

DEVELOPMENT APPLICATION

NORTHERN BEACHES COUNCIL

24 OLIVER STREET, FRESHWATER NSW 2096



DRAWING LIST

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SITE DETAILS

ADDRESS:	24 OLIVER STREET, FRESHWATER NSW 2096
PROPERTY:	LOT 5 & 6 DP 1636
SITE AREA:	LOT 5 - 268.1m² LOT 6 - 268.1m²

COMPLIANCE TABLE	
24 OLIVER STREET, FRESHWATER NSW 2096 [LOT 5 & 6 DP 1636] ZONE: R2 - LOW DENSITY RESIDENTIAL LOT AREA: LOT 5 - 268.1m² LOT 6 - 268.1m²	
CONTROL	PROPOSED

LOT 5		
HEIGHT OF BUILDINGS	MAX. 8.5M	COMPLIES - REFER ELEVATIONS
FLOOR SPACE RATIO	MAX. 0.5 : 1	0.681 : 1
GROSS FLOOR AREA	MAX. 134.05 m²	182.55 m²
LANDSCAPED OPEN SPACE	MIN. 40% (107.24 m²)	26.47% (70.96 m²)
PRIVATE OPEN SPACE	MIN. 24 m² PER DWELLING	24 m² PER DWELLING
LOT 6		
HEIGHT OF BUILDINGS	MAX. 8.5M	COMPLIES - REFER ELEVATIONS
FLOOR SPACE RATIO	MAX. 0.5 : 1	0.681 : 1
GROSS FLOOR AREA	MAX. 134.05 m²	182.55 m²
LANDSCAPED OPEN SPACE	MIN. 40% (107.24 m²)	26.47% (70.96 m²)
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NOTES	1. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS.	REVISIONS	DESCRIPTION	DATE	ISSUE	LEGEND
	2. VERIFY ALL DIMENSIONS ON-SITE AND RESOLVE ANY DISCREPANCIES PRIOR TO COMMENCING WORKS.		DEVELOPMENT APPLICATION	15.10.24	1	
	3. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT SPECIFICATIONS & DRAWINGS.		DEVELOPMENT APPLICATION	28.10.24	2	
	4. DOCUMENTS AND DESIGN REMAIN THE COPYRIGHT OF THE BUILDING DESIGNER AND MUST NOT BE USED REPRODUCED WITHOUT WRITTEN PERMISSION.		DEVELOPMENT APPLICATION	29.10.24	3	
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			DEVELOPMENT APPLICATION	31.10.24	5	
			DEVELOPMENT APPLICATION	12.11.24	6	
			DEVELOPMENT APPLICATION	13.11.24	7	

PROJECTDRAWING

COVER PAGE

24 OLIVER STREET, FRESHWATER NSW 2096
MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

SCALE

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DATE

13 / 11 / 24

ISSUE

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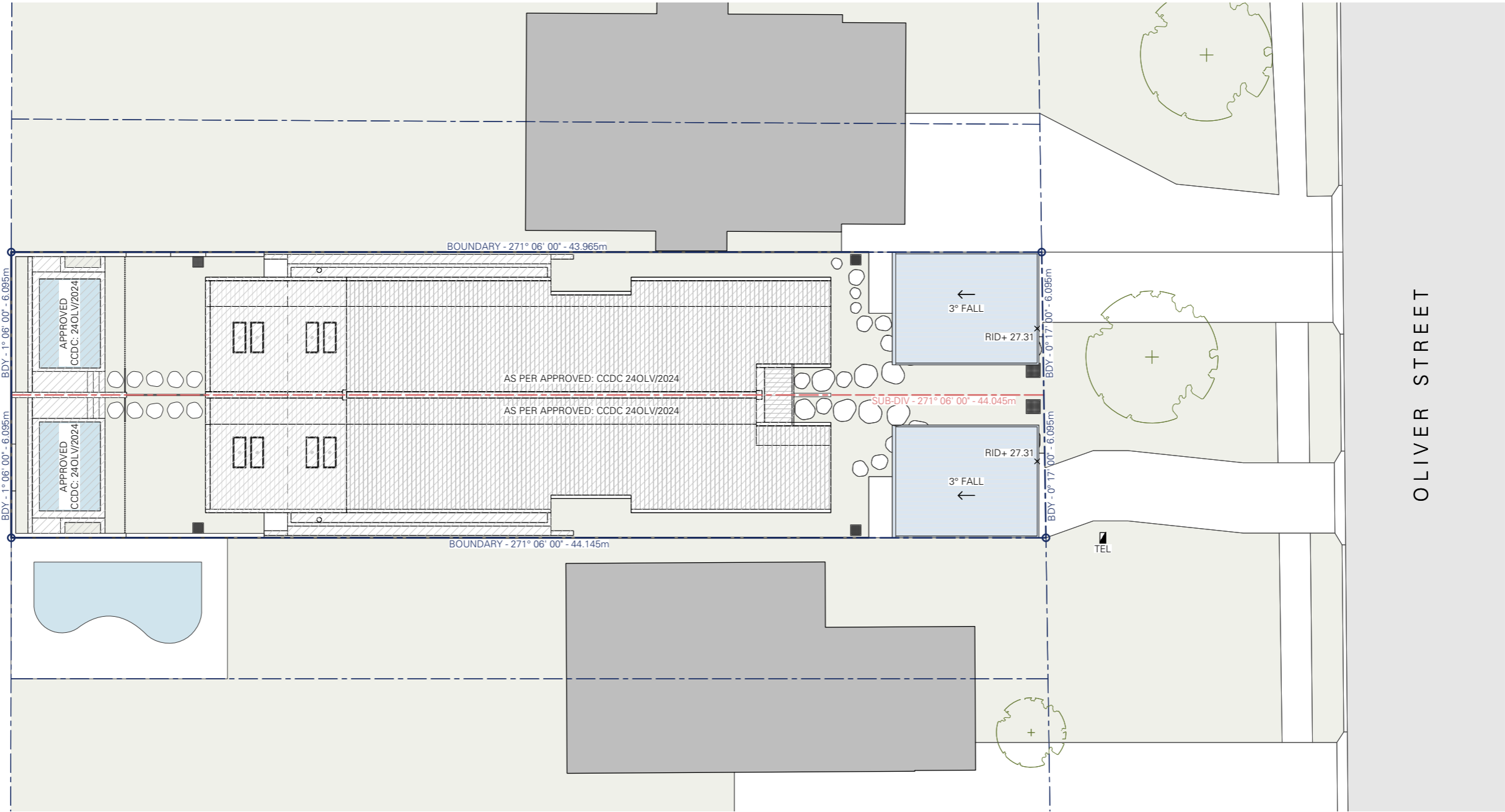
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- NOTES
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- LEGEND
- BOUNDARY
 - SUB-DIVISION
 - PROPOSED



