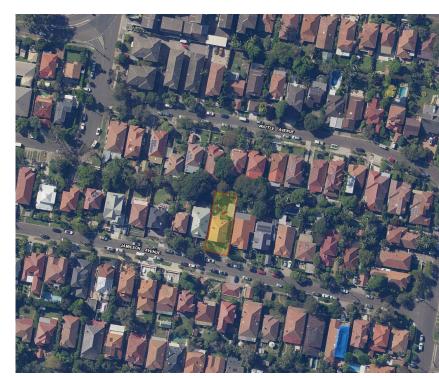
the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number

Standard Abbreviations

A/W Accordance with AFFI Above finished floor level AP Access Panel Awn Awnina Bal Balustrade Bdv (Property) Boundary Bhd Bulkhead Bldg Building Builder or building contractor Bldr Control / construction joint CJ CL Centre line COS Check / confirm on site Crs Centres Dp Downpipe D.Dr Door Dwg Drawing Engineer('s) Eng Estimated Est Existing Fxst Ext External Finished floor level FFL FGL Finished ground level FR Fire rated Fxd Fixed Gnd Ground Handrail Hr Hyd Hydraulic Inst Instruction(s) Internal Int Man Manufacturer('s) Nom Nominal NTS Not to scale O/A Overall O/H Overhead Own Owner | Proprietor | Principal Requirement(s) Reg Relative Level (to Datum) RL Schd Schedule(s) SFL Structural floor level Sld Slidina Specification(s) Spec SSL Structural slab level Std Standard SDr Surface drainage SSD Sub-surface drainage TBA To be advised TBC To be confirmed TRD To be demolished TBR To be removed TOW Top of wall Тур Typical U/G Under ground UNO Unless noted otherwise U/S Underside W Win Window

W/ With W/O Without

Location Plan



Source: Six Maps NSW Planning



Architectural Drawings

No.	Name	Rev	Date
D000	Cover Sheet, Title Page & Notes	1	25 Sept 2019
D001	Specifications	1	25 Sept 2019
D010	Site Plan - Existing & Demolished	1	25 Sept 2019
D011	Site Plan - Proposed & Site Analysis	1	25 Sept 2019
D050	Compliance Plan	1	25 Sept 2019
D060	Erosion, Sediment, Stormwater and Waste Management	1	25 Sept 2019
D070	Landscape Plan	1	25 Sept 2019
D100	Ground Floor Plan - Existing & Demolition	1	25 Sept 2019
D101	Ground Floor Plan - Proposed	1	25 Sept 2019
D300	Sections - Existing, Demolished & Proposed	1	25 Sept 2019
D301	Sections - Existing, Demolished & Proposed	1	25 Sept 2019
D400	Elevations - North - Existing, Demolished & Proposed	1	25 Sept 2019
D401	Elevations - South - Existing, Demolished & Proposed	1	25 Sept 2019
D402	Elevations - East - Existing, Demolished & Proposed	1	25 Sept 2019
D403	Elevations - West - Existing, Demolished & Proposed	1	25 Sept 2019
D900	Shadow Diagrams	1	25 Sept 2019
D905	Perspectives & Materials	1	25 Sept 2019
D910	Notification Plan	1	25 Sept 2019

L

Applicable Controls:

February 2019

Manly Development Control Plan 2013 Amendment 11

Streetscape Perspec	tive
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General Notes	Development Application	Rev	Date		D
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Manly Local Environmental Plan 2013 - Version from 28

Description	Project Issue	Date D sue Date	25 Sept 2	2019
	Scale @ A3	Ву	Chk BS	BS
	Project #	Drawing #	Rev	
	1129	D000		1
	_		27/09/2019 12:12	1:04 PM

General Notes and Abbreviations Refer also to the General Notes and Abbreviations where included with this drawing set.

This specification table forms a non-exhaustive list of the Standards and provisions applicable to the works. Where an Australian Standard (AS/NZ/int) or provision of the NCC has been ommitted, superseded or replaced the contractor is to ensure all works are carried out, completed and warranted in accordance with the most current form of the standard or provision ere a discrepancy arises, notify the contract administrator immediately efer to Execution of Works

Coordination Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify the project documentation of other consultants. Notify the project administrator of any discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

Detail Drawings

d otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy Notify the project administrator of any discrepancies prior to proceeding with the affected part of the works.

Units of measurement Jnless noted otherwise

- Dimensions are shown in millimetres: and Levels are shown in meters

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail

<u>Materials handling and storage</u> Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the site works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to th site survey documents

Finish surfaces typically to fall as required to facilitate effective drainage

Interpretation

Provide" means to supply and install. "Required" means required by the contract documents or by the Local or Statutory Authorities. Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number

Specifications and schedules Where a written specification and/or schedule exist and a discrepancy between documents is identified, the writter documents take precedence over this document to the extent of the discrepancy. Where a discrepancy is identified notify the project administrator for direction prior to proceeding with the part of the works affected by the

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Execution of the works (Specifications) Execute the works in compliance with - The relevant deemed-to-satisfy provisions of the current edition of the Building Code of Australia (Volume 2- Housing Provisions) (as amended at the time of execution of the

works) Current editions of relevant Australian and other applicable published Standards; and - The relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works. The specification of codes and standards included herein outlines the minimum acceptable standards.

Termite protection

Provide termite protection: In accordance with the BCA (Volume 2) Part 3.1.3 Termite Risk Management and to SNIXS 3660.1_Termite management - New building work. Upon completion, a durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating brommotin source of the article vectors of the second source of the second source of the system, where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label and the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity. Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the relevant provisions of the BCA and Australian Standards.

<u>Flashings and damp-proof courses</u> Flashings and damp-proof courses: To AS/NZS 2904_Damp-proof courses and flashings

s: Hot-dip galvanized to AS/NZS 4680 Hot-dip Steel nails: Hot-dip galvanized to AS/NZS 4000_nut-up galvanized (zinc) coatings on fabricated ferrous articles. Self-drilling screws: To AS 3566_Self-drilling screws for the building and construction industries - General requirement and mechanical properties

Metal finishes Corrosion protection In accordance with the BCA (Volume 2) Part 3.4.2.2 Steel framing - General ation of metal surfaces

To AS 1627.(Various) Metal finishing - Preparation and pretreatment of surfaces. Zinc plating To AS 1789 Electronlated zinc (electronal/anized) coatings or errous articles (batch process), at least service condi number 2.

To AS 1231 Aluminium and aluminium alloys - Anodic voidation coatings, at least class A410. Thermoset powder coating: To AS 3715_Metal finishing -Thermoset powder coating for architectural applications of aluminium and aluminium alloys. aluminum and aluminum albys. Galvanize mild steel components (including fasteners); To AS 1214. Hot-dig galvanized coatings on threaded fasteners (ISO metric coarse thread series) (ISO 10684:2004, MOD) or ASINZS 4680, Hot-dig galvanized (zinc) coatings on fabricated ferrous articles, as appropriate, if exposed to weather embedded in masonry or in contact with chemically Galvanized other components: To AS/NZS 4680_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles Durability requirements To AS/NZS 2699.2_Built-in components for masonry construction - Connectors and accesories Steel sheeting: To AS/NZS 2728_Prefinished/prepainted sheet metal products for interior/exterior building applications - Performance requirements. Cold-form sections from metallic-coated steel: To AS 1397_Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloved with aluminium and magnesium Steel framing: i traming: -coated or aluminium/zinc alloy coated steel To AS 1397 (Steel sheet and strip - Hot dipped zinc-coated o aluminium/zinc-coated) Z450 or

Building in bushfire prone areas

A7150

Provide certification that all construction methods and any required bushfire prevention measures are installed in accordance with the approvals documentation, the NSW Rural Fire Service and AS 3959.

In order to provide a suitable combination of bush fire protection measures the NSW Rural Fire Service also requires additional construction requirements beyond those prescribed in AS3959 as deemed appropriate.

Construction methods must comply with these requirements including, but not limited to: Addendum Appendix 3 of Planning for bushfire fire protection. including, but not limited to the relevant provisions of A3.7 and the nominated Australia

Specify all measures installed on the certification

iolish existing structures as shown: To AS 2601 (The demolition of structures) Temporary Support: Provide temporary support for part(s) of the existing structure as required where part(s) of the orks to be altered rely on work to be demolished for

Temporary Cover: Provide temporary cover as necessary to prevent damage from the weather and ensure that the site remains secure so as to prevent unauthorised entry Secure Site: Prior to the commencement of demolition works ensure that the site is secure and that erosion and other environmental protection measures are in place and

operational Asbestos: Demolition involving the removal of asbestos or materials containing asbestos fibre must only be carried out by persons licensed by Workcover NSW and be in ccordance with the National Occupational Health and Safety Commission (WorkSafe Australia). Code of practice for the safe removal of asbestos

To be carried out in accordance with: - The requirements of the Environmental Planning & - The requestment Act 1979;
- Relevant conditions of development consent; and
- The relevant requirements of BCA (Volume 2) Part 3.1.1 of the BCA (volume 2) Excavation adjacent to existing buildings o comply with BCA (Volume 2) Part 3.1.1.3 Excavation for drains adjacent to existing footings: To be in accordance with BCA (Volume 2) Part 3.1.2.2 & Figure

3.1.2.1

Fimber piled footing systems: Proprietary System designed to AS 2870 (Residential slabs and footings - Construction) Screw-in foundations: Proprietary System designed to AS 2159 (Piling - Design and installation)

Structural design Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, ite-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications and in accordance with the relevant provisions of the following structural design manuals

Site classification To be in accordance with Part 3.2.4 of the BCA (volume 2)

Structural design manuals AS 1170.1 (Dead and live loads and load combinations AS 1170.2 (Wind loads) or AS 4055 (Wind loads for housing) AS 1170.4 (Earthquake loads) AS 1720.1 (Timber structures code) AS2870 (Residential slabs and footi ential slabs and footings AS 2159 (Piling - design and installation) AS 2327.1 (Composite structures) AS 3600 (Concrete structures) AS 3700 (Masonry Structures) AS 4100 (Steel structures) AS 4773 (Masonry in small buildings)

Structural design certification

Submit structural engineer's design certification, in accordance with Local Authority requirements, to the Principal Certifying Authority prior to the commencement of under works

Concrete construction Concrete structures generally: To AS 3600 (Concrete

structures). Ground slabs and footings: To AS 2870 (Residential slabs and footings - Construction eady mixed supply: To AS 1379 (Specification and supply of concrete). Concrete construction is to comply with Spec A2.4, B1.4 &

AS 3600 Footings and slabs

Design and construct footings and slabs: In accordance with Part 3.2 of the BCA (volume 2) and AS 2870(Residential slabs and footings), AS 3600 (Concrete structures) and AS 2159(Piling - Design and installation). Brick & block construction (masonry)

Masonry construction: To be in accordance with Part 3.3 of the BCA (volume 2) and to AS 3700 (Masonry struc asonry units: To AS/NZS 4455 (Masonry units and segmental pavers).

Clav brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 (Masonry units and segmental pavers - Methods of test - Determining resistance to salt attack) Appendix A (Salt attack resistance AS 4773.1 and AS 4773.2 (Masonry in small buildings)

Eaves & soffits

ning is to comply with 3.5.3.4 of the BCA and AS/NZS 2908.2 - 2000 or ISO 8336 - 1993

Wall cladding To be in accordance with Part 3.5.3 of the BCA (volume 2) Hardboard cladding: To AS/NZS 1859.4 (Int)(Recon-wood-based panels - Specifications - Wet-processed

Wall ties: To AS/NZS 2699.1(Built-in components for

A; Seismic areas: Type B.

(Do not cut after galvanizing).

angles (durability requirements).

the BCA (volume 2)

BCA (volume 2) and

Design methods).

1684.4 (Amdt 1).

1684.2 – (Amdt 1).

AS 4100 (Steel structures)

(elding of steel structures)

Floors: To AS 1684.4

of particleboard flooring).

Roof and wall cladding

Roof tile inst

Metal roof sheeting To be in accordance

351183513

Roof plumbing

drainage)

volume 2) and AS 2049 (Roof tiles).

allation: To AS 2050 (Installation of roofing tiles).

rdance with the BCA (Volume 2) Part 3.5.10.

Metal roofing design and installation: To AS 1562.1(Design and installation of sheet roof and wall cladding - Metal).

