

# **STATEMENT OF ENVIRONMENTAL EFFECTS**

**PROJECT**  
**SECTION 4.55(1A)**  
**PROPOSED MODIFICATIONS ON**  
**APPROVED DA2020/0864**  
**FOR CHANGE OF FFL OF THE CARPORT**  
**AND THE MATERIAL OF ALFRESCO AREA**  
**FOR THE APPROVED SECONDARY DWELLING**

**PROPERTY**  
**15 PRINCES PROMENADE**  
**SEAFORTH NSW 2092**

**CLIENT**  
**SARAH MASON**

**JOB NO**  
**20-15**

**DATED**  
**28 October 2020**

Suite 6, 7 Parkes Street,  
Parramatta 2150 NSW  
[www.rkdesigns.com.au](http://www.rkdesigns.com.au)  
[admin@rkdesigns.com.au](mailto:admin@rkdesigns.com.au)  
02 9633 4797

The logo for RK DESIGNS is located in the bottom right corner. It consists of a solid yellow square. Inside the square, the letters "RK" are written in a large, white, bold, sans-serif font. Below "RK", the word "DESIGNS" is written in a smaller, white, bold, sans-serif font.

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## **1.0 INTRODUCTION**

The application is prepared for Northern Beaches council to seek an approval for the section 4.55(1a) of the approved DA2020/0864. (Refer to architectural drawings). The site is located at 15 Princes Promenade, Seaforth. The subject site is in R2 Low Density Residential zone under the Manly Local Environment Plan 2013. The purpose of the report is to describe a minor change of the approved DA2020/0864.

## **2.0 THE SITE AND EXISTING BUILDING AND PROPOSED USE**

The requirements of the Northern Beaches Council, Manly Local Environmental Plan 2013 and the subject proposal's compliance with the Local Environmental Plans are outlined as follows.

Manly Local Environmental Plan 2013

### **Zone R2 Low Density Residential**

#### **1 Objectives of zone:**

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

#### **2 Permitted without consent**

Home-based child care; Home occupations

#### **3 Permitted with consent**

Attached dwellings; Bed and breakfast accommodation; Boarding houses; Boat launching ramps; Boat sheds; Centre-based child care facilities; Community facilities; Dual occupancies; Dwelling houses; Emergency services facilities; Environmental protection works; Flood mitigation works; Group homes; Health consulting rooms; Home businesses; Home industries; Hostels; Information and education facilities; Jetties; Multi dwelling housing; Neighbourhood shops; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Recreation facilities (indoor); Respite day care centres; Roads; **Secondary dwellings**; Semi-detached dwellings; Shop top housing; Signage; Tank-based aquaculture; Water recreation structures; Water recycling facilities; Water supply systems

#### **4 Prohibited**

Advertising structures; Water treatment facilities; Any other development not specified in item 2 or 3

Therefore, the development is permitted with consent.

### 3.0 THE PROPOSAL

The proposal seeks for an approval for section 4.55(1a) on a minor change for the approved DA 2020/0864.

- The approved DA condition 9 states the proposal to address Australian/New Zealand Standard AS/NZS 2890.1:2004 with the elevated parking area. To satisfy the compliance, car barriers and wheel stops will have to be added to the carport which is not desirable outcome for the applicant. The FFL of the carport area is lowered by 300mm to avoid installation of the car barriers. The adjusted FFL is RL63.97 and still works with the existing topography with minor excavation. Refer to image 1 and 2.