PROJECT DRAWING

SITE PLAN

24 OLIVER STREET, FRESHWATER NSW 2096
MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

SCALE SHEET NO. 1.1

1 : 200

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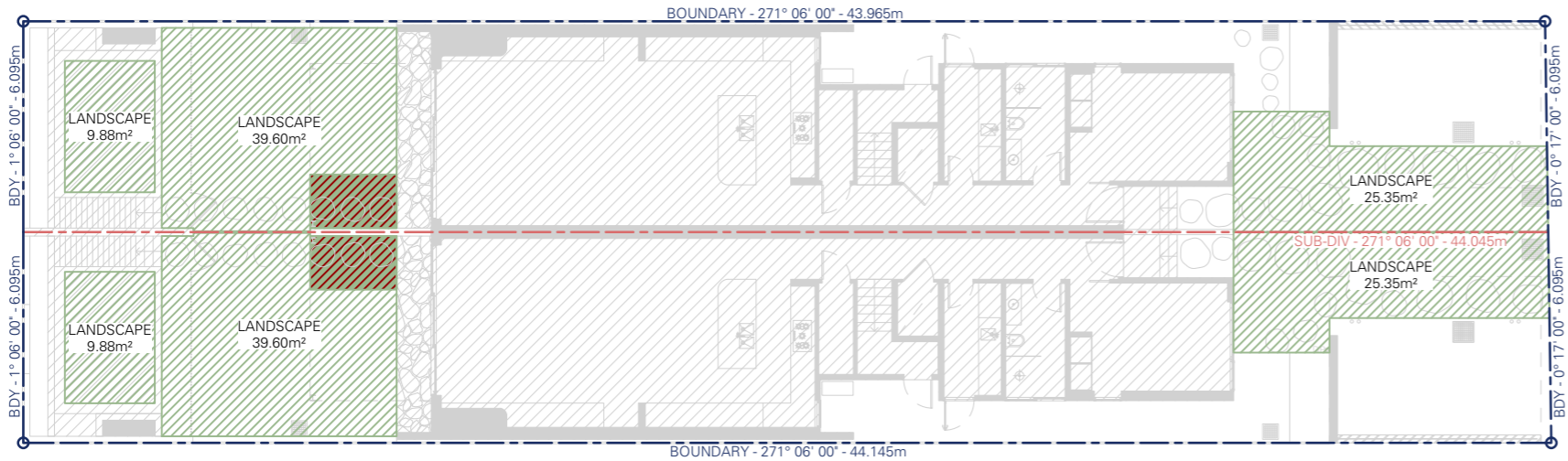
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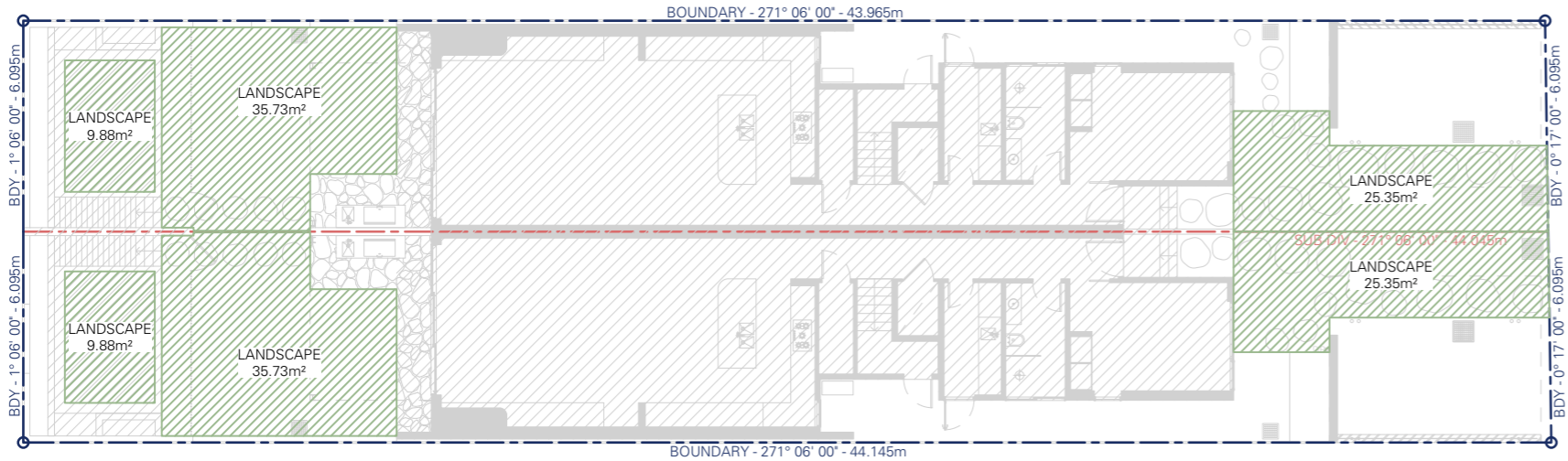


