

40 Maxwell St, Mona Vale 

MAXWELL ST

1 SITE PLAN

A101 1 : 200

ALL BUILDING WORKS MUST BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA (BCA) AND AUSTRALIAN STANDARDS

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ISSUE	DATE	DESCRIPTION	DRWN	CHKD
-	10.12.2018	EXISTING	MW	
	20.12.2018	PRELIMINARY 1	KM	
2	11.03.2019	DA ISSUE	KC	KM

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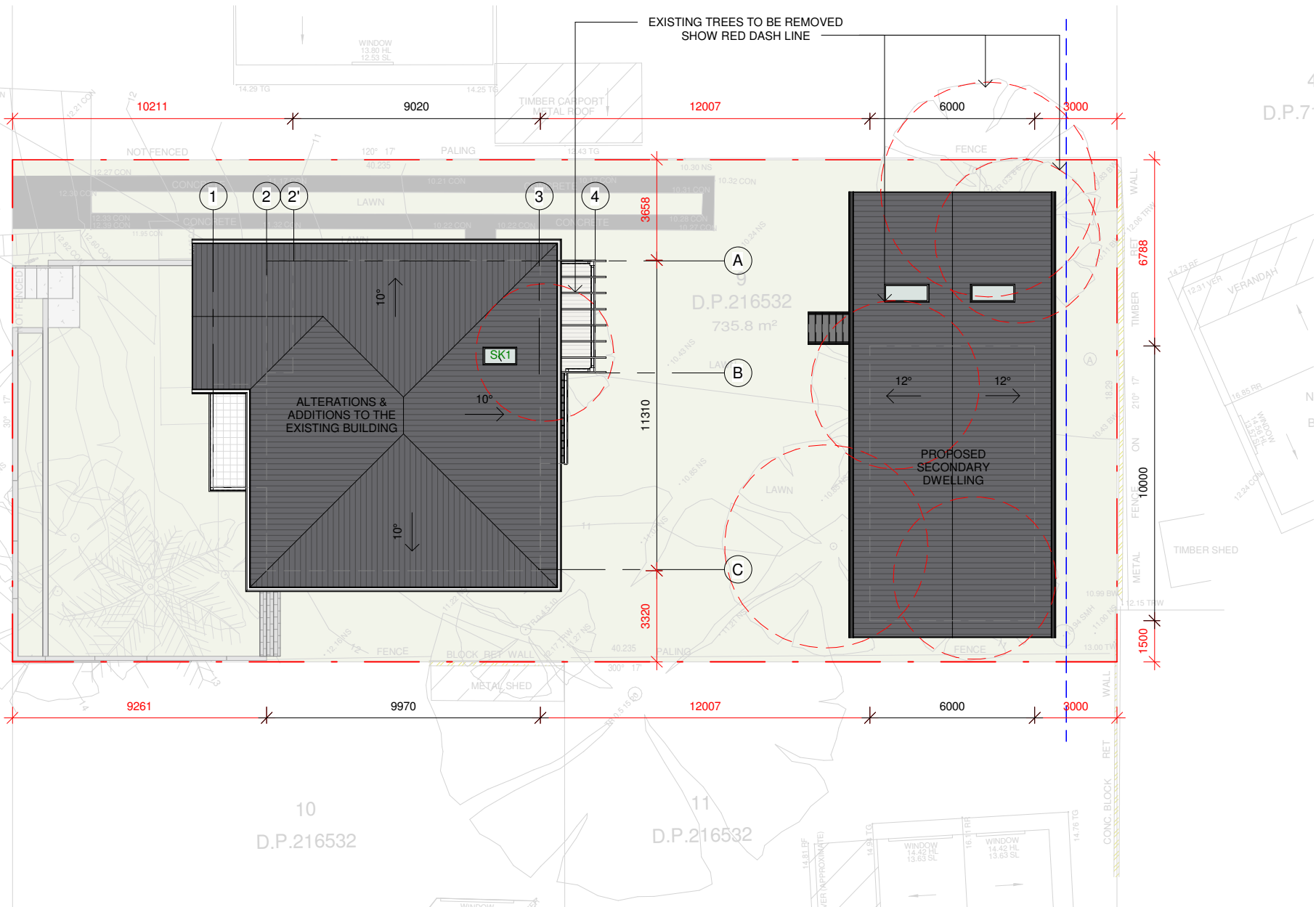
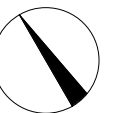


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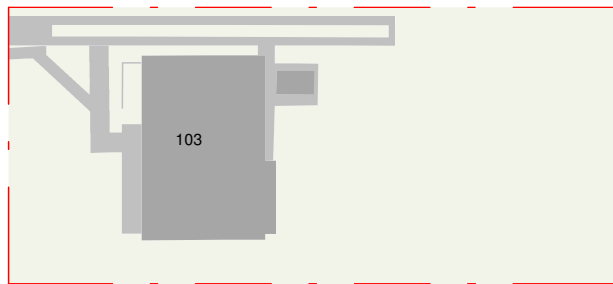
PROJECT TITLE:	ALTERATION & ADDITION
PROJECT NO.:	2018080
AT:	40 Maxwell St, Mona Vale
FOR:	Jake & Rebecca Wicks