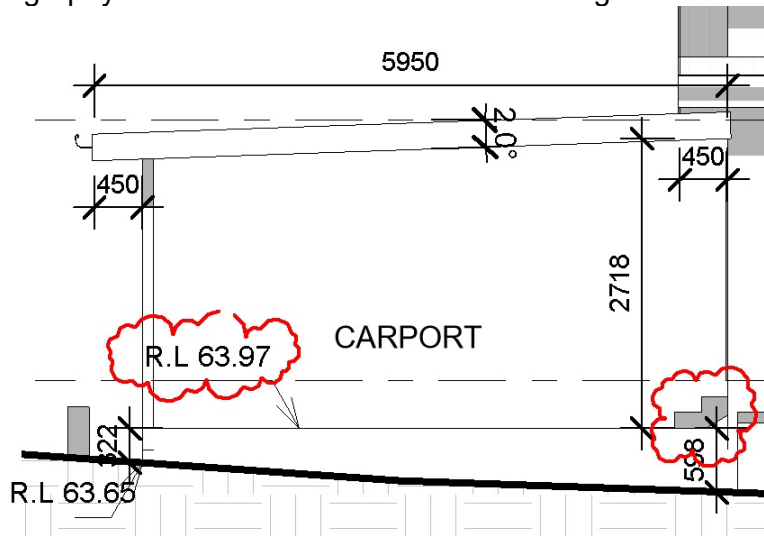


Image 1. North East elevation

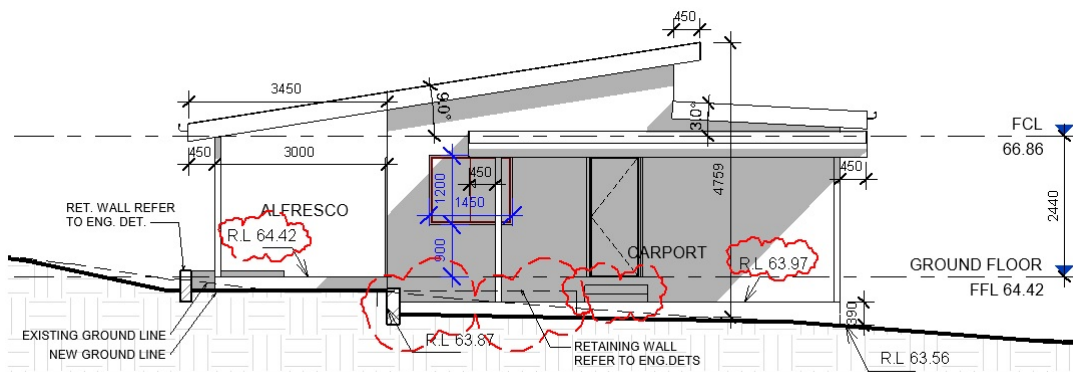


Image 2. South East elevation

- Additional retaining wall and two steps to the secondary dwelling are added for lower FFL for the carport. The retaining wall requires a minor excavation. Refer to image 3 and 4.