To be in accordance with BCA (Volume 2) Part 3.5.2 and AS/NZS 3500 (Part 3 - Stormwater drainage) and AS/NZS 3500(Part 5 - Domestic installation - section 5 - stormwater

PVC rainwater goods and accessories: To AS/NZS 2179.2

(Int) (Specification for rainwater goods, accessories and fasteners - PVC rainwater goods and accessories).

bond type A, tongue and grooved.

and / or

Timber & steel framed construction

(volume 2)

asonry construction - Wall ties); Non-seismic areas: Type

Wall tie type: To BCA Volume 2 clause 3.3.3.2 (Acceptable

construction - Masonry - Masonry accessories - Wall ties). Wall tie spacing: To BCA Volume 2 Figure 3.3.3.1 (Typical

Lintels generally: In accordance with Part 3.3.3.4 of the BCA

Cold-formed lintels: Proprietary cold-formed flat-based type

designed to AS/NZS 4600(Cold-formed steel structures), manufactured from mild steel galvanized to AS/NZS 4680

Steel lintels (flats and angles): To BCA Volume 2 Figure

4680 (Do not cut after galvanizing). Lintel corrosion protection: To AS/NZS 2699.3 (Built-in

components for masonry construction - Lintels and shelf

3.3.3.5. manufactured from mild steel galvanized to AS/NZS

Sub-floor ventilation Sub floor ventilation: To be in accordance with Part 3.4.1 of

Timber wall, floor and roof framing Timber framing: To be in accordance with Part 3.4 of the

Simplified - Non-cyclonic) or AS 1720.1 (Timber structures

Natural durability class of heartwood: To AS 5604(Timber -

Natural durability ratings). Preservative treatment: To the AS 1604 series (*Specification* for preservative treatment).

Contractor to ensure compliance with clause 3.4.3.0 of the

r construction is to comply with clause 3.4.3.0 & AS

BCA and AS 1684.2 (Amdt 1), AS1684.3(Amdt 1) or AS

Steel framing and structural steel members Steel framing: to be in accordance with Part 3.4.2 of the BCA (volume 2)

Steel structural members: To be in accordance with Part 3.4.4 of the BCA (volume 2) Acceptable construction practice and AS 4100 (Steel structures) Structural steelwork: To AS 4100 (Steel structures).

Cold-formed steel framing: Provide a proprietary system designed to AS 3623(Domestic metal framing).

/elding: To AS/NZS 1554.1 (Structural steel welding

Acceptable construction practice (Part 3.4.2.1 of the BCA)

AS 1684 4 (Residential timber-framed construction

brick ties spacings in cavity and veneer construction). Wall tie corrosion protection: To BCA Volume 2 Table

3.3.3.1 (Corrosion protection for wall ties)

fibreboard). Fibre cement cladding: To AS/NZS 2908.2(Cellulose-cement Products - Flat sheets), Type A, Category 3. Metal cladding design and installation: To AS 1562.1 (Design and installation of sheet roof and wall cladding - Metal). Unplasticised polyvinyl chloride (uPVC) sheet: To AS/NZS 4256.4 (Plastic roof and wall cladding materials Unplasticised polyving chloride (uPVC) wall cladding boards). Glass fibre reinforced polyester (GRP) sheet: To AS/NZS 4256.3 (Plastic roof and wall cladding materials - Glass fibre reinforced polyester (GRP)). Polycarbonate: To AS/NZS 4256.5 (Plastic roof and wall ling materials - Polycarbonate). llation of plastic claddings: To AS/NZS 1562.3 (Design and installation of sheet roof and wall cladding - Plastic). Timber cladding to comply with BCA (Volume 2) Part 3.5.3.2

Insulation and sarking Cellulosic fibre (loose fill): To AS/NZS 4859.1 (Materials for

the thermal insulation of buildings - General criteria and echnical provisions). Section 5. Mineral wool blankets and cut pieces: To AS/NZS 4859.1, Section 8. Polystyrene (extruded rigid cellular sheets): To AS 1366.4 (Rigid cellular plastics sheets for thermal insulation - Rigid cellular polystyrene - Extruded (RC/PSE)) Polystyrene (moulded rigid cellular sheets): To AS 1366.3 (Rigid cellular plastics sheets for thermal insulation - Rigid cellular polystyrene - Moulded (RC/PS - M)). Reflective insulation: To AS/NZS 4859.1, Section 9 Wool: To AS/NZS 4859 1 Section 6 rking material: To AS/NZS 4200.1 (Pliable building materials and underlays - Materials). Standard: To AS 3999 (Thermal insulation of dwellings - Bulk insulation - Installation requirements). Sarking material: To AS/NZS 4200.2 (Pliable building

Windows and doors

Glazing to be in accordance with Part 3.6 of the BCA (volume . lass Selection and installation: To AS 1288(Glass in

buildings - Selection and installation). Timber doorsets: To AS 2688 (Timber doors). Timber frames and jamb linings: To AS 2689 (Timber

Security screen doors and windows grilles: To AS 5039 (Security screen doors and security window grilles). Window selection and installation: To AS 2047 (Windows in buildings - Selection and installation). Doorset installation: To AS 1909 (Installation of timbe

doorsets) Garage doors: To AS/NZS 4505 (Domestic garage doors) Provide certification from a licensed installer that window framing and glazing is installed in accordance with the

Lining

Plasterboard: To AS/NZS 2588 (Gypsum plasterboard). Plasterboard installation: To AS/NZS 2589.1- (Gypsum linings in residential and light commercial construction - Application Particleboard flooring: To AS/NZS 1860.1 (Particleboard flooring - Specifications) and install to AS 1860 (Installation and finishing - Gypsum plasterboard) Level 4 finish. Fibre cement: To AS/NZS 2908.2 (Cellulose-cement Compressed Fibre cement flooring: To AS/NZS 2908.2 Cellulosecement products - Flat sheets), Type A, Category products - Flat sheets), Type B, Category 2. Fibrous plaster products: To AS 2185 (Fibrous plaster wood flooring: To AS/NZS 2269 (Plywood - Structural),

Roof trusses Roof trusses installation: To AS 4440 (Installation of nailplated timber trusses). Anti-ponding boards: To AS/NZS 4200.2(Pliable building membranes and underlays - Installation requirements)

Roof tiling To be in accordance with Parts 3.5.1.1 & 3.5.1.2 of the BCA Flashing

Flashing to wall openings are to comply with BCA (Volume 2) Part 3.5.3.6 and AS/NZS 2904 - 1995 Amdt 1

Smoke alarms

To be in accordance with Part 3.7.2 of the BCA (volume 2). AS 3786 (Smoke alarms) and the Manufacturer's instructions. Where consumer mains power is supplied smoke alarms must be connected to mains power. For Class 1A buildings smoke alarms must be installed on every storey. In storeys containing bedrooms smoke alarms are to be In Surge containing occurrence and a second a seco

building

Ventilation To be in accordance with Part 3.8.5 of the BCA Natural Ventilation: Parts 3.8.5.2 and 3.8.5.3 of the BCA (volume 2) Mechanical Ventilation: Parts 3.8.5.0 and 3.8.5.3 of the BCA

Sound insulation To be in accordance with Part 3.8.6.1 of the BCA (volume 2) Refer to architectural details of sound

Safe movement and access

Stair construction To be in accordance with BCA (Volume 2) Part 3.9.1.1 Gas: To AS 5601(Gas installation code) Acceptable construction practice. Stair construction must comply with the provisions of the BCA (Volume 2) Part 3.9.1, i.e., treads min 240mm nosing to nosing; risers 115mm -190mm; slope relationship (2R-G); handrail height 865mm Gutters & downpipes: To comply with BCA (Volume 2) Part 3.5.2.0 & AS/NZS 3500.3 (Amdt 1 & 2), or AS/NZS 3500.5 (Amdt 1 to 4 Electrical installations above nosing; open treads maximum gap between treads is 125mm Where a discrepancy arrises the electrical consultant's,

On storevs not containing bedrooms a smoke alarm must be

certifying that the alarm systeme has been installed in

AS 2918 - Domestic solid - fuel burning appliances

Room heights To be in accordance with Part 3.8.2 of the BCA (volume 2)

Ceiling heights are to comply with clause 3.8.2.2 of the BCA.

Kitchen, sanitary and washing facilities To be in accordance with Parts 3.8.3.2 and 3.8.3.3 of the BCA

accordance with the relevant standards.

Part 3.7.3 of the BCA (volume 2) and

All smoke alarms to be interlinked

Heating appliances

Health and amenity

(volume 2)

(volume 2)

Wet areas Refer to "Waterproofing"

To solve the second should be located along the path of travel people will most likely take to evacuate the building. Provide certification from a Licensed electrical contractor artificient the travel people solution and should be located along the path of travel people will most likely take to evacuate the building. Provide certification from a Licensed electrical contractor artificient the travel people

Natural and artificial light Waterless composting toilets: To AS/NZS 1546.2 To be in accordance with Parts 3.8.4.2 and 3.8.4.3 of the BCA domestic wastewater treatment units - Waterless

Balustrades To be in accordance with BCA (Volume 2) Part 3.9.2.1

Acceptable construction practice. Balustrade construction must comply with the provisions of the BCA (Volume 2) Part 3.9.2. Balustrade height 1m above finished floor surface. installations - Domestic installations). Circuit breakers: To AS/NZS 3947.2 (Low voltage Where ground height exceeds 4m from floor level of the deck switchgear and controlgear - Circuit-breakers). Electrical accessories: To AS/NZS 3100-(Approval and balcony balusters must be vertical / non-climbable between 150mm and 760mm above deck level test specification - General requirements for electrica Luminaries: To AS 3137 (Approval and test specification

Block and tile finishes

Ceramic tiling: Follow the guidance provided by AS 3958.1 Luminaries (lighting fittings)). Smoke detectors: Refer to "Fire Safety, Smoke Alarms" (Ceramic tiles - Guide to the installation of ceramic tiles) and AS 3958.2 (Ceramic tiles - Guide to the selection of a ceramic chboards: To AS/NZS 3439.1 (Low-voltage switchgear and controlgear assemblies - Type-tested ar partially type-tested assemblies) or AS/NZS 3439.3 (Low tiling system). Adhesives: To AS 2358 (Adhesives - For fixing ceramic tiles). voltage switchgear and controlgear - Particular

To be in accordance with BCA (Volume 2) Part 3.8.1 and AS 3740 (Waterproofing of wet areas in residential buildings) Provide certification from a licensed installer certifying that the vaterproofing is installed in accordance with the relevan

Floor coatings and coverings Carpeting: To AS/NZS 2455.1 (Textile floor coverings -

Installation practice - General). Resilient finishes: To AS 1884 (Floor coverings - Resilient sheet and tiles - Laying and maintenance practices).

Painting

Painting generally: Follow the guidance provided by AS/NZS 2311 (Guide to the painting of buildings) and AS/NZS 2312 (Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings)

Preparation Prepare surfaces to be painted in accordance with the Manufacturer's recomendations to suit the selected paint system, the type of substrate and its condition.

based panels - Specifications - Wet-processed fibreboard). Particleboard: To AS/NZS 1859.1 (Int) (Reconstituted woodbased panels - Specifications - Particleboard). Medium density fibreboard: To AS/NZS 1859.2 (Int) (Reconstituted wood-based panels - Specifications - Dry , processed fibreboard) Decorative overlaid wood panels: To AS/NZS 1859.3 onstituted woodbased panels - Decorative overlaid woo

Timber fixtures Hardboard: To AS/NZS 1859.4 (Int) (Reconstituted wood-

No. Description Date Fairlight The copyright of this design remains the property of Issue for DA 25 Sept 201 Contact: info@buckandsimple.com buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. ABN : 86 106 604 025 14 Jamieson Avenue, Fairligh Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy www.buckandsimple.com arises, seek direction prior to proceeding with the works. Sam and Justin McCallum This drawing is only to be used by the stated Client in the **Development Application** stated location for the purpose it was created. Do not use this Specifications drawing for construction unless designated.

products) Fire safety Fire separation To be in accordance with BCA (Volume 2) Part 3.7.1 Fire separation - Separating wall construction: To BCA (Volume 2) Part 3.7.1.8

(Volume 2) Part 3.7.1.8 Fire separation - Roof lights: BCA (Volume 2) Part 3.7.1.10 Refer to architectural details of fire separation methods.