EXISTING LANDSCAPE AREA - LOT 5
74.83m² (27.9%)

EXISTING LANDSCAPE AREA - LOT 6
74.83m² (27.9%)

EXISTING LANDSCAPE

SCALE 1 : 200



PROPOSED LANDSCAPE AREA - LOT 5
70.96m² (26.46%)

PROPOSED LANDSCAPE AREA - LOT 6
70.96m² (26.46%)

PROPOSED LANDSCAPE

SCALE 1 : 200

COMPLIANCE TABLE		
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LEGEND

- BOUNDARY
- SUB-DIVISION
- PROPOSED



PROJECT DRAWING

AREA CALCULATIONS

24 OLIVER STREET, FRESHWATER NSW 2096
MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

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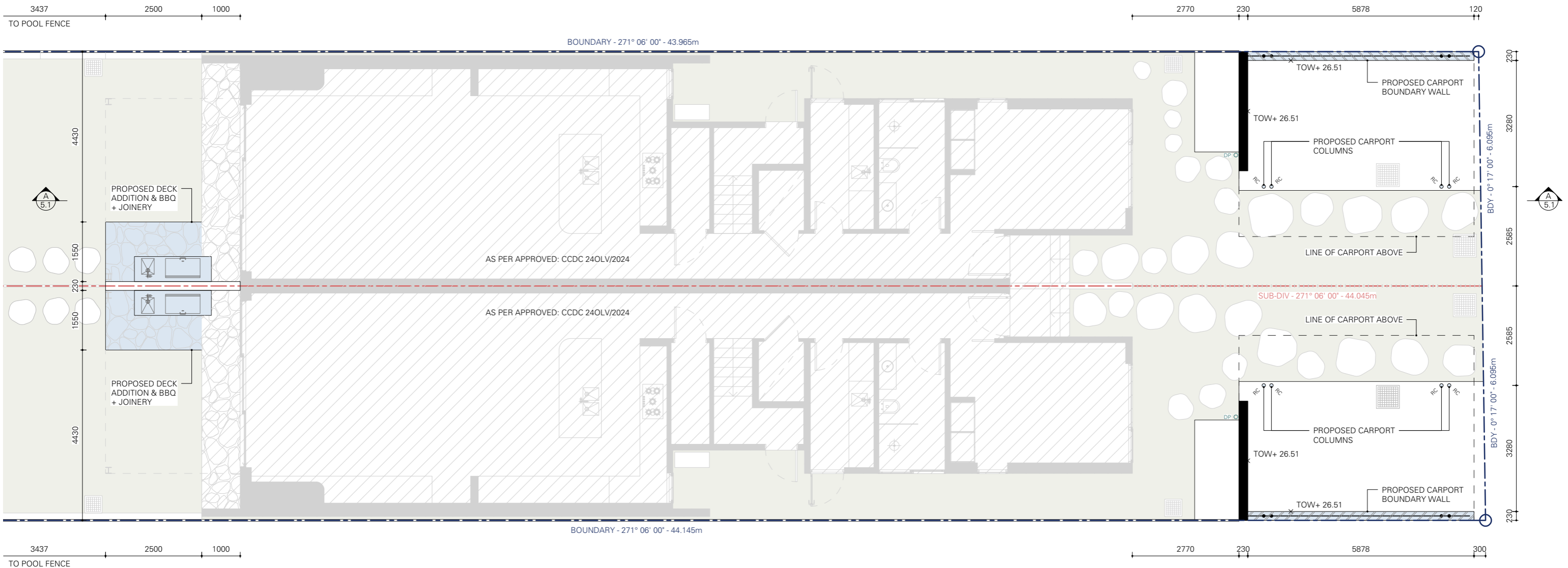
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PROJECT DRAWING