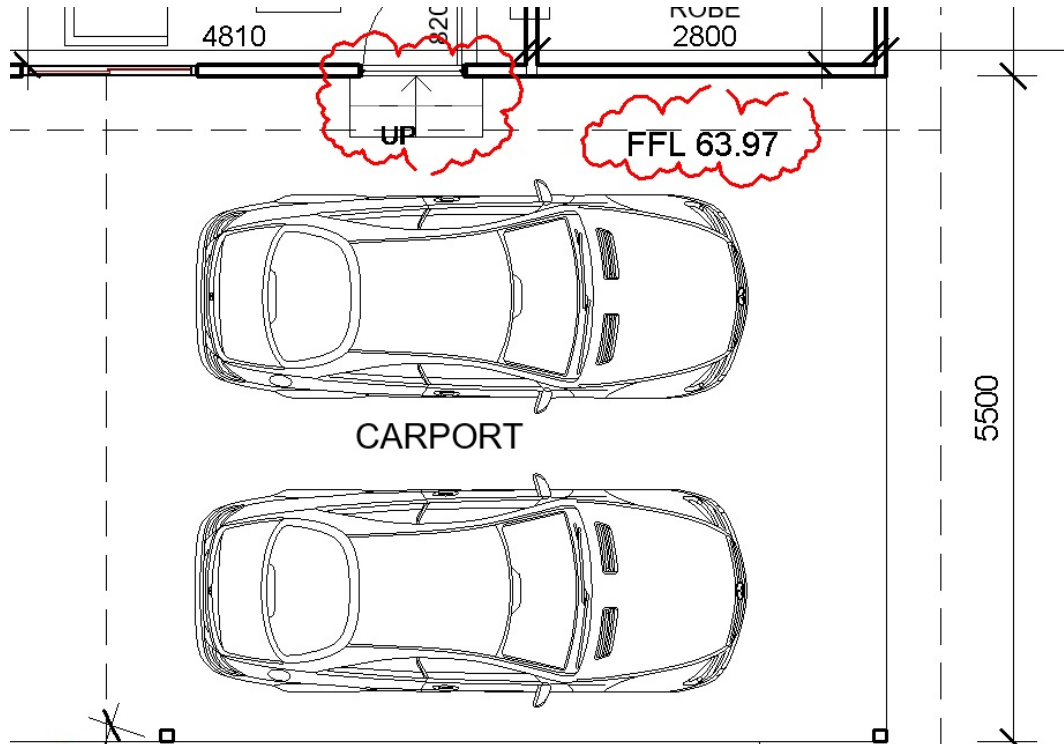


Image 3. Additional Steps for the secondary dwelling

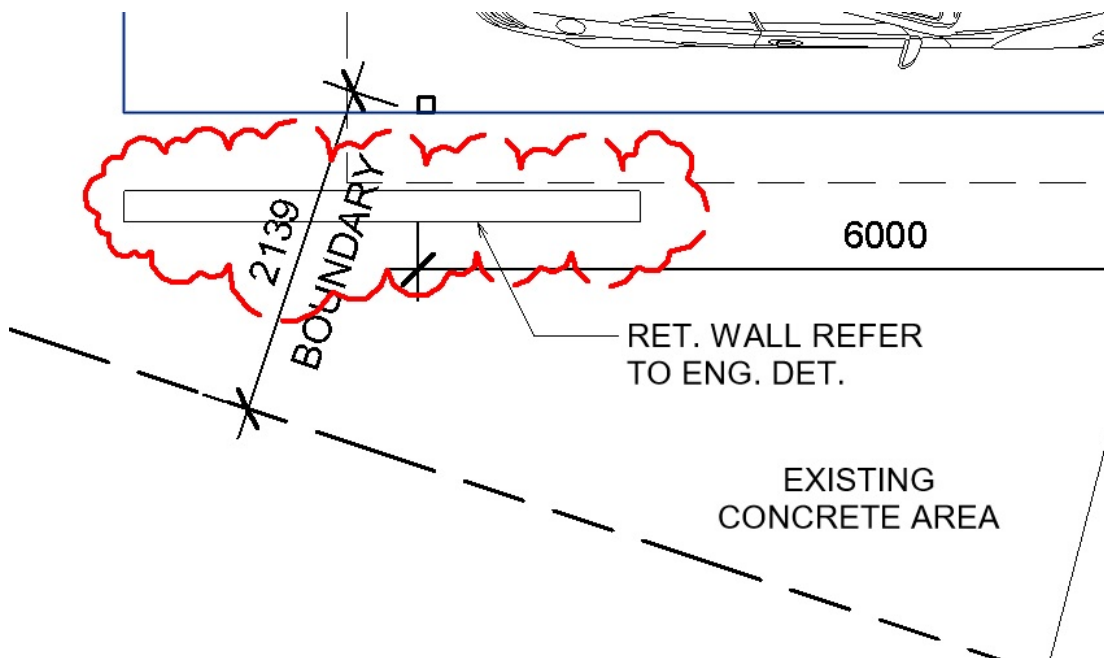


Image 4. Additional Retaining wall

spaces designed for life

- Additional concrete area for the driveway in front of the carport. The applicant will retain the major area of the existing driveway, however, an additional area is proposed for user convenience. Refer to image 5.

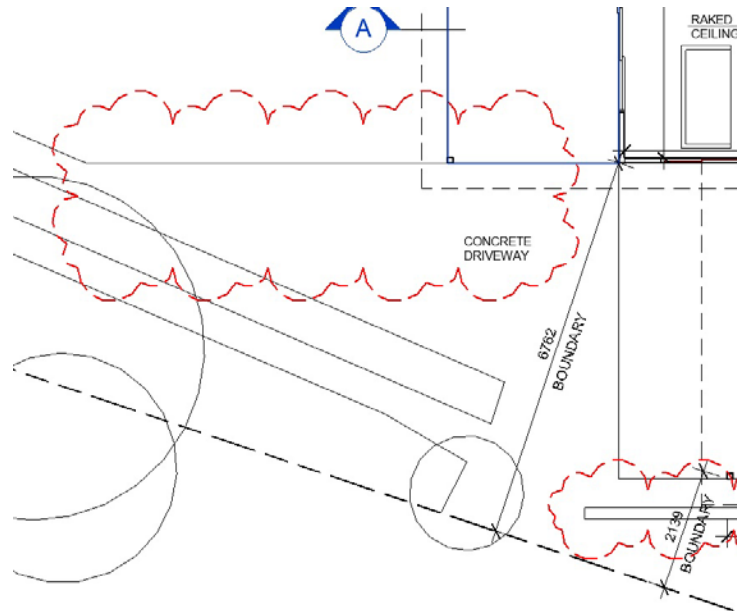


Image 5. Proposed concrete area in front of the carport

- Recycled Brick for the proposed alfresco area is changed to Concrete slab. The FFL of the alfresco area is raised to 64.42 by to be aligned to the FFL of the approved FFL of the secondary dwelling. Refer to image 6.

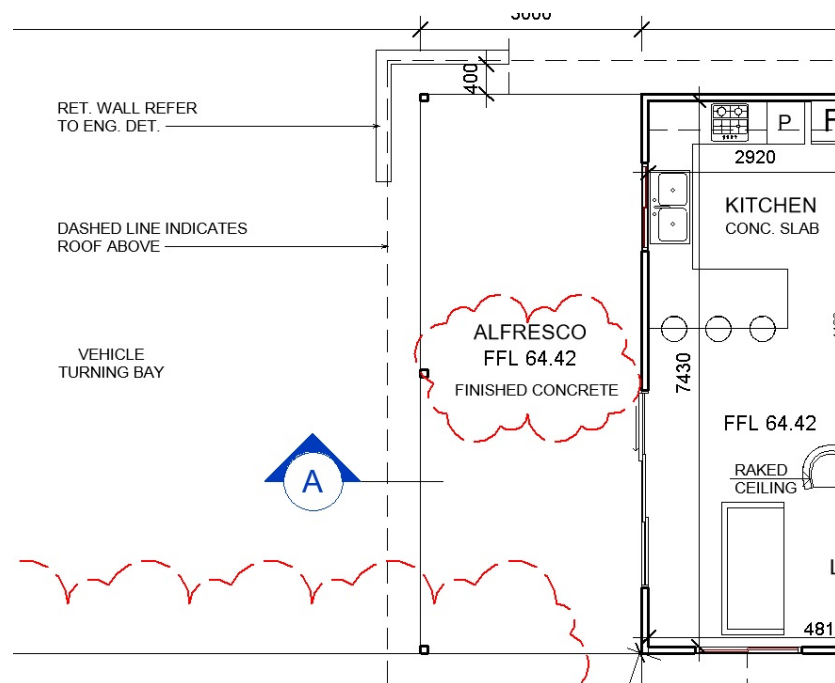


Image 6. Revised material and FFL of the alfresco area.

#### **4.1 STREETScape AND DEVELOPMENT APPLICATION DESIGN AND DETAIL**

The requirements of the Northern Beaches Council, Manly Development Control Plan 2013 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

As per the approved DA2020/0864

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural drawings.

#### **4.2 FLOOR SPACE RATIO**

The requirements of the Northern Beaches Council, part 5.4(9) of Manly Local Environmental Plan 2013 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows.

As per the approved DA2020/0864

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural drawings.



#### **4.3 BUILDING HEIGHT**

The requirements of the Northern Beaches Council, Manly Local Environmental Plan 2013 and the subject proposal's compliance with the Local Environmental Plan are outlined as follows

As per the approved DA2020/0864

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural drawings.

#### **4.4 LANDSCAPED AREA AND OPEN SPACE**

The requirements of the Northern Beaches Council, part 4.1.5.1 of Manly Development Control Plan 2013 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

**SITE AREA = 1,353 qm**

**TOTAL OPEN SPACE**  
AREA OS4

Required total open space = 60 % of the site area = 811.8 sqm  
(Minimum width not less than 3 metres)

Proposed open space = 857.7 sqm

#### **LANDSCAPED AREA**

Required Landscaping = 40 % open space = 324.72  
(Minimum width not less than 1 metres)

Proposed Landscaped area = 857.7 sqm  
Proposed Landscaped area as % of open space = 100%

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Area Calculation Sheet.

#### **4.5 BUILDING SETBACKS**

The requirements of the Northern Beaches Council, part 4.1.4. of Manly Development Control Plan 2013 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

As per the approved DA2020/0864

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the Architectural drawings.

#### **4.6 VEHICLE ACCESS AND PARKING**

The requirements of the Northern Beaches Council, part 4.1.6 of Manly Development Control Plan 2013 and the subject proposal's compliance with the Development Control Plan are outlined as follows.

FFL of the carport area is lowered by 300mm to avoid installation of car barriers. The expanded driveway will be more convenient for users.

Therefore, the proposal complies with the requirements of the Development Control Plan. Refer to the architectural drawings.

## **5.0 CONCLUSION**

We, therefore, present before Council, a proposal that combines Council codes and regulations and the principles of these codes and regulations with our Client's requirements and, at the same time, is in context with its surroundings.

We would appreciate Council reviewing all of the matters and providing the Proprietors with feedback that will enable them to proceed with the preparation of the section 4.55 submission to the Council.

We await your positive reply on this proposal and, in anticipation of your assistance, we wish to thank you on behalf of the Proprietors for your efforts.

Should you require any further information, however, please do not hesitate to contact our office.

Rammi Kanj  
RK Designs