SHEET TITLE:	SITE PLAN
SHEET NO:	A101
SCALE A3:	As indicated



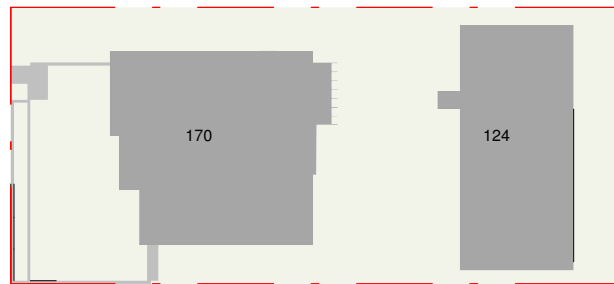
3 SITE PLAN ANALYSIS - EXISTING

A101 1 : 500



4 SITE PLAN ANALYSIS - NEW PROPOSAL

A101 1 : 500



CALCULATION TABLE			
ZONE	R2 - LOW DENSITY RESIDENTIAL		
HAZARDS	Geotechnical Hazard/ Flood Risk - Low to Med		
SITE AREA	735.8 m ² (By Survey)		
MAX. BUILDING HEIGHT	Hmax = 8.5 m		
BUILDING ENVELOPE	3.5m - SIDE BOUNDARY ENVELOPES		
	EXISTING	DEMOLISHED	PROPOSED
GFA - MAIN DWELLING	76.2 m ²	m ²	203m ²
SECONDARY DWELLING	-	-	58m ²
SITE COVERAGE	107 m ² / 14.5 %	m ²	294 m ² / 40 %
HARD SURFACE	67 m ²	m ²	43 m ²
SOFT LANDSCAPING	561.8 m ² / 76.3 %	-	399 m ² / 54 %



Certificate no.: 0003683760-01
Assessor Name: Jamie Bonnefin
Accreditation no.: VIC/BDV/17/1807
Certificate date: 13 Mar 2019

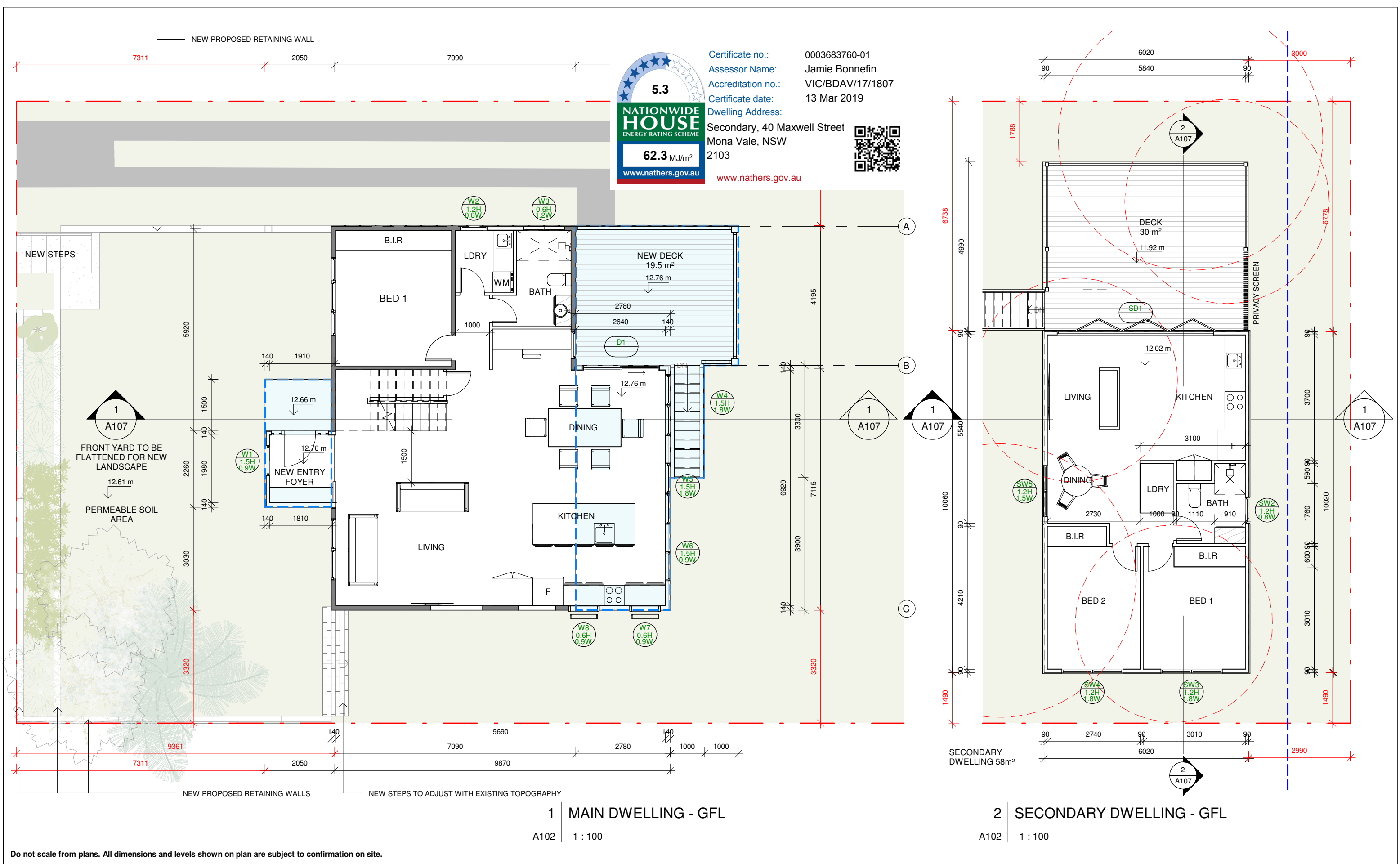
Dwelling Address:
Secondary, 40 Maxwell Street
Mona Vale, NSW
2103

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NOTES:

- Demolition works to be carried out in accordance with the requirements of A2601-2001 The Demolition of Structures. Also in compliance with work cover authority of NSW requirements, including but not limited to:
 - Protection of site workers and the general public
 - Asbestos handling and disposal where applicable
- Termite protection to be in accordance with AS 3600.1
- All construction to comply with current BCA codes and Australian Standards.
- Stormwater system to be connected to existing.
- All timber framing shall comply with AS1684
- These documents must be read in conjunction with all the sub-consultants reports and recommendations. The architectural documents form part of the total construction set and are not to be taken as exclusively being the building construction documents
- Eaves within 900mm of allotment boundaries are to be constructed of non-combustible materials. eaves must not be within 450mm of allotment boundaries as required by part 3.7.1 of BCA
- Sediment & Erosion control are to be installed and maintained during the life of the project