GROUND FLOOR PLAN

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SCALE SHEET NO. 3.1

DATE 13 / 11 / 24
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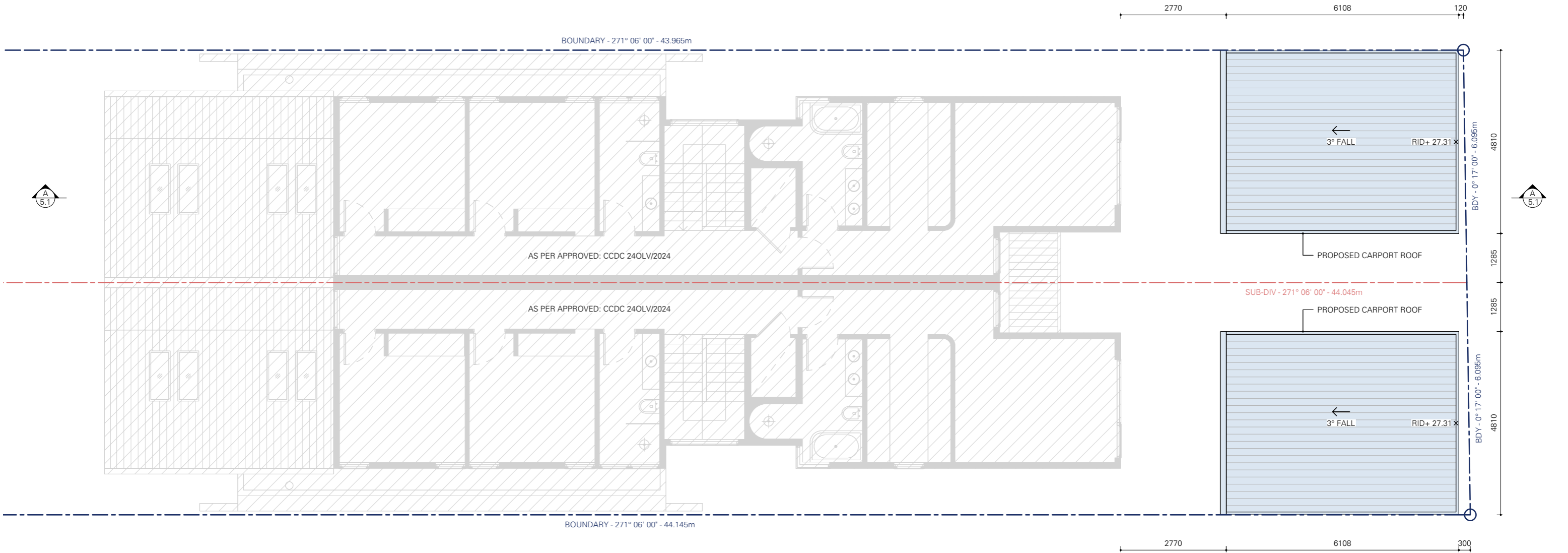
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PROJECT DRAWING

FIRST FLOOR PLAN

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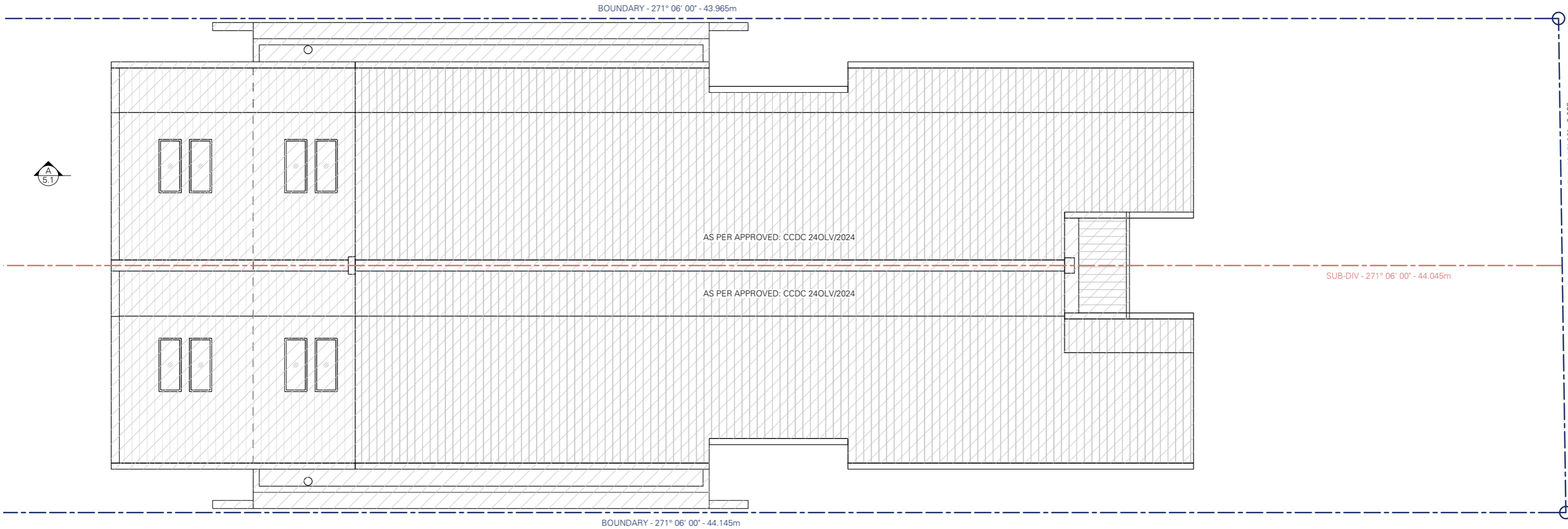
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PROJECT DRAWING