specification). Densitic kitchen assemblas: To ASIN2S 438.1 (Domestic assemblas: To ASIN2	High-pressure decorative laminate sheets: To AS/NZS 2924.1 (High pressure decorative laminates - Sheets made from thermosetting resins - Classification and	Test electrical installations: To AS/NZS 3017 (Electrical installations - Testing guidelines). Certify compliance with AS/NZS 3018.	Site Speci 1) Demoliti
SA HE32 at the maximum frequency and data relia for the designed ratio construction in accordance with the Load designed ratio construction in accordance with the section of the designed ratio construction in accordance with the section of the designed ratio construction in accordance with the section of the designed ratio construction in accordance with the section of the designed ratio construction in the frequency and data section of the designed ratio construction in the frequency ratio section of the designed ratio construction in the frequency ration of the desection accordance with the construction designed r	specification).	Test telecommunications cabling: To AS/NZS 3086 and the	AS2601-20
Stormware drainage, wate water drainage, fesh wate designed and constructed in accordance with the Loss AdvAtts 352,8366. A second audio system: To ASAR25 1367. Test designed and constructed in accordance with the Loss Consultant's requirements. When a discogramy vises Consultant's requirements the decrement, functionage products To SAM. PS2-201 (Maxuel of authorization procedures for plumbing and Charange products) To SAM. PS2-201 (Maxuel of authorization procedures for plumbing and Charange products) To SAM. PS2-201 (Maxuel of authorization procedures for plumbing and Charange products) To SAM. PS2-201 (Maxuel of authorization procedures for plumbing and Charange products) To SAM. PS2-201 (Maxuel of authorization procedures for plumbing and Charange) or SAM. PS2-300. Characteristic and the systems - To SA (FS7-2) (Plangerating or plumbing and Charange) or SAM. PS2-201 (Maxuel of authorization procedures for SAM. PS2-201 (Maxuel a dura		SAA HB29 at the maximum frequency and data rate for the	2) Earthwo
 designed and constructed in accordance with the local Activity. Statutes, Matching, Statutes, Matching, Statutes, Matching, Matching, Watching, Watching,	Stormwater drainage, waste water drainage, fresh water,	AS/NZS 3086.	 Excavat with clause
requirements take precedence over the following standards to the destination of the desti	designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements. Where a discrepancy arises	the complete television and audio system. Certify compliance with AS/NZS 1367.	 Excavat be in accor BCA.
drainage products) and ASN2S 3718 (Water supp)-Tag AS 37. Stormwater To ASN2S 3003 (Plumbing and Drainage- Stormwater and ASN2S 3003 (Plumbing and Drainage- Net Stormater and ASN2S 3003 (Plumbing and Drainage- Stormater and ASN2S 3003 (Plumbing and D	requirements take precedence over the following standards to the extent of the discrepancy. Plumbing and drainage products: To SAA MP52-2001	Mechanical ventilation: To AS 1668.2 (The use of ventilation and airconditioning in buildings - Mechanical ventilation for acceptable indoor quality) - Grade 2 amenity.	5) A barrie clause 3.1.
Stormwater: To ASNR25 3003 (Plumbing and Drainage- Stormwater dinainage) or ASNR25 3005 (National Plumbing and Drainage - Sanitasy plumbing and drainage) or ASNR25 300.5. Refigueration and Air Conditioning Code of Good Practice - Reduction of ASNR25 3003 (Plumbing and Drainage - Sanitary plumbing and drainage) or ASNR25 300.5. Refigueration and Air Conditioning Code of Good Practice - Reduction of ASNR25 300.2 (Plumbing and Drainage - Sanitary plumbing and drainage) or ASNR25 300.5. Non-Cudeed action and Air Conditioning Code of Good Practice - Reduction of ASNR25 300.2 (Plumbing and Drainage - Heater treatment units - Senito Lanks). Non-Cudeed action and Air Conditioning Code of Good Practice - Reduction Code - Non-Cudeed action and Air Conditioning Code of Good Practice - Reduction Code (Plumbing and Drainage) - feed of Signame - Non-Cudee action and Signame - Non-Cudee action and Signame - Non-Cudee action action action of Signame - Non-Cude action action action action action and Nanot Code action action action action action action action action area of a province - Association action - Consel action action action action action action - Consel action action action action action - Consel action action action action - Consel action action action action action action - Consel action action action action - Consel action action action action - Consel acti	drainage products) and AS/NZS 3718 (Water supply - Tap	systems - Safety requirements for fixed applications) and	6) Masonry AS 3700 –
Wastewate: To ASNZ5 3300.2 (Pumbing and Drainage - Statusy pumbing and drainage) or ASNZ5 3500.5. B) Tim Curring - Statusy pumbing and drainage) or ASNZ5 3500.5. B) Tim Curring - Statusy pumbing and drainage) or ASNZ5 3500.5. B) Tim Curring - Statusy pumbing and drainage) or ASNZ5 3500.5. B) Tim Curring - Statusy pumbing and drainage or ASNZ5 3500.5. B) Tim Curring - Statusy pumbing and drainage or devicinal applications: - No ASNZ5 3500.5. B) Tim Curring - Statusy pumbing and drainage or devicinal applications: - No ASNZ5 3500.5. B) Tim Curring - Statusy pumbing and drainage - Statusy pumbing - Statusy pumbing and drainage - Statusy pumbing and drainage - Statusy pumbing and drainage - Statusy pumbing - Statusy pumbing and drainage - Statusy pumbing and drainage - Statusy pumbing - Statusy pumbing and drainage - Statusy pumbing - St	Stormwater: To AS/NZS 3500.3 (Plumbing and Drainage -	Refrigeration and Air Conditioning Code of Good Practice -	7) Concret & AS 3600
Wateries composing toiles: 0.05NK2 5166.2 (On-site domesic waterwater treatment units. Vateriess composing toiles). 9 Stm. domesic waterwater treatment units. On SAIK25 30.05 (On-site domesic waterwater treatment units. Arreted waterwater treatment units. Septic systems: To ASIK25 1546.1 (On-site domesic waterwater treatment units.). 9 Stm. domesic waterwater treatment units. Septic systems: To ASIK25 1546.1 (On-site domesic waterwater treatment units.). 13.44.42 Septic systems: To ASIK25 1546.1 (On-site domesic waterwater treatment units.). 10 Chained accorditioners and rules of the partures. To ASIK25 3300.1 (Purbling and Drange- Water services) on ASIK25 3300.5 (Coper pie: To ASIK25 3500.1 (Purbling and Drange- Water services) on ASIK25 3300.5 (Coper pie: To ASIK25 1570 (One-site domesic waterwater treatment units. Septic systems: To ASIK25 3500.1 (Coper pie: To ASIK25 1571 (One-site domesic waterwater treatment units.). 12 Ea encry thebling and minium energy performance of e electrical applanes Nacorditioners - Marker 2300.5 (MERS 5) (Cass installation: To ASIK25 3500.5 (Amutt 1 & 2). or ASIK25 3301.6 (Encrit treaters: To ASIK25 3301.6 (Encrit treaters: To ASIK25 3301.6 (Encrit treaters: To ASIK25 3301.4 (Encrit and sealing: To ASIK25 3301.4 (Encrit treaters: To ASIK25 3301.4 (Encrit treaters: To ASIK25 3301.4 (Encrit and sealing: To ASIK25 3301.4 (Encrit and sealing: To ASIK25 3402.1 (Encrit treaters: To ASIK25 3301.4 (Encrit and sealing: To ASIK25 3402.1 (Encrit and sealing: To ASIK25 3400.4 (Encrit and sealing: To ASIK25 3401.4 (Encritand seal	Wastewater: To AS/NZS 3500.2 (Plumbing and Drainage - Sanitary plumbing and drainage) or AS/NZS	Refrigeration and Airconditioning Applications) and HB40.2 (in Residential Airconditioning Applications).	8) Timber (1684.2 – 2
On-site domesite wastwater treatment units To AS/NZS Solution and AS/NZS Solution and AS/NZS BCA & Solution and AS/NZS BCA & Solution and AS/NZS BCA & Solution and AS/NZS Solution and AS/NZS Solution and AS/NZS BCA & Solution and AS/NZS Solution and AS/NZS BCA & Solution and AS/NZS	Waterless composting toilets: To AS/NZS 1546.2 (On-site domestic wastewater treatment units - Waterless	(Performance of electrical appliances - Room airconditioners - Non-ducted airconditioners and heat	9) Structur 3.4.4.0 of t
Septic systems: To AS/NZS 1546 ((On-site domestic wastewater management). rating for performance) and AS/NZS 3202 (Performance) BCA 8 106.23 Effuent (algobas: To AS 1547 (On-site domestic wastewater management). restructures and beat pumps - Energy babling and minimum energy performances standard (MEPS) requirements). 120.24 Vater services) and AS/NZS 3500 (Plumbing and Drainage Water services) on AS 4009 (Copper pips - not fittings - Installation and commissioning). 131 Fit Fitters: Washable panel type with minimum average wentilation and accommissioning). 131 Fit Fitters: Washable panel type with minimum average wentilation and accommissioning). 131 Fit Fitters: Washable panel type with minimum average wentilation and accommissioning). 131 Fit Fitters: Washable panel type with minimum average wentilation and accommissioning). 131 Fit Fitters: Washable panel type with minimum average wentilation and accommissioning). 131 Fit Fitters: Washable panel type with and the panel wentilation and accommissioning). 131 Fit Fitters: Washable panel type with and the panel wentilation and accommissioning). 131 Fit Fitters: Washable panel type with and the panel wentilation and accommissioning. 131 Fit Fitters: Washable panel type with and the panel wentilation and accountilation. 131 Fit Fitters: Washable panel type with and the panel wentilation and accountilation accountilation accounting and water systems of buildings. 131 Fit Fitters: Washable panel type with and manafer type and the panel countil trajkers a downy and shallow and went installation. 131 Fitters: Table accounting with the panel countil trajkers a downy and shallow and souind signes and controg	On-site domestic wastewater treatment units: To AS/NZS	Ducted airconditioners: To AS/NZS 3823.1.2(Performance	10) Metal r BCA & AS
Frestwater, To ASINZS 3300.1 (Plumbing and Drainage-Water services) or ASINZS 3500.4 (Plumbing and Drainage-Heated water services) or ASINZS 3500.5 Filters: Washable panel type with minimum average 12, 12, 12, 12, 12, 12, 12, 12, 12, 12,	Septic systems: To AS/NZS 1546.1 (On-site domestic wastewater treatment units - Septic tanks). Effluent disposal: To AS 1547 (On-site domestic	rating for performance) and AS/NZS 3823.2 (Performance of electrical appliances - Airconditioners and heat pumps - Energy labelling and minimum energy performance standard	11) Gutters BCA & AS 3500.5 - 20
Copper jpe: To AS 4090 (Copper jpe and fittings - Instalation and commissioning). Refrigeration jpes: To AS/NZS 1571 (Copper - Seamless the BC 13) Fig Reinverter tanks instalation: To AS/NZS 3500.1. Polyethylene tanks: To AS/NZS 3500.1. The Source of th	Freshwater: To AS/NZS 3500.1 (Plumbing and Drainage - Water services) and AS/NZS 3500.4 (Plumbing and	Filters: Washable panel type with minimum average efficiency to AS 1324.2(Air filters for use in general	12) Eaves and AS/NZ
Polyethylene tanks: To ASINZS 4766 (Int). Gas: To AS 5001 (Gas instalation code). drains to ASINZS 3606.1 (Air-fanding and water systems of 14) Git Gas: To AS 5001 (Gas instalation code). 14) Git Gas: To AS 5001 (Gas instalation code). Comply with BCA (Volume 2) Part 3.5.2.0 & ASINZS 3500.5 (Amut 1 to 4). Ductwork: To AS 4254 (Ductwork for air handing systems in buildings. 15) Electrical installations More a discrepancy arrises the electrical consutant's, to cal or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy. 16) We assume the systems of the destriction installations. 16) We assume the systems of the destriction and statutors. Circuit breakers: To ASINZS 3018 (Electrical installations: Or ASINZS 3000 (Approval and test specification - General requirements for electrical expecification - General requirements for electrical expecification - General requirements for electrical expecification and statutors and bits of protocols. 18) Na Status and stat	Copper pipe: To AS 4809 (Copper pipe and fittings - Installation and commissioning).	Refrigeration pipes: To AS/NZS 1571 (Copper - Seamless tubes for airconditioning and refrigeration).	13) Flashin the BCA ar
 3500.3 (Amdt 1 & 2), or ASINZS 3500.5 (Amdt 1 to 4). Electrical installations Where a discrepancy arrises the electrical consultant's, local or statutory authority requirements take precedence over the following standards to the extent of the discrepancy. Electrical installation: To ASINZS 3018 (Electrical installation: To ASINZS 3018 (Electrical consultant), Circuit breakers: To ASINZS 3047.2 (Low voltage subcliquer and controlgear - Circuit-breakers). Electrical construction - General requirements for electrical equipment). Luminaries: To ASINZS 3107 (Approval and test specification - General requirements for electrical costruction - General requirements for electrical cost of the Six (State 2 and Controlgear - Struct-States). To ASINZS 3439 1 (Low-voltage switchgear and controlgear essemblies or ASINZS 3439.3 (Low-voltage switchgear and controlgear essemblies) or ASINZS 3439.3 (Low-voltage switchgear and controlgear essembles) or ASINZS 3439.3 (Low-voltage switchgear and controlgear - Particular requirements for authorised cabling produce). Television antenna: To AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 Guts marked cabling produce). Television antenna: To ASIACIF S009 (Installation: Cabling Manual, Module 2: Communications of SANLZS 1507 (Coxial cable systems for the distribution of anabogut elevision and sudio systems: To ASINZS 1507 (Coxial cable systems for the distribution of anabogue television and sudio systems: To ASINZS 1507 (Coxial cable systems for the distribution of anabogue television and sudio systems: To ASINZS 1507 (Coxial cable systems for the distribution of anabogue television and sudio systems: To ASINZS 1507 (Coxial cable systems for the distribution of anabogue television and sudio systems: To ASINZS 1507 (Coxial cable systems for the dis	Polyethylene tanks: To AS/NZS 4766 (Int). Gas: To AS 5601(Gas installation code). Gutters & downpipes:	drains to AS/NZS 3666.1 (Air-handling and water systems of buildings - Microbial control - Design, installation and commissioning)	14) Glazing the BCA, A & 2.
Where a discrepancy. (cooling ductwork). (f) (Withing Standards to the extent of the discrepancy. (f) (Withing Standards to a Star (S) (S) (Withing Standards to a Star (S)	3500.3 (Amdt 1 & 2). or AS/NZS 3500.5 (Amdt 1 to 4).	buildings). Insulation and sealing: To BCA clause 3.12.5.3 (Acceptable	15) Smoke BCA & AS
over the following standards to the extent of the discrepancy. If Cee Electrical instalations: Domestic instalations.). If Cee Circuit breakers: To AS/NZS 3018 (Electrical instalations: - Domestic instalations). If Cee Circuit breakers: To AS/NZS 3047.2 (Low voltage switchgear and controlgear - Circuit-breakers). Electrical accessories: To AS/NZS 100-(Approval and test specification - General requirements for electrical equipment). If New Freestanding Clay-Brick Walls) and 21B(Brick Beam Garden Frees). Luminaries (lighting fittings). Switehogar and controlgear - Sincular the Swimming Pools Act 1992 and partially type-tested ansemblies - Type-tested and partially type-tested assemblies - Type-tested and partially type-tested assemblies - TAS/NZS 303.3 (Low-voltage switchgear and controlgear - Particular requirements for authorised cabling products). Telecommunications accessories: To AS/NCF S008 (Requirements for authorised cabling products). Unit pawing Standard: To AS/NZS 4455 (Masonry units and segmental pavers). Telecommunications cabling Manual, Module 2: Communications Cabling Handbook). Unit pawing Standard: To AS/NZS 4455 (Masonry units and segmental pavers). Swite Doards S06 (Telecommunications cabling Withon of analogue television and surgity settems for small office/home office premises) and and instalations or SAA HB29. Electrical communications cabling wetter for caving television and surgity settems for courding television and surgity settems for small office/home office premises) and in accordance with the recommendations of SAA HB29. Communications cabling Manual, Module	Where a discrepancy arrises the electrical consultant's,		16) Waterp
Electrical installation: To AS/NZS 3018 (Electrical installations - Domestic installations). Circuit breakers: To AS/NZS 3947.2 (Low voltage switchgear and controlgear - Circuit-breakers). Electrical accessories: To AS/NZS 3107 (Approval and test specification - Luminaries: To AS 3137 (Approval and test specification - Luminaries: To AS 3137 (Approval and test specification - Luminaries: To AS 3137 (Approval and test specification - Luminaries: To AS/NZS 303.1 (Low-voltage switchgear and controlgear - Particular requirements for autority assemblies - Type-tested and partially type-tested assemblies) or AS/NZS 3439.3 (Low-voltage switchgear and controlgear - Particular requirements for autority and cather approximates for radio and television in the frequency range 30 MHz to 1 CH2- Construction and installation; To AS/NZF S009 (Installation Reduirements for Customer Cabling Manual, Module 2: Communications Cabling Manual, Module 2: Communications Cabling Manual, Mo	over the following standards to the extent of the		17) Ceiling
switchgaar and controlgeer - Circuit-breakers). Electrical accessories: To ASINZS 3100-(Approval and test specification - General requirements for electrical equipment). Luminaries: To AS 3137 (Approval and test specification - Luminaries: To AS 3133 (Low-voltage switchgear and controlgear - Particular requirements for authorised cabling products). Television and instalation jor AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Performance). Television and instalation: To AS/ACIF S009 (Instalation Requirements for authorised cabling Wring Rues))and the recommendations of SAA HB29 (Communications Cabling Manual, Module 2: Communications Cabling Manual, Module 2: Communications Cabling Manual, Module 2: Communications Cabling Manual, Module 2: Communications acbling systems for small office/home office premises) and in accordance with the recommendations of SAA HB29. Television and audio systems: To AS/INZS 1367 (Coaxial cable systems for the distribution of analogu television and sound signals in single and multiple unit instalations) and conforming to the recommendations of Digital Broadcasting Australa.	Electrical installation: To AS/NZS 3018 (Electrical	Steel posts: Galvanize to AS/NZS 4680.	BCA.
test specification - General requirements for electrical equipment). Luminaries (lighting fittings). Smoke detectors: Refer to Tries Safety, Smoke Alarms" Switchboards: To AS/NZS 3439.1 (Low-voltage switchgear and controlgear - Particular requirements for autoriseasemblies) or AS/NZS 3439.3 (Low- voltage switchgear and controlgear - Particular requirements for autorised cabling products). Television antenna: To AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 CHz - Construction and instalation) and AS 1417.2 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 CHz - Construction and instalation) and AS 1417.2 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 CHz - Construction and instalations: To AS/ACIF S009 (Instalation Recuirements for Customer Cabling (Wiring Rules))and the recommendations of SAA HB29 (Communications Cabling Manual, Module 2: Communications of SAA HB29 Television and audio systems: To AS/NZF 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unt instalations) and conforming to the recommendations of Digital Broadcasting Australa.	switchgear and controlgear - Circuit-breakers).	Freestanding Clay-Brick Walls) and 21B(Brick Beam Garden	18) Natura 19) Ventila
Luminaries (lighting fittings)), Smoke detectors: Refer to Fire Safety, Smoke Alarms' Switchboards: To AS/NZS 333: 1(.cw-voltage switchboards: To AS/NZS 1333: 1(.cw-voltage switchboards: To AS/NZS 1343: 1(.cw-voltage switchboards: To AS/NZS 1367 (Coaxial cable systems for audity systems: To AS/NZS 1367 (Coaxial cable systems for audity systems: To AS/NZS 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit instalations; and conforming to the recommendations of Digital Broadcasting Australa.	test specification - General requirements for electrical equipment).	Swimming pool safety fencing / barriers	3.8.5.2 of t
partially type-tested assembles) or AS/NZS 3439.3 (Low-voltage switchgear and controlegar - Particular Hot-mixed paving - Place and compact asphaltic concrete paving over the prepared over the prepared over the prepared base course to AS 2734 (Asphalt (not-mixed) paving - Guide to good practice). Telecommunications accessories: To AS/ACIF S008 Unit paving - Guide to good practice). Television antenna: To AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Performance). In-situ concrete paving: To AS 1379 (Specification and supply of concrete). Television in the frequency range 30 MHz to 1 GHz - Performance). In-situ concrete paving: To AS 1379 (Specification and supply of concrete). Television in the frequency range 30 MHz to 1 GHz - Performance). In-situ concrete paving: To AS 1379 (Specification and supply of concrete). Television in the frequency range 30 MHz to 1 GHz - Performance). In-situ concrete paving: To AS 1379 (Specification and supply of concrete). Television and installation: To AS/ACIF S009 Installations (Cabling Handbock). Rulesi)and the recommendations of SAA HB29 Communications cabling systems for small office/home office installations: To AS/INZE 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unt installations) and conforming to the recommendations of Digital Broadcasting Australa.	Luminaries (lighting fittings)). Smoke detectors: Refer to "Fire Safety, Smoke Alarms"	AS 1926 Part 1 Refer to architectural details of swimming	20) Mecha laundries n 1668.2.
Television antenna: To AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Construction and installation) and AS 1417.2 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Performance). Telecommunications installation: To AS/ACIF S009 (Installation Requirements for Customer Cabling (Wring Rules))and the recommendations of SAA HB29 (Communications Cabling Handbock). Small office/home office installations: To AS/ACIF S009 and AS/IX25 3086 (Telecommunications installations - Integrated communications cabling systems for small office/home office premises) and in accordance with the recommendations of SAI HB29. Television and audio systems: To AS/IX25 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit installations) and conforming to the recommendations of Digital Broadcasting Australa.	switchgear and controlgear assemblies - Type-tested and partially type-tested assemblies) or ASINZS 3439.3 (Low- voltage switchgear and controlgear - Particular requirements), as appropriate. Telecommunications accessories: To ASIACIF S008	Hot-mixed paving: Place and compact asphaltic concrete paving over the prepared base course to AS 2734 (Asphalt (hot-mixed) paving - Guide to good practice). Unit paving Standard: To AS/NZS 4455 (Masonry units and	
frequency range 30 MHz to 1 GHz – Performance). Telecommunications installation: To AS/ACIF S009 (Installation Requirements for Customer Cabling (Wiring Rules))and the recommendations of SAA HB29 (Communications Cabling Manual, Module 2: Communications Cabling Manual, Module 2: Communications Cabling Handbook). Small office/home office installations: To AS/ACIF S009 and AS/NZS 3086 (Telecommunications installations - Integrated communications cabling systems for small office/home office premises) and in accordance with the recommendations of SAA HB29. Television and audio systems: To AS/NZS 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit installations) and conforming to the recommendations of Digital Broadcasting Australia.	Television antenna: To AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Construction and installation) and AS 1417.2	In-situ concrete paving: To AS 1379 (Specification and	
Communications Cabling Handbook). Small office/home office installations: To AS/ACIF S009 and AS/IX2S 3086 (Telecommunications installations - Integrated communications cabing systems for small office/home office premises) and in accordance with the recommendations of SAA HB29. Television and audio systems: To AS/IX2S 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit installations) and conforming to the recommendations of Digital Broadcasting Australia.	frequency range 30 MHz to 1 GHz - Performance). Telecommunications installation: To AS/ACIF S009 (Installation Requirements for Customer Cabling (Wiring		
Integrated communications cabling systems for small office/home office premises) and in accordance with the recommendations of SAA HB29. Television and audio systems: To ASI/NZS 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit installations) and conforming to the recommendations of Digital Broadcasting Australia.	Communications Cabling Handbook). Small office/home office installations: To AS/ACIF S009		
Television and audio systems: To AS/NZS 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit installations) and conforming to the recommendations of Digital Broadcasting Australia.	Integrated communications cabling systems for small office/home office premises) and in accordance with the		
installations) and conforming to the recommendations of Digital Broadcasting Australia.	Television and audio systems: To AS/NZS 1367 (Coaxial cable systems for the distribution of analogue television		
STICKE DETECTION TISTER AND THE RESULT. TO AS TO V. T	installations) and conforming to the recommendations of		