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PROJECT TITLE: ALTERATION & ADDITION

PROJECT NO.: 2018080

AT: 40 Maxwell St, Mona Vale

FOR: Jake & Rebecca Wicks

SHEET TITLE: GROUND FLOOR PLAN

SHEET NO: A102

SCALE A3: 1 : 100





Woodland Grey®

Woodland Grey® is inspired by the depth of cool green forest, the canopy of eucalyptus on a rugged mountain plateau, the twisted bark and deep olive green leaves of teatree along the coast, the mossy boulders and ferns found in mountain crevices.

COLORBOND ROOFING

BASIX Project Commitments

Proposed: Secondary Dwelling
Address: 40 Maxwell Street, Mona Vale
Lot No / DP: 12/231098

Water

Fixtures	Specification
Shower head rating	3 star (> 7.5 but <= 9 L/min)
Toilet rating	5 star
Kitchen taps rating	5 star
Bathroom taps rating	5 star

Alternative water details

Rainwater tank size	1500L
Connected to:	Yes
Garden and lawn areas	Yes
All toilets	Yes
Laundry	No

Thermal Comfort

External walls	Requirements
Weatherboard	Medium colour, R2.0 Bulk + Foil (Anti-glare)

Internal walls

Cavity wall, direct fix plasterboard	No insulation
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Ceiling

External ceiling - Plasterboard	R3.5 bulk insulation
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Roof

Corrugated iron	Light Colour (solar absorbance <0.475) Anticon Blanket HP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
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Floors

Suspended timber	R2.0 bulk insulation
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Windows

Aluminium frame ALM-001-01	Single glazed, Clear with U-value 6.70 and SHGC 0.57 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)
Aluminium frame ALM-002-01	Single glazed, Clear with U-value 6.7 and SHGC 0.7 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)

Downlights

Downlight Covers	Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.
Lighting specification	All kitchen/living/hallways on this project will install 100mm diameter LED downlights at a rate of 1 per 5 sq meters of ceiling area.

Overshadowing details

Adjoining units calculated into model calculations
--

Site

Orientation of nominal north elevation	As shown on plans
--	-------------------

* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.
IF ADDITIONAL downlights are fitted or are not LED, this certification will be invalid unless insulation is added in compliance with NCC (BCA) Vol 2, 2014, Table 3.12.1.1 (b) and NatHERS protocols. Contact the assessor above if alterations are required.

Energy (All Dwellings)

Hot water	Specification	Rating
Individual system	Gas instantaneous	5 star

Ventilation

Bathroom exhaust	Individual fan, not ducted
Control switch	Manual switch on/off
Kitchen exhaust	Individual fan, not ducted
Control switch	Manual switch on/off
Laundry	Natural ventilation only
Control switch	N/A

Cooling

Individual systems - living areas	1-phase airconditioning	EER 3.0 - 3.5
Individual systems - bedroom areas	1-phase airconditioning	EER 3.0 - 3.5

Heating

Individual systems - living areas	1-phase airconditioning	EER 3.0 - 3.5
Individual systems - bedroom areas	1-phase airconditioning	EER 3.0 - 3.5

Appliances

Cooktop/oven	Gas cooktop & electric oven
Ventilated fridge space	Yes
Private outdoor clothes drying line	Yes

1 MAIN DWELLING - FFL

A103 1 : 100

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PROJECT TITLE: ALTERATION & ADDITION