ROOF PLAN

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MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

SCALE SHEET NO. 3.3

DATE 13 / 11 / 24
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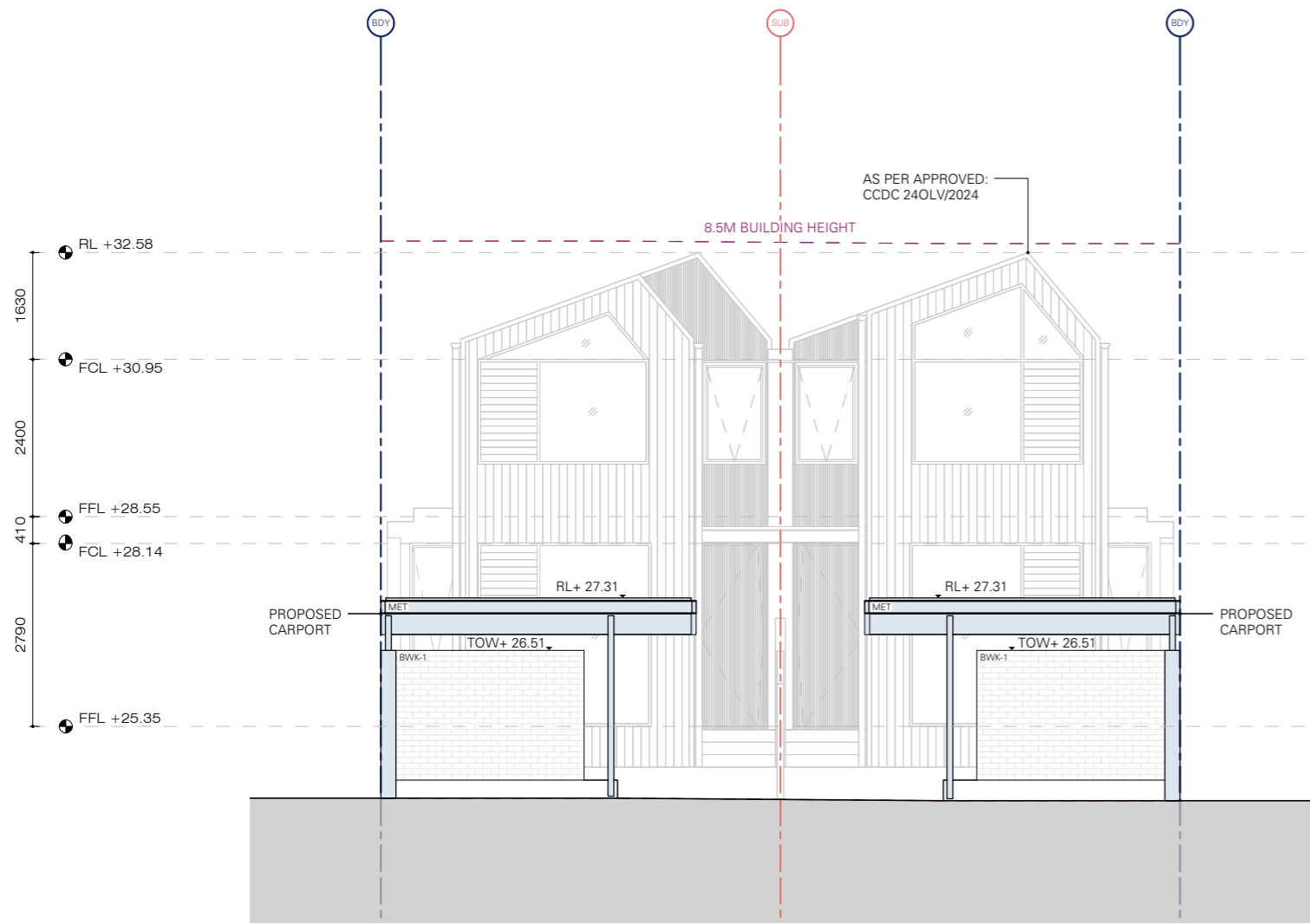
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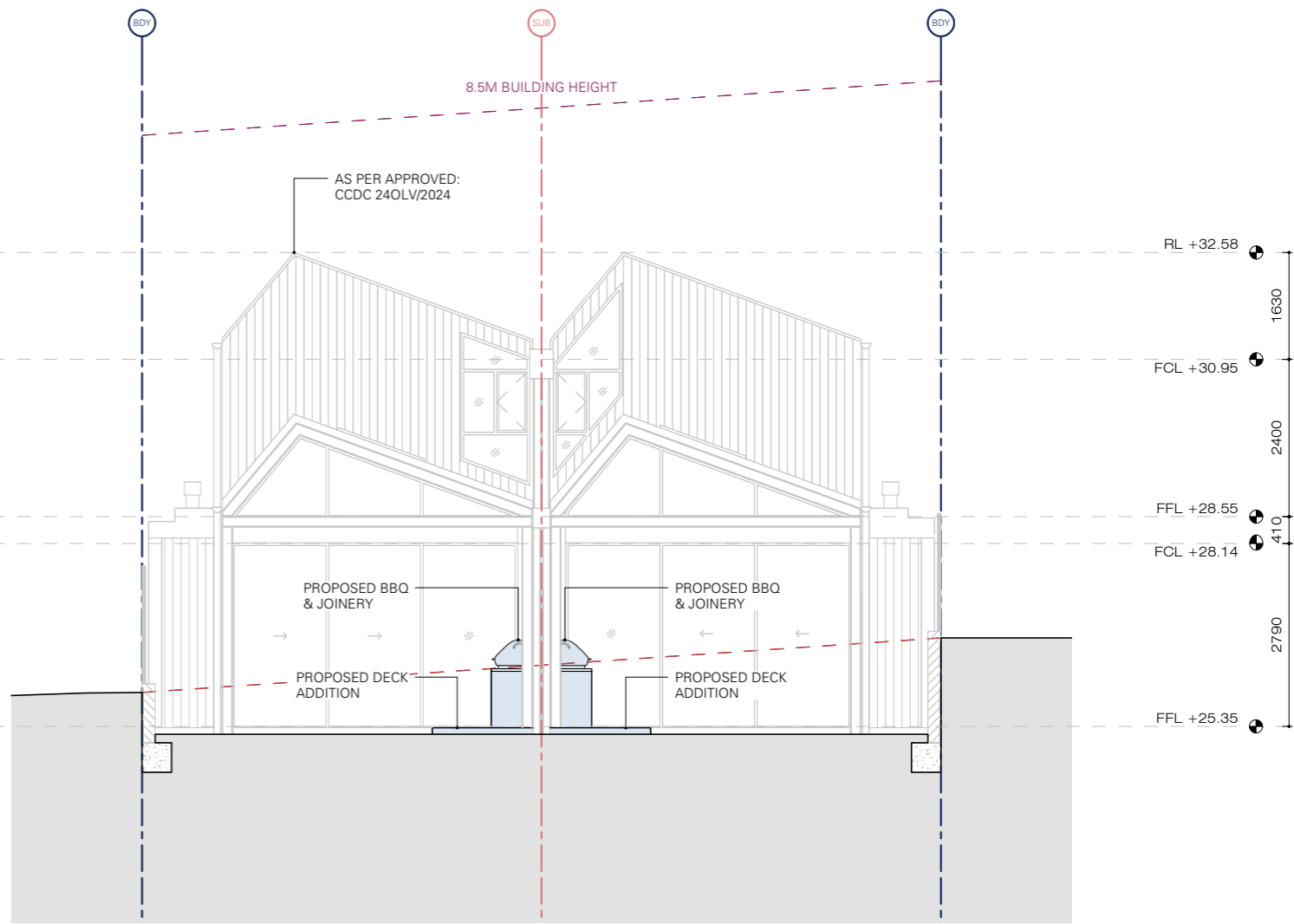
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EAST ELEVATION
SCALE 1 : 100



WEST ELEVATION
SCALE 1 : 100

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LEGEND	
BOUNDARY	
SUB-DIVISION	
EX. GROUND LINE	
8.5M BUILDING HEIGHT	
PROPOSED	

BWK1 - HIT & MISS BRICKWORK
MET - METAL BEAM

ELEVATIONS

24 OLIVER STREET, FRESHWATER NSW 2096
MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

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SOUTH ELEVATION

SCALE 1 : 100



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- LEGEND
- BOUNDARY
 - SUB-DIVISION
 - EX. GROUND LINE
 - 8.5M BUILDING HEIGHT
 - PROPOSED