cific References

ion of buildings and structures in accordance with 2001; Demolition of Structures

vorks to comply with clause 3.1.1 of the BCA.

ation adjacent to existing buildings is to comply se 3.1.1.3 of the BCA

vation for drains adjacent to existing footings must ordance with clause 3.1.2.2 & Figure 3.1.2.1 of the

er to termites shall be provided in accordance with 1 3 0 of the BCA & AS 3660 1 - 2000

rry construction is to comply with clause 3.3.1.0 & - 2001 Amdt 1, 2 & 3 or AS 4773, 1 & 2 - 2010

ete construction is to comply with Spec A2.4, B1.4

construction is to comply with clause 3.4.3.0 & AS 2006 Amdt 1

ral steel members are to comply with clause the BCA and AS4100 - 1998

roofing is to comply with clause 3.5.1.0 of the S 1562.1 – 1992 Amdt 1 & 2.

ers & downpipes is to comply with 3.5.2.0 of the S/NZS 3500.3 - 2003 Amdt 1 & 2, or AS/NZS 2000 Amdt 1 to 4

s & soffit lining is to comply with 3.5.3.4 of the BCA IZS 2908.2 - 2000 or ISO 8336 - 1993E.

ing to wall openings are to comply with 3.5.3.6 of and AS/NZS 2904 - 1995 Amdt 1.

ng assemblies are to comply with clause 3.6.1 of AS 1288- 2006 Amdt 1. & AS2047 - 1999 Amdt 1

ke alarms are to comply with clause 3.7.2.2 of the S 3786 - 1993 Amdt 1 to 4.

moofing of wet areas are to comply with clause the BCA and AS 3740 - 2004

ng heights are to comply with clause 3.8.2.2 of the

al light is to comply with clause 3.8.4.2 of the BCA

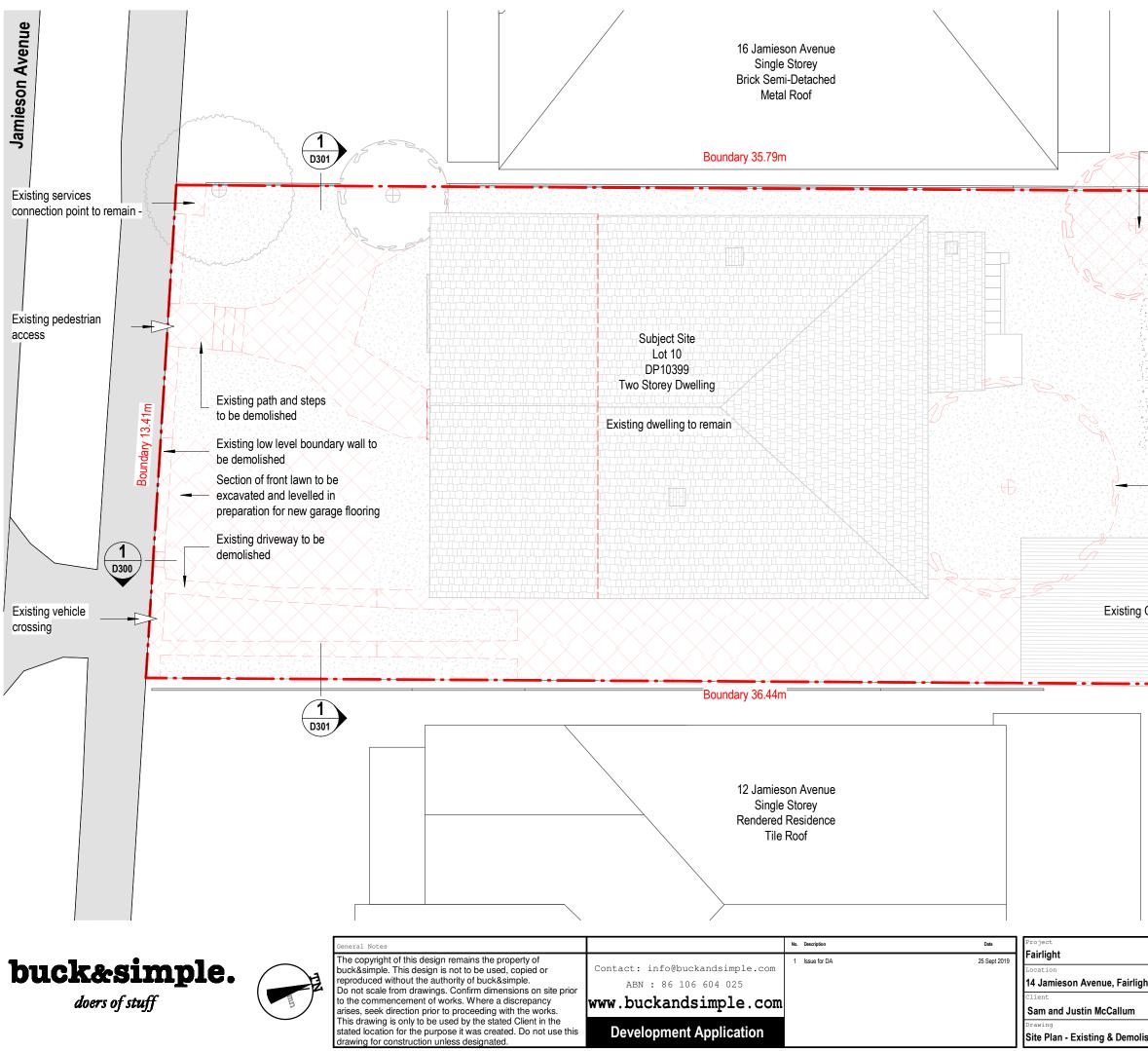
lation of habitable rooms is to comply with clause the BCA

anical ventilation to enclosed bathroo must be in accordance with BCA 3.8.5.2 (c) & AS

noke detection installation and testing: To AS 1670.1 (Fire detection, warning, control and intercom systems

System design, installation, and commissioning - Fire) in accordance with the requirements of the Building Code of Australia. Connect smoke detectors to mains power.

	Scale @ A3 1:100	Drawn by	Checked by
	Project Issue Date	Sheet Issue	Date
nt, NSW 2094	Issue Date	25 \$	Sept 2019
	Project number Draw:	ing #	Revision
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Tree under 5m and on Northern
beaches exempt tree list to be
removed as exempt development

Existing yard to remain

13.39m

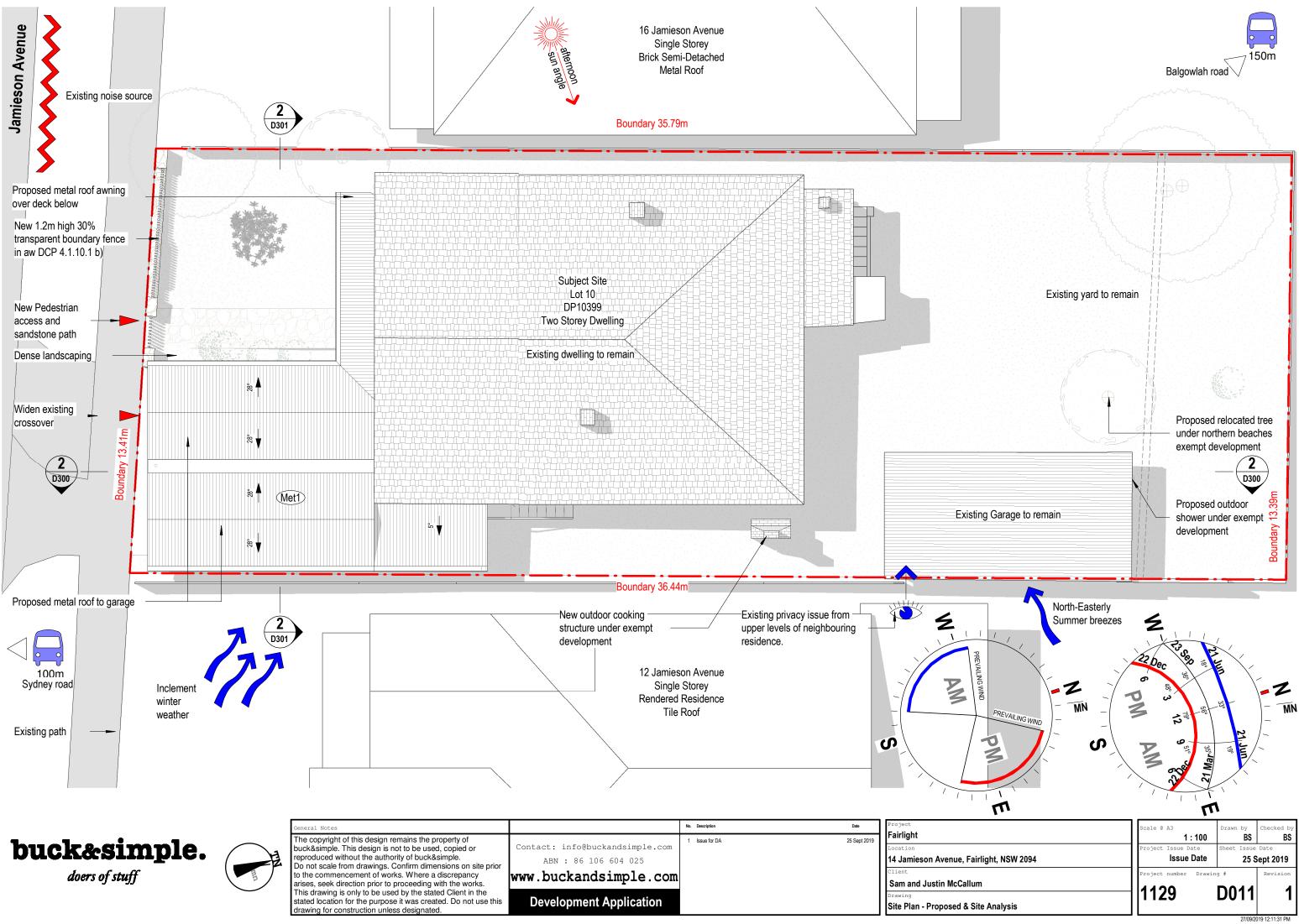
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1 D300

Tree under 5m and on Northern beaches exempt tree list to be relocated as exempt development

Existing Garage to remain

	Project number Dra	awing # D010	Revision
	Project number Drawing #		Revision
t, NSW 2094	Project Issue Date	e 25 S	Date Cept 2019
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	stated location for the purpose it was created. Do not use this drawing for construction unless designated.	Development Application			Site Plan - Proposed & Site Analysis
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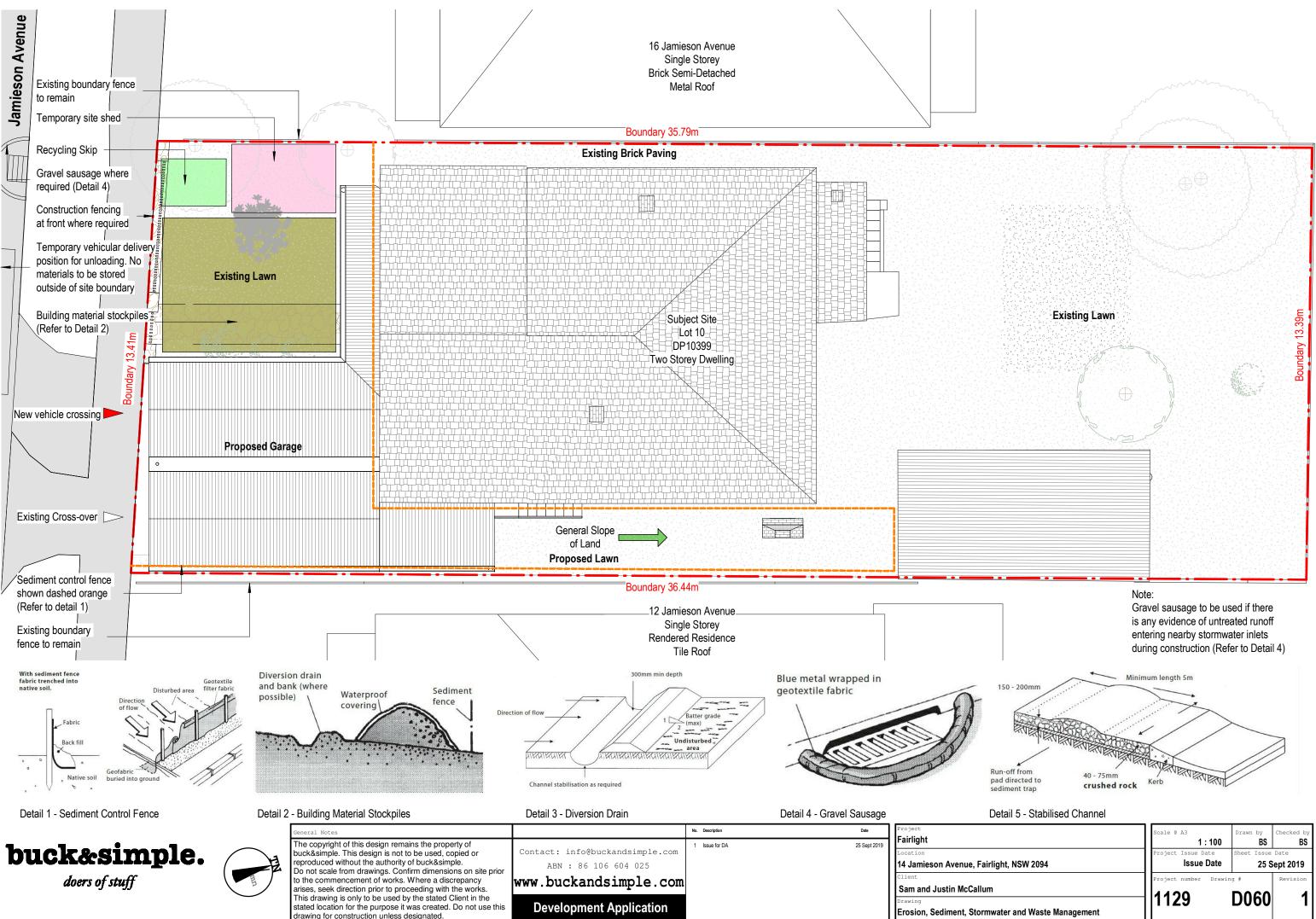
__1_ Compliance Plan