PROJECT NO.: 2018080

AT: 40 Maxwell St, Mona Vale

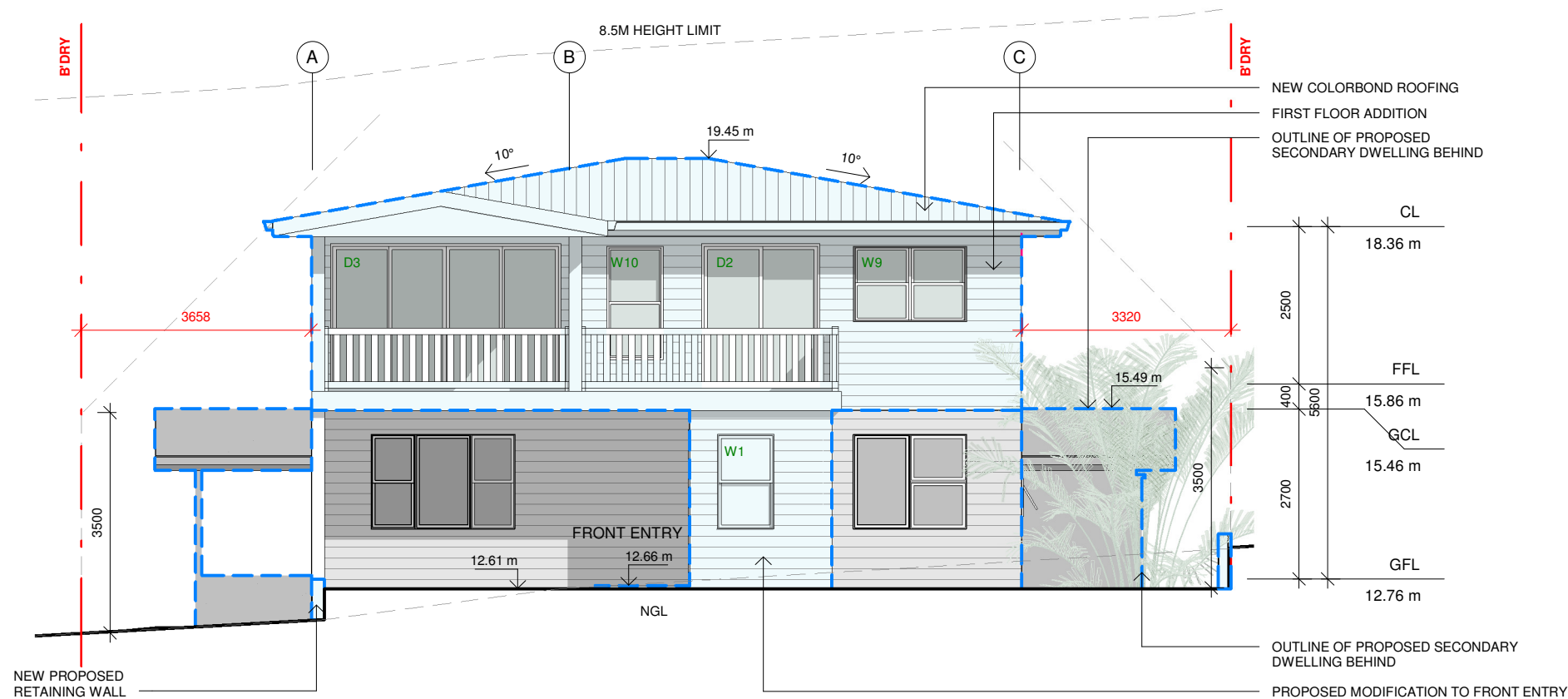
FOR: Jake & Rebecca Wicks

SHEET TITLE: FIRST FLOOR PLAN

SHEET NO: A103

SCALE A3: 1 : 100

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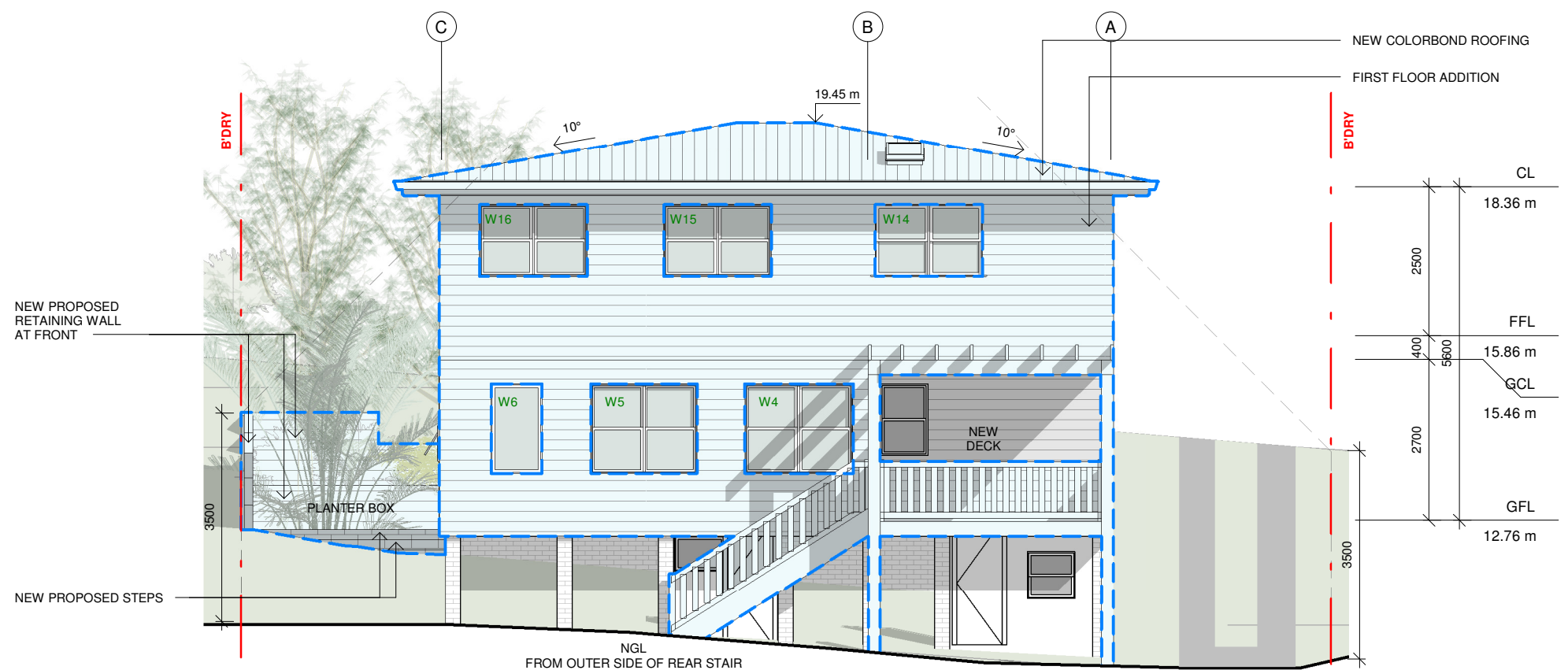


WINDOW SCHEDULE

Mark	Width	Height	Sill Height	Comments
W9	1800	1200	1000	
W16	1800	1200	1000	
W15	1800	1200	1000	
W11	600	1500	700	
W1	900	1500	800	
W10	900	1800	400	
W5	1800	1500	800	
W2	800	1200	1100	
W3	1200	600	1700	
W4	1800	1500	800	
W12	1800	600	1600	
W13	1800	600	1600	
W14	1800	1200	1000	
W6	850	1500	800	
W8	900	600	1000	
W7	900	600	1000	