BWK1 - HIT & MISS BRICKWORK
MET - METAL BEAM

ELEVATIONS

24 OLIVER STREET, FRESHWATER NSW 2096
MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

4.2

1 : 100



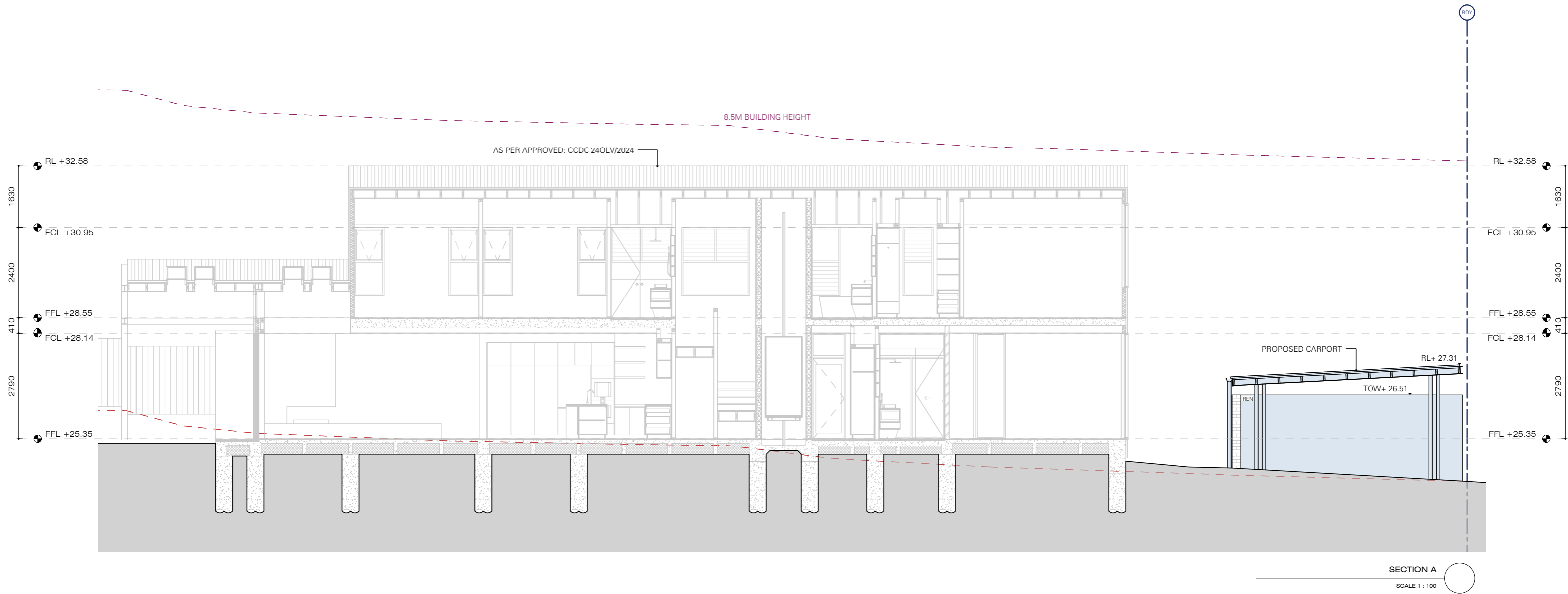
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SECTION A

SCALE 1 : 100

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- LEGEND
- BOUNDARY
 - SUB-DIVISION
 - EX. GROUND LINE
 - 8.5M BUILDING HEIGHT
 - PROPOSED

SECTIONS

24 OLIVER STREET, FRESHWATER NSW 2096
MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

SCALE SHEET NO. 5.1

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EAST ELEVATION
SCALE 1 : 100



SOFFIT CLADDING



BRICKWORK



SHALE GREY RENDER



GUTTERS, FLASHINGS & DOWNPIPES



SOUTH ELEVATION
SCALE 1 : 100

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LEGEND

PROJECT DRAWING

MATERIALS SCHEDULE

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MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