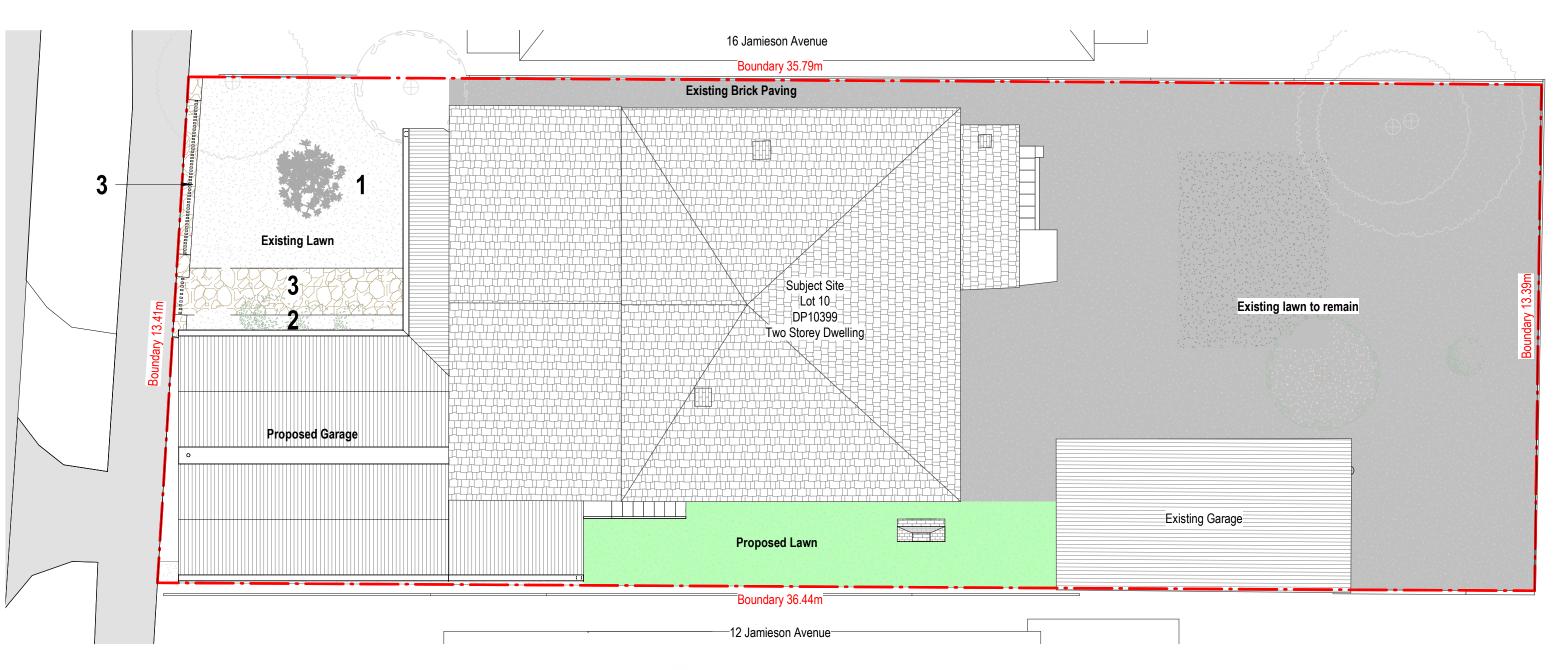
Legend GFA Ground Floor Total

Legend	Calc	ulation	Manly DCP - 4.1.5.1 (a) Total Open Spa	ace	Manly DCP - 4.1.5.1 (a) Landscape	d Area	Manly DCP - 4.1.5.3 (a) Private Op	en Space	Manly LEP - 4.3 Building Height		Manly DCP - 4.1.2.1 Wall Height	
Soft Landscaping	231 m ²	48 %	Minimum total open space for site in 'Area OS3': 55% of site	265m ²	Minimum landscaped area of total open space: 35% of open	93m ²	Minimum area of private open space for a single dwelling:	18m ²	Maximum building height in accordance with Manly LEP		Maximum wall height on land with a site gradient of 1:4 or	8m
Hard Landscaping	55m ²	11 %	Proposed = 286m ² (59%)	YES	space		Proposed = 151m ² (31%)		building map: 8.5m (I)		steeper:	
Site Coverage	197 m ²	41 %	Compliant:		Proposed = 231m ² (81%) Compliant:	YES	Compliant:	YES	Proposed = 4.0m Compliant:	YES	Proposed = 2.4m Compliant:	YES
Site Area	483 m ²	100 %										
Private Open Space	151 m²	13.3 x 13.0m										

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		stated location for the purpose it was created. Do not use this	Development Application			1129	
		drawing for construction unless designated.	Boverepinent Appheation		Compliance Plan		
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Calculation		Manly LEP - 4.4 Floor Space Ratio	
115 m ²		Maximum gross floor area as shown on Manly LEP map: 0.60/1 ('F')	290m ²
115 m ²		Proposed = 115m ² (0.24/1) Compliant:	YES







1) Crepe Mytle Tree

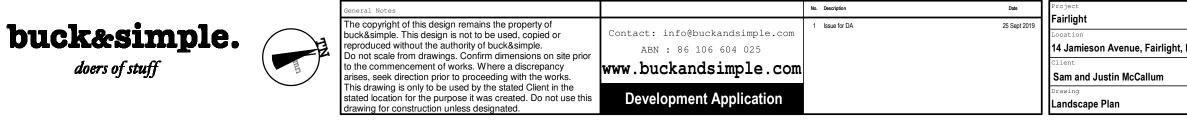
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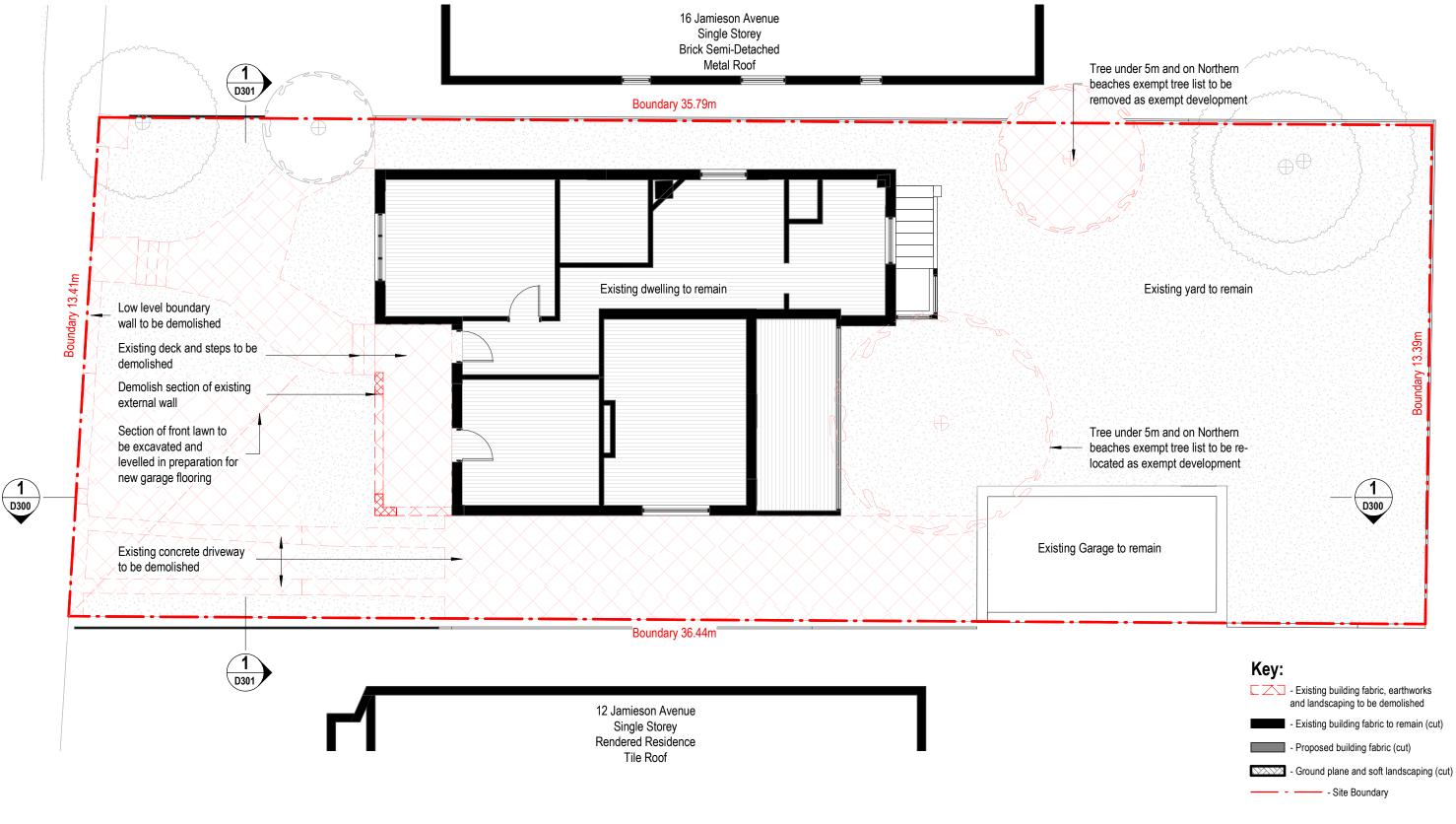
2) Native Grasses



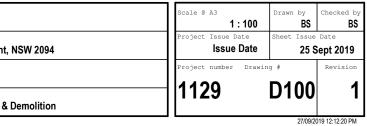
3) Sandstone Wall and Path

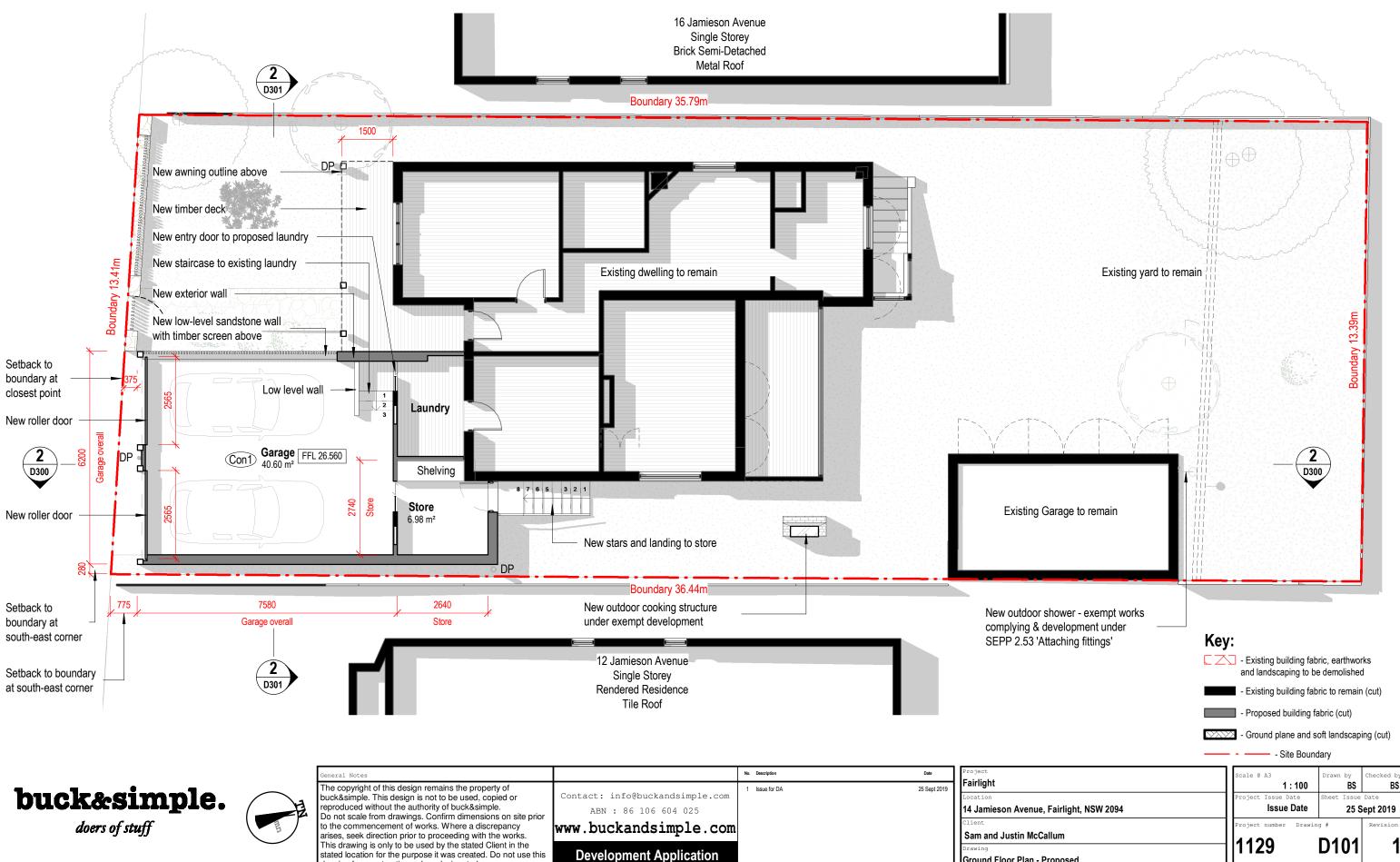


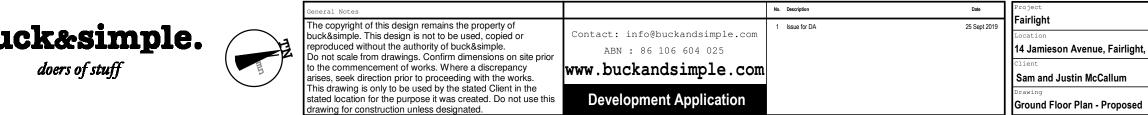
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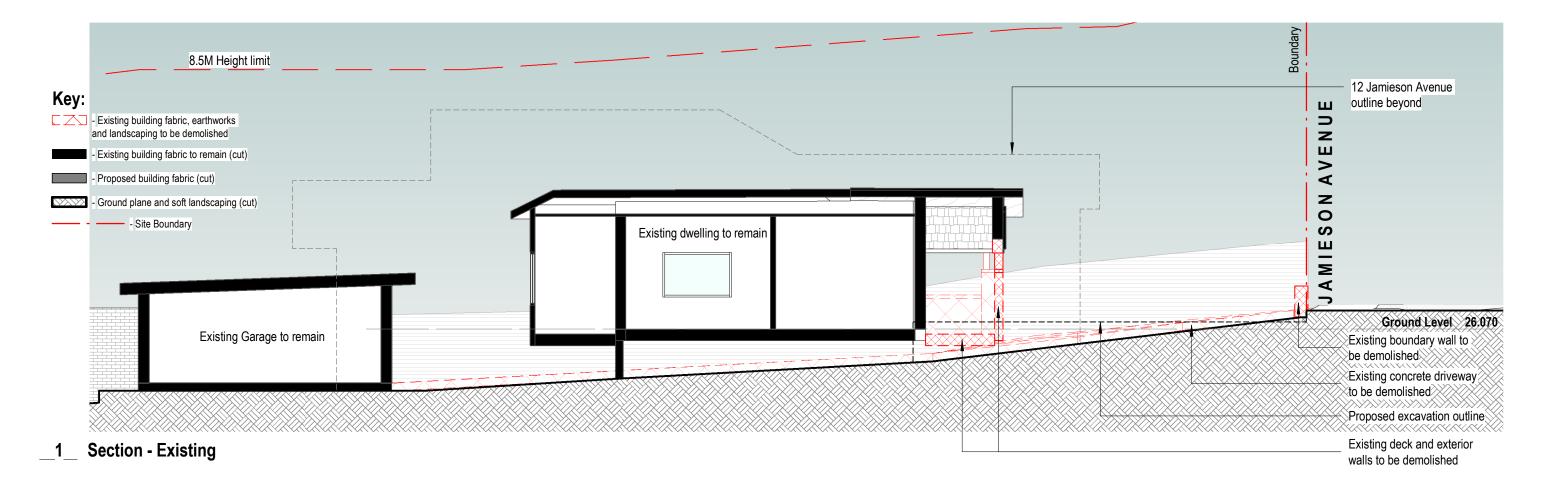


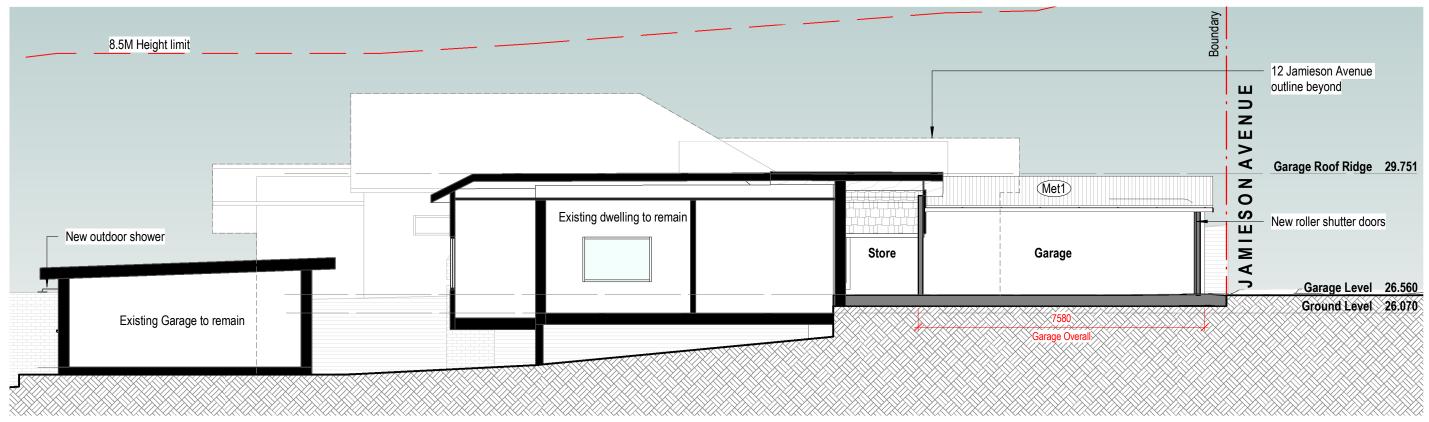
		General Notes		No. Description	Date	Project
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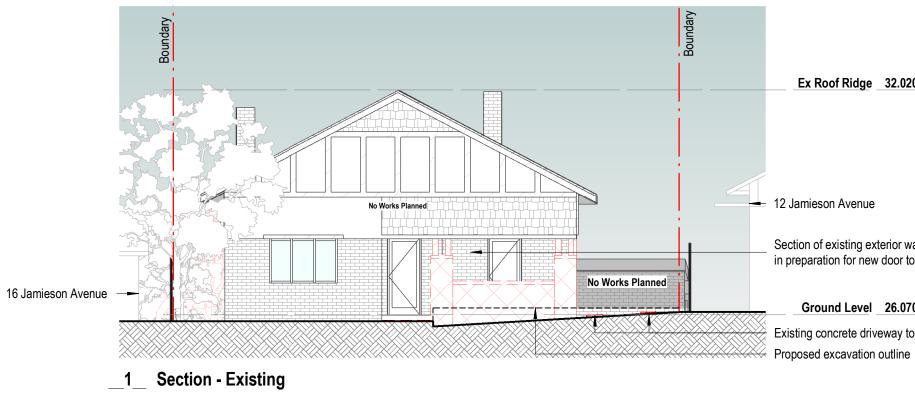


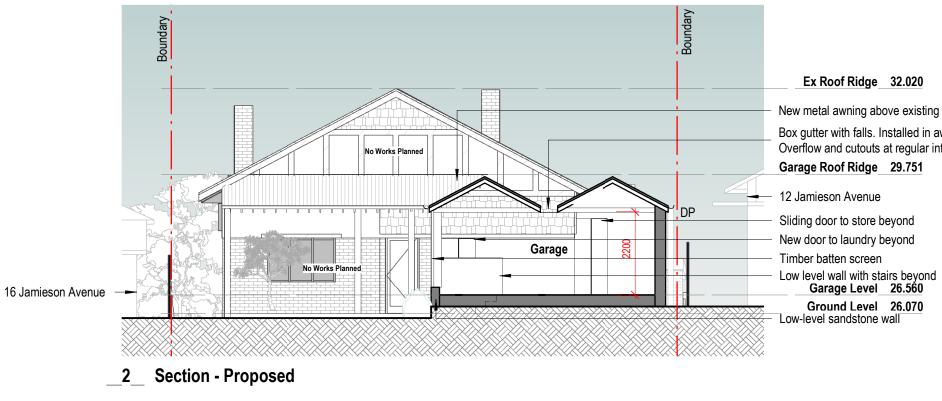


2_ Section - Proposed

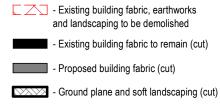


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Key:



- Site Boundary



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2				
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stated location for the purpose it was created. Do not use this drawing for construction unless designated.	Development Application			Sections - Existing, Demolished &
	Development Application			Sections - Existing, Demolished

Ex Roof Ridge 32.020

Section of existing exterior wall to be demolished in preparation for new door to laundry

Ground Level 26.070

Existing concrete driveway to be demolished

Ex Roof Ridge 32.020

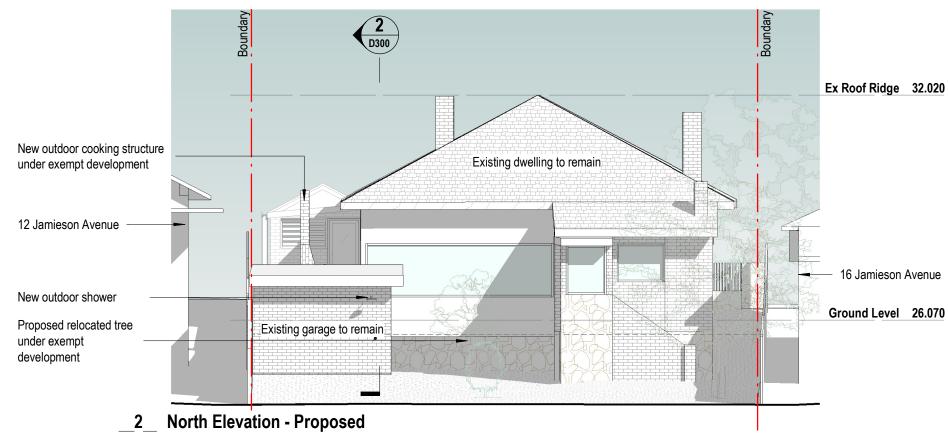
New metal awning above existing deck

Box gutter with falls. Installed in aw BCA 3.5.2.4. Overflow and cutouts at regular intervals as required

		Scale @ A3 1:1	100	Drawn by BS	Checked by	
	1 [Project Issue Dat	e	Sheet Issue Date		
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		Project number Drawing #		g #	Revision	
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North Elevation - Existing 1



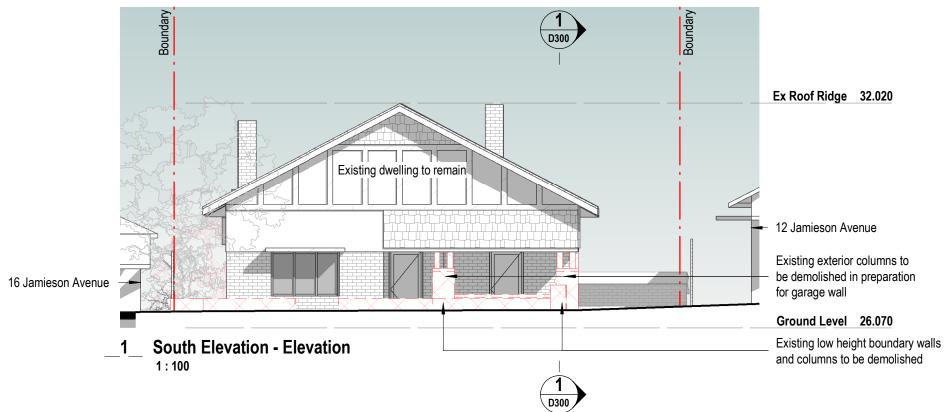
General Notes		No. Description	Date		Scale @ A3	Drawn by	Checked by
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arises, seek direction prior to proceeding with the works.	-			Sam and Justin McCallum	4400		
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drawing for construction unless designated.	Development Application			Elevations - North - Existing, Demolished & Proposed			
aranning for construction among acoughated						27/09/2	2019 12:13:31 PM

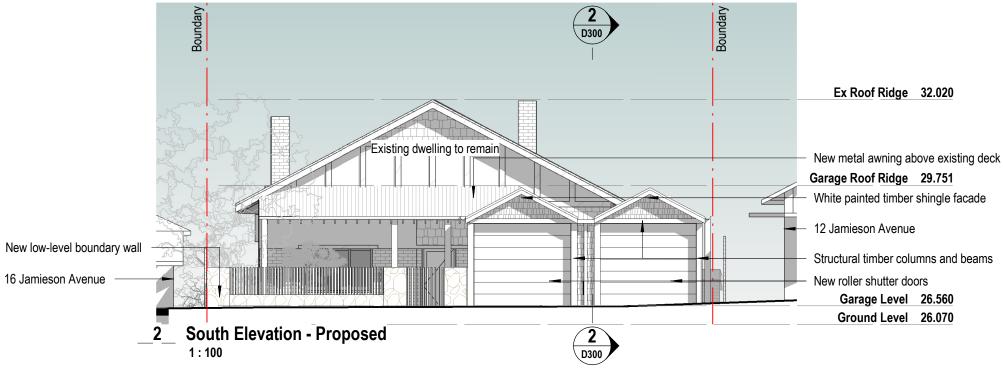
Key: Existing building fabric, earthworks and landscaping to be demolished

- Existing building fabric to remain (cut) - Proposed building fabric (cut) \sim - Ground plane and soft landscaping (cut)

- Site Boundary

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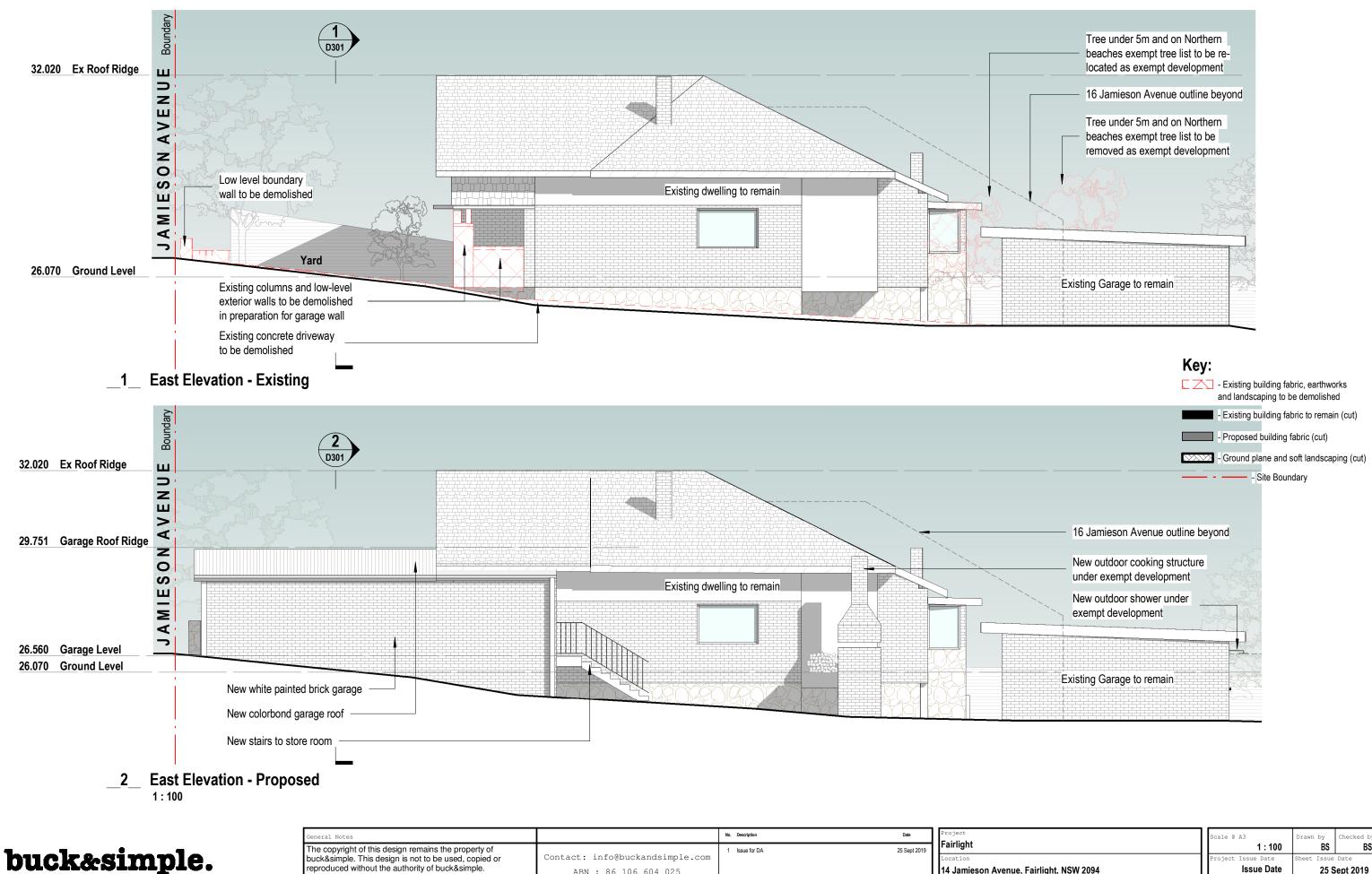


Key:

 $\hfill \square$ - Existing building fabric, earthworks and landscaping to be demolished - Existing building fabric to remain (cut) - Proposed building fabric (cut) - Ground plane and soft landscaping (cut) ∇ - Site Boundary

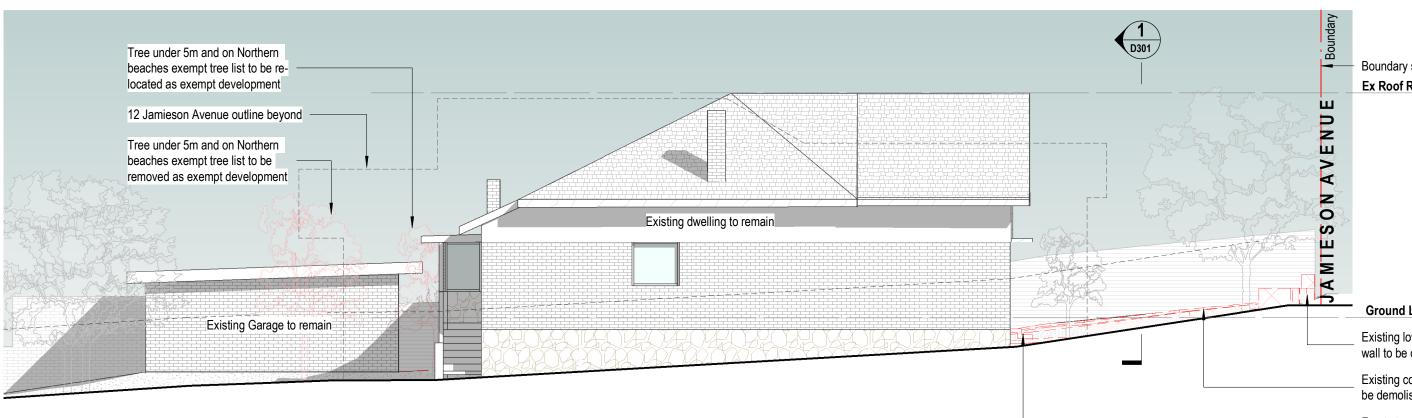


General Notes		No. Description	Date	Project	Scale @ A3	Drawn by Checked by
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This drawing is only to be used by the stated Client in the				Drawing	⊣ 1129	D401 1
stated location for the purpose it was created. Do not use this drawing for construction unless designated.	Development Application			Elevations - South - Existing, Demolished & Proposed		



	No. Description	Date	Project
	1 Issue for DA	25 Sept 2019	Fairlight
Contact: info@buckandsimple.com			Location
ABN : 86 106 604 025			14 Jamieson Avenue, Fairlight, NS
			Client
www.buckandsimple.com			Sam and Justin McCallum
Development Anglis stime			Drawing
Development Application			Elevations - East - Existing, Demo
		Contact: info@buckandsimple.com ABN : 86 106 604 025 www.buckandsimple.com	Contact: info@buckandsimple.com 1 Issue for DA 25 Sept 2019 WWW.buckandsimple.com 1 Development Application

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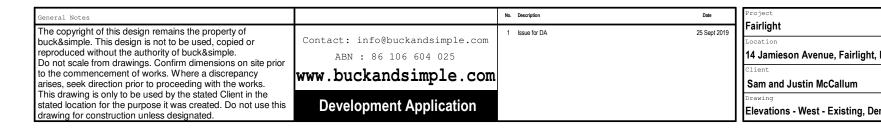


1 West Elevation - Existing

2 West Elevation - Proposed

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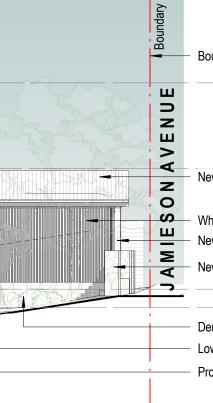
Boundary shown at Eastern corner **Ex Roof Ridge** 32.020

Ground Level 26.070

Existing low-level boundary wall to be demolished

Existing concrete driveway to be demolished

Front steps to be demolished



Boundary shown at Eastern corner **Ex Roof Ridge** 32.020

Garage Roof Ridge 29.751 New colourbond garage roof

White painted timber screen New roller shutter door

 New low-level boundary wall

 Garage Level
 26.560

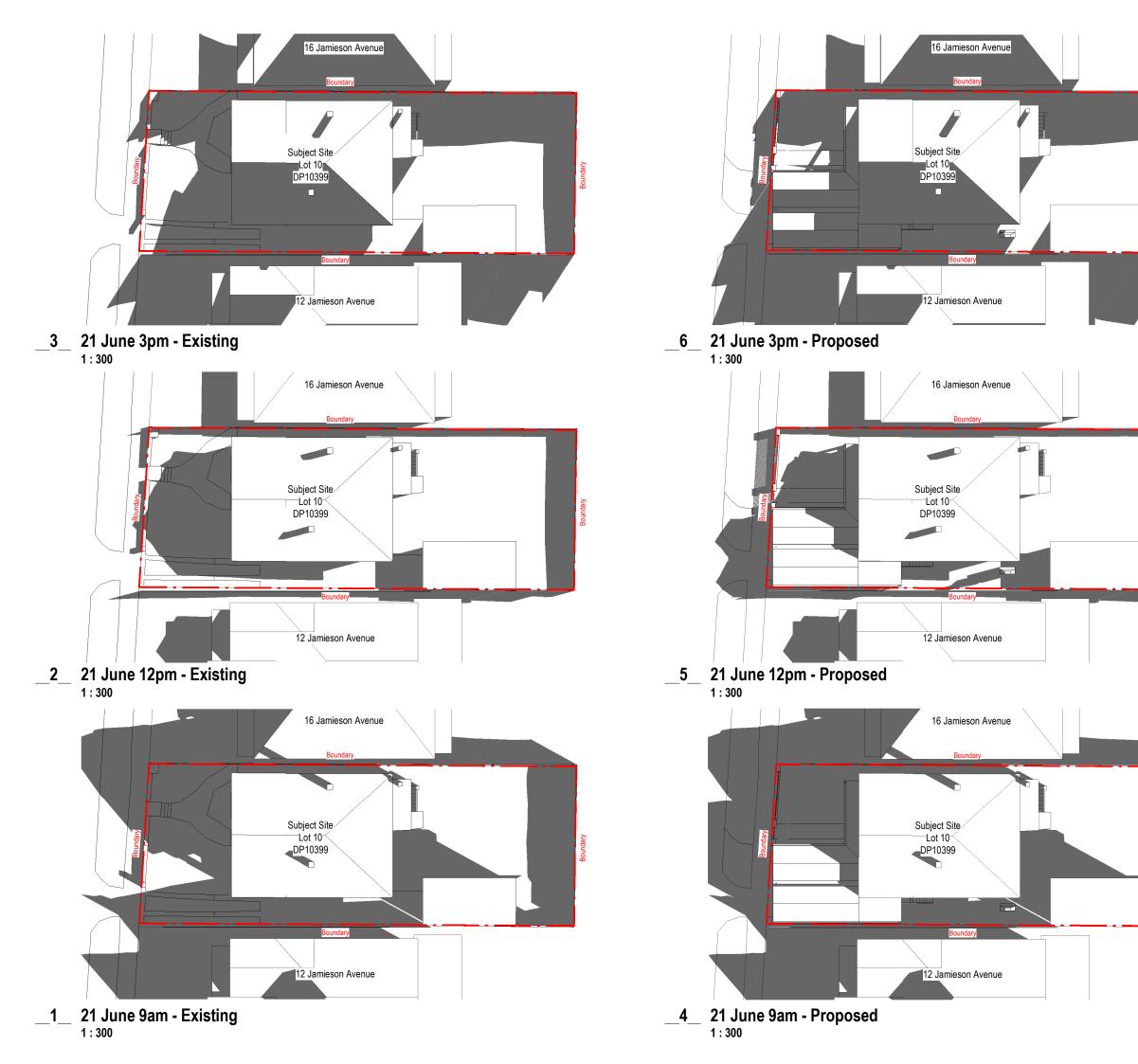
 Ground Level
 26.070

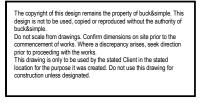
Dense landscaping

Low-level sandstone wall

Proposed timber deck

Demolished & Proposed	1129	D403			
	1129	D102	1		
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ht, NSW 2094	Issue Date	25 8	Sept 2019		
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No. Description

1 Issue for DA

Date 25 Sept 2019







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Development Application

Fairlight

14 Jamieson Avenue, Fairlight, NSW 2094

Sam and Justin McCallum

Shadow Diagrams

by BS 1:300 BS Issue Date Revisior Drawing # ject 1129 D900 1 27/09/2019 12:14:27 PM

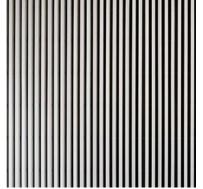




Sandstone clad low height wall to match existing sandstone



Shale Grey rain water goods exposed flashing, gutters, downpipes and garage doors



White painted timber detailing including posts and screens

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White painted hardwood timber shingles