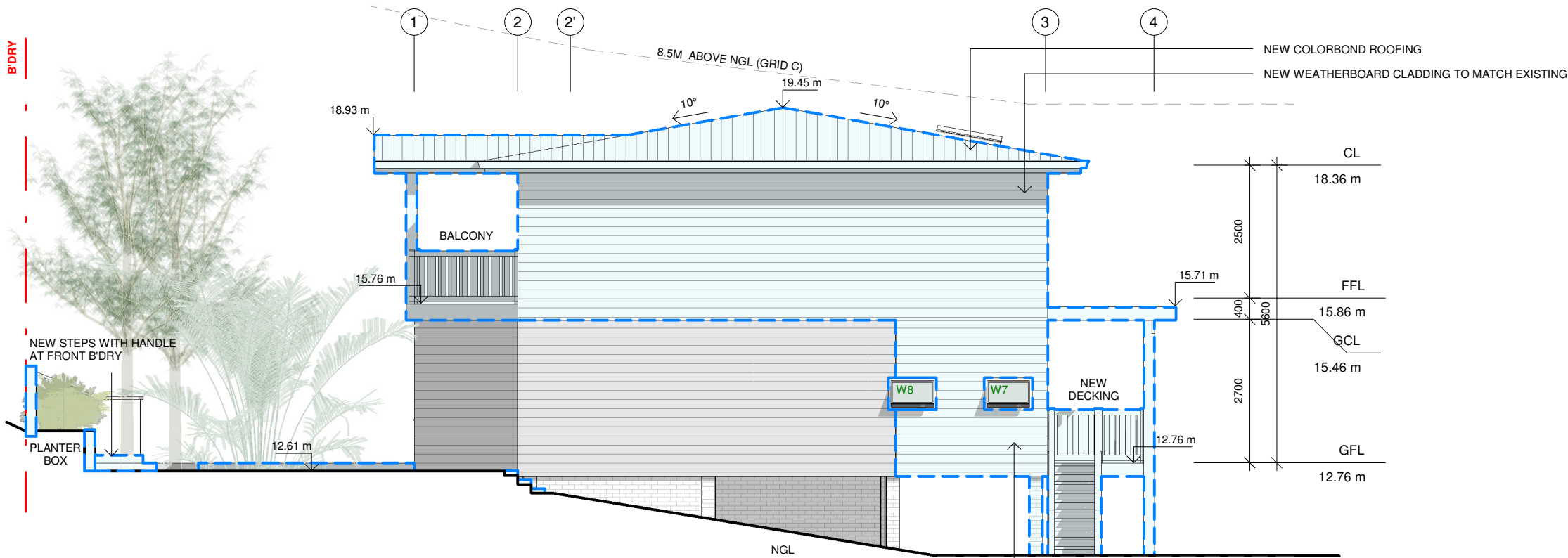
DOOR SCHEDULE

Mark	Width	Height	Comments
D3	3600	2200	
D2	1800	2200	
D1	2200	2300	



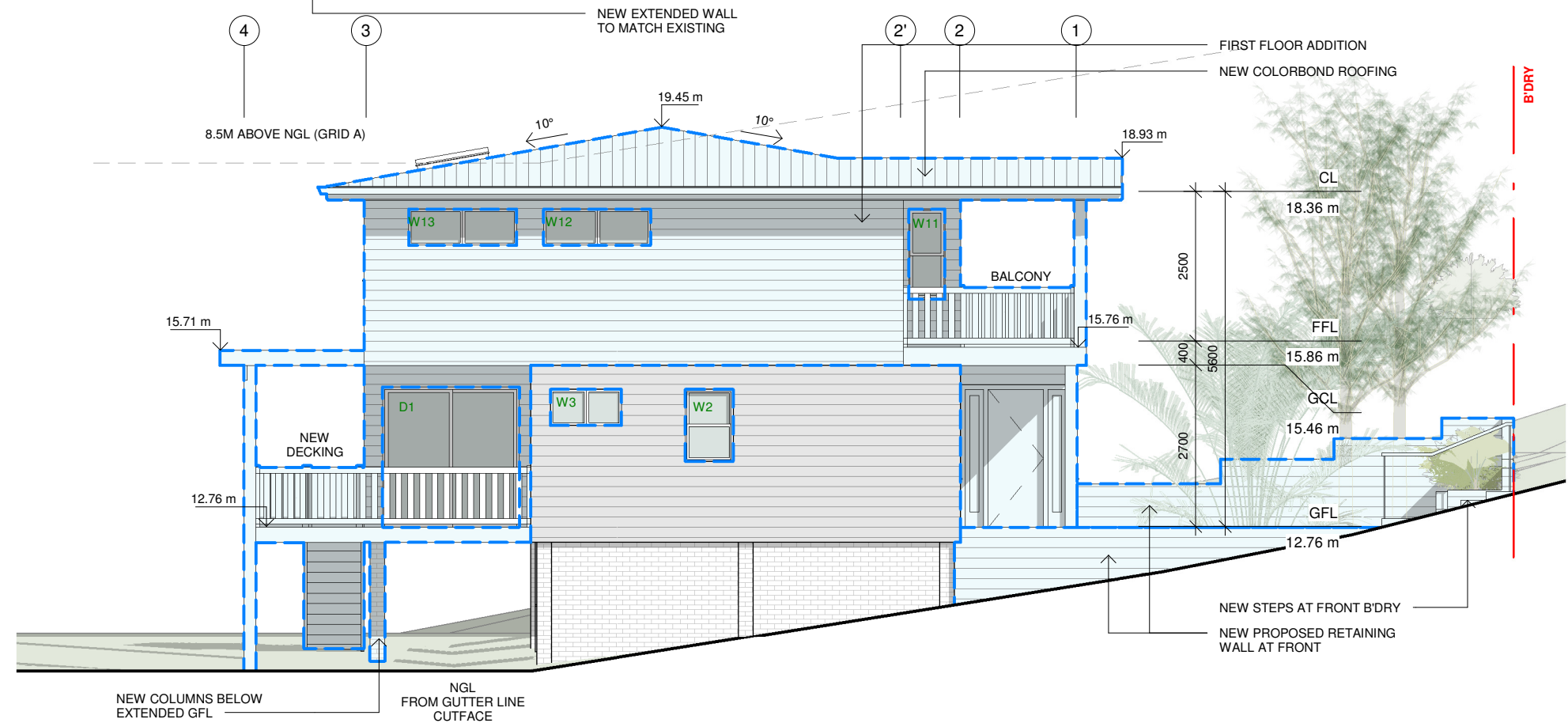
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2 | SW ELEVATION

A105 | 1 : 100



1 | NE ELEVATION

A105 | 1 : 100

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PROJECT TITLE: ALTERATION & ADDITION

PROJECT NO.: 2018080

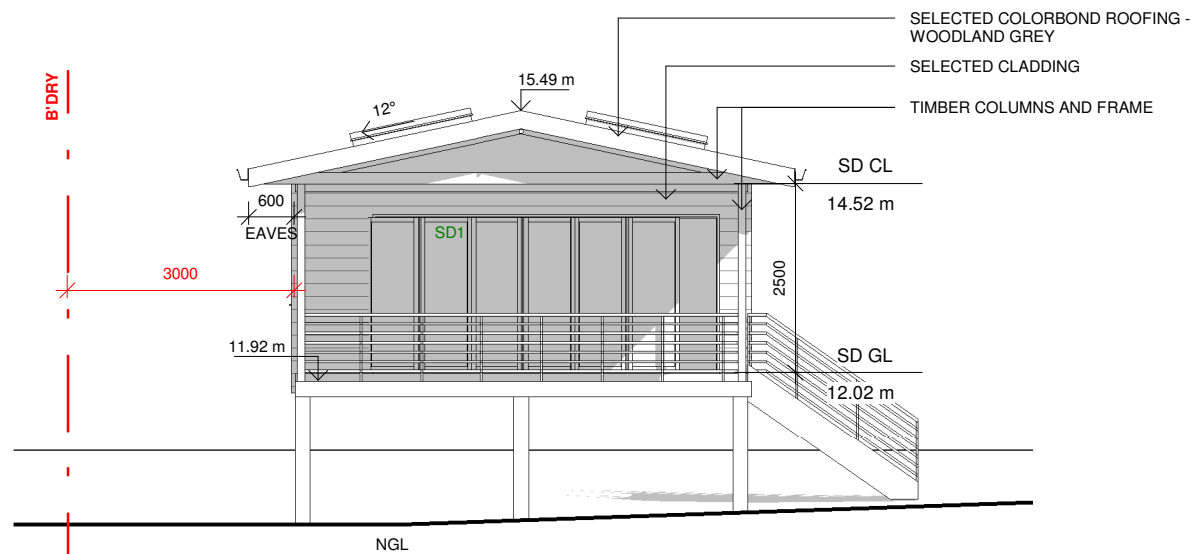
AT: 40 Maxwell St, Mona Vale

FOR: Jake & Rebecca Wicks

SHEET TITLE: MAIN DWELLING - ELEVATIONS

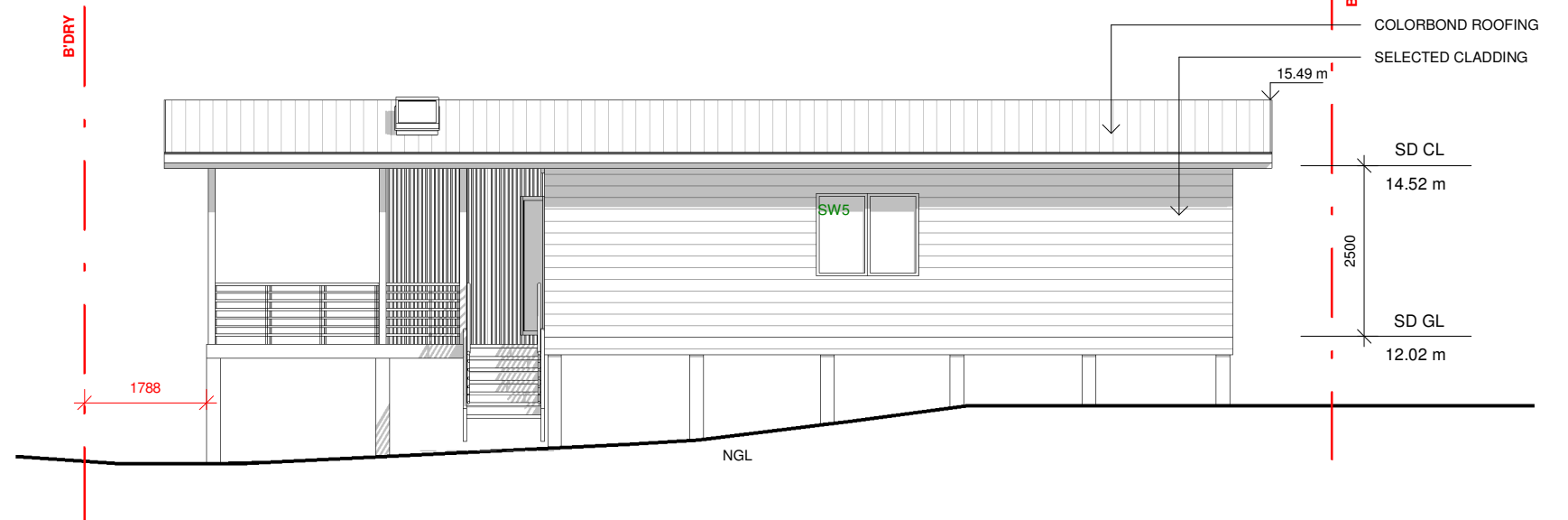
SHEET NO: A105

SCALE A3: 1 : 100



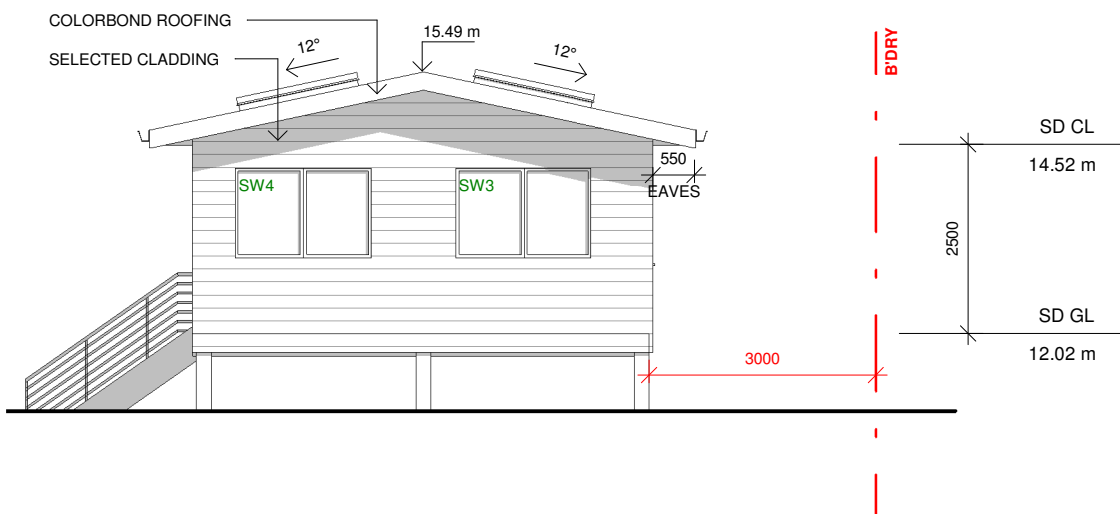
1 SD - NE ELEVATION

A106 1 : 100



2 SD - NW ELEVATION

A106 1 : 100



3 SD - SW ELEVATION

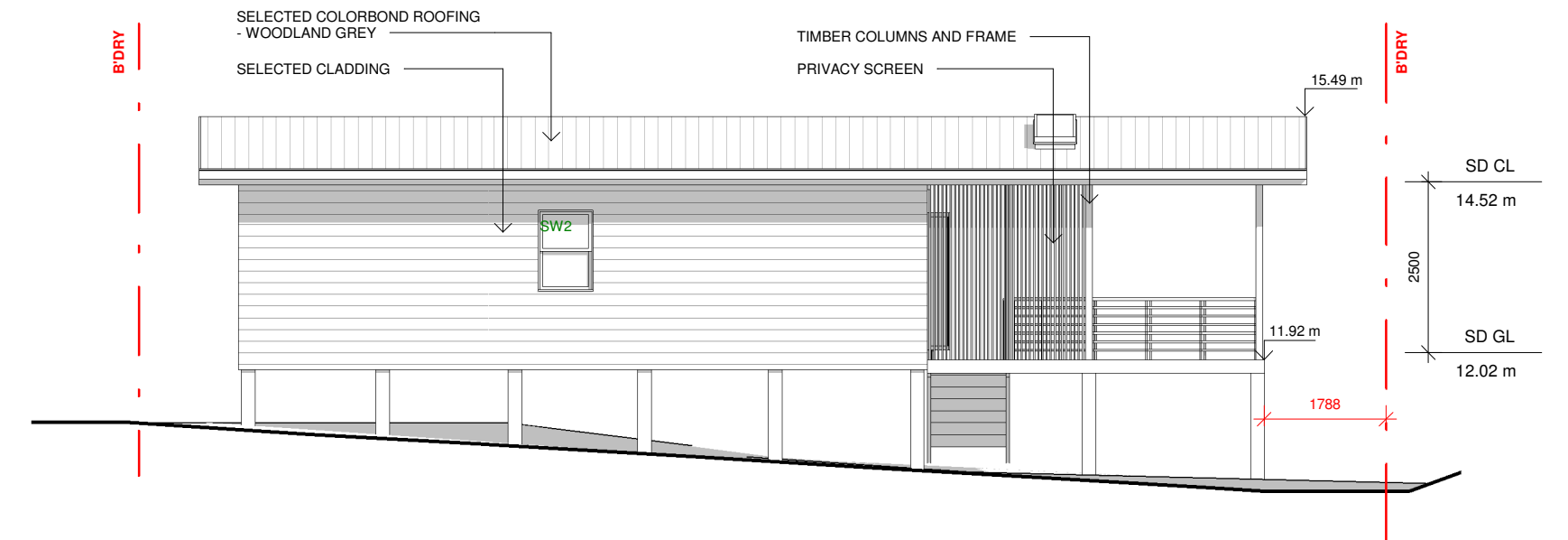
A106 1 : 100

SD - WINDOW SCHEDULE

Mark	Width	Height	Sill Height	Comments
SW5	1500	1200	900	
SW4	1800	1200	1000	
SW3	1800	1200	1000	
SW2	800	1200	900	

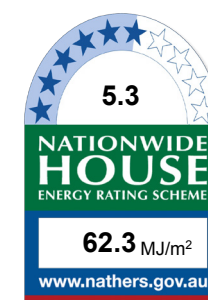
SD - DOOR SCHEDULE

Mark	Width	Height	Comments
SD1	4600	2100	



4 SD - SE ELEVATION

A106 1 : 100



Certificate no.: 0003683760-01
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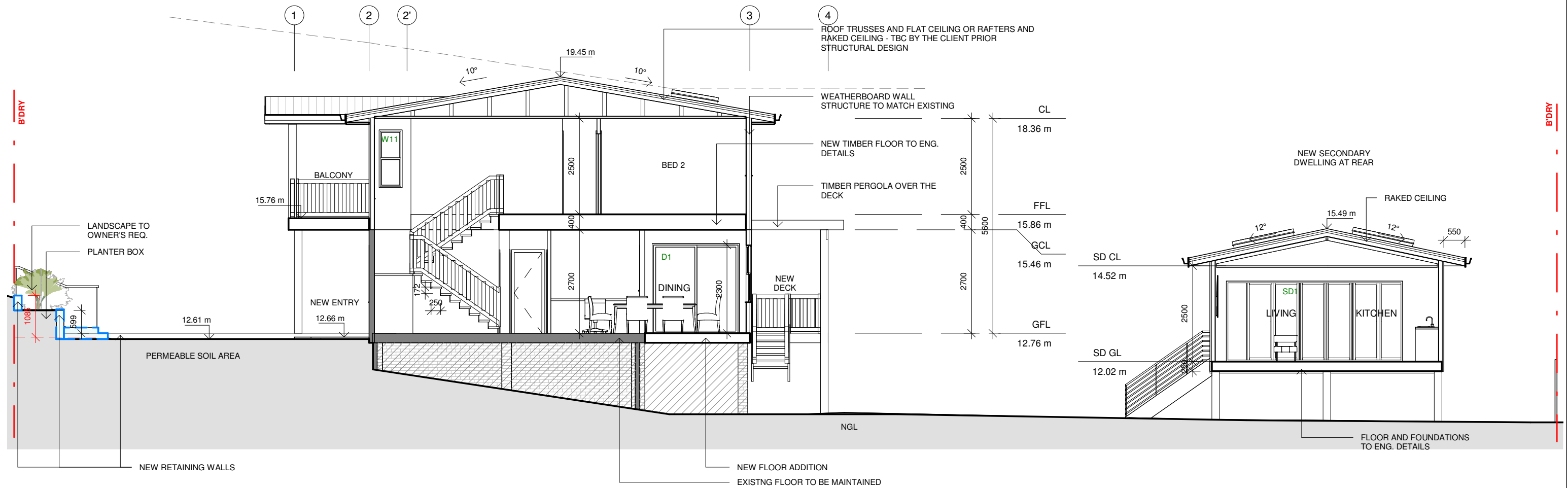
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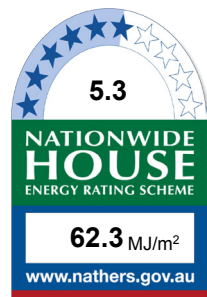
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1 SECTION A - A'

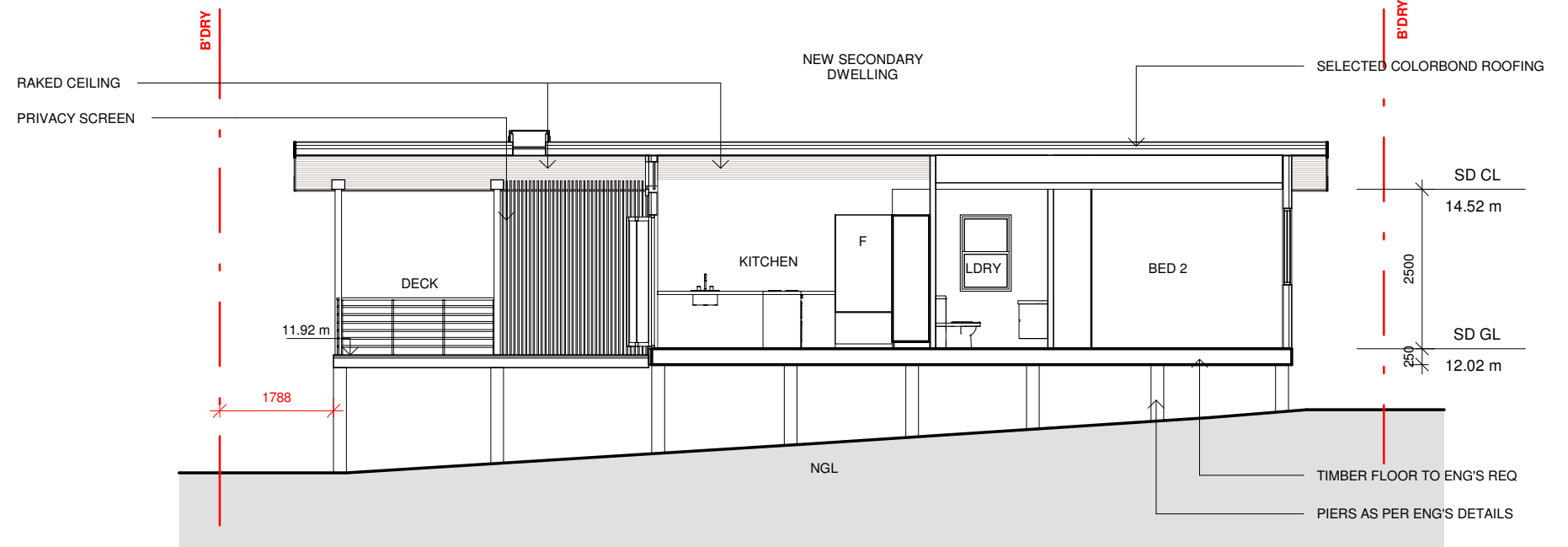
A107 1 : 100



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 Assessor Name: Jamie Bonnefin
 Accreditation no.: VIC/BDV/17/1807
 Certificate date: 13 Mar 2019

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2 SECTION B - B'

A107 1 : 100

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PROJECT NO.: 2018080

AT: 40 Maxwell St, Mona Vale

FOR: Jake & Rebecca Wicks

SHEET TITLE: SECTIONS

SHEET NO: A107

SCALE A3: 1 : 100