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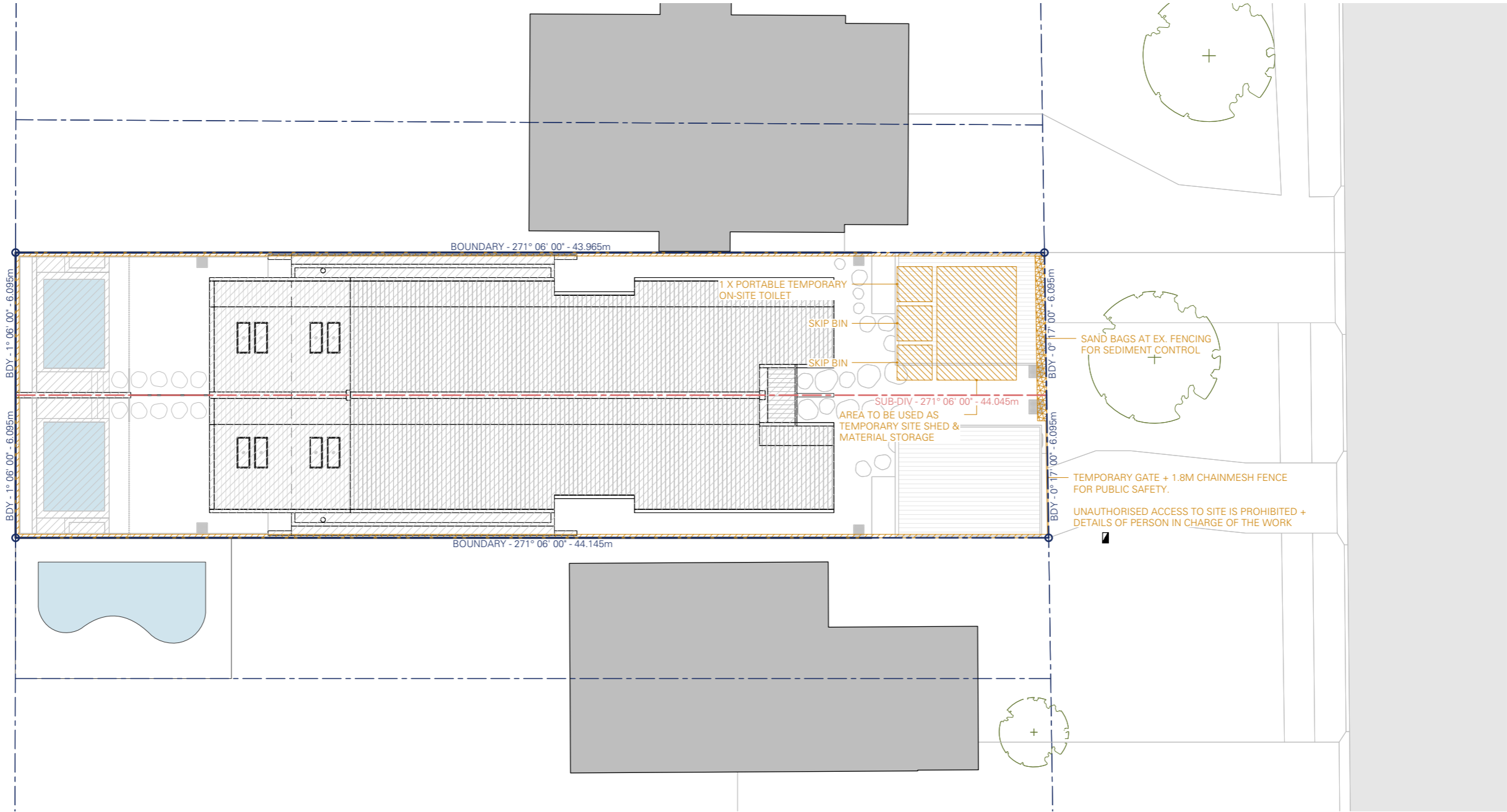
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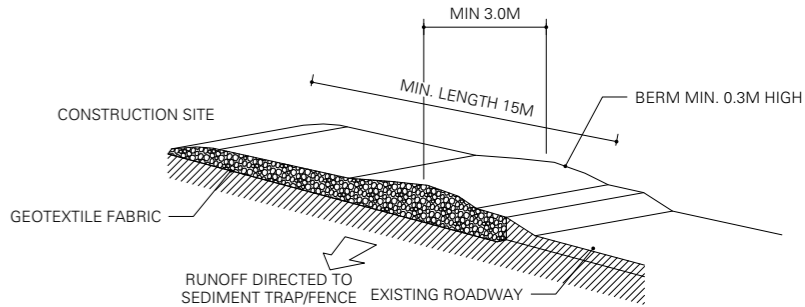
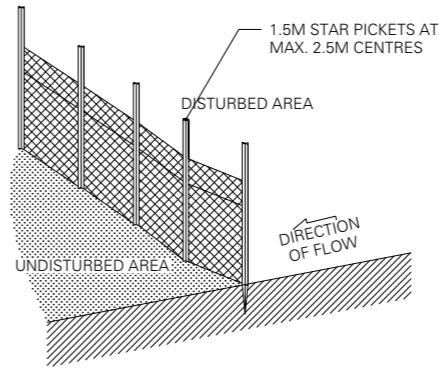
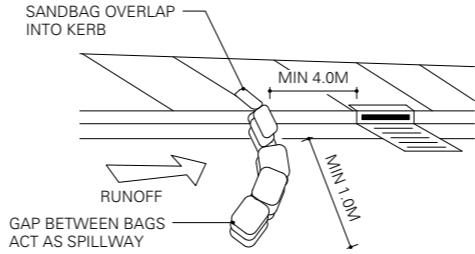
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SEDIMENT CONTROL NOTES

- 1. All erosion and sedimentation control measures, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of NSW.
- 2. All drainage works shall be constructed and stabilized as early as possible during development.
- 3. Sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
- 4. All sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of soil materials, including the maintenance period.
- 5. All disturbed areas shall be revegetated as soon as the relevant works are completed.
- 6. Soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.
- 7. Filter shall be constructed by stretching a filter fabric (propex) or approved equivalent between post at 3.0m centres, fabric shall be buried 150mm along its lower edge.



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LEGEND

PROJECT DRAWING

WASTE & SEDIMENT CONTROL PLAN

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MD LIVING RESIDENTIAL | LOT 5 & 6 | DP 1636

SCALE SHEET NO. 7.1

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PHOTO MONTAGE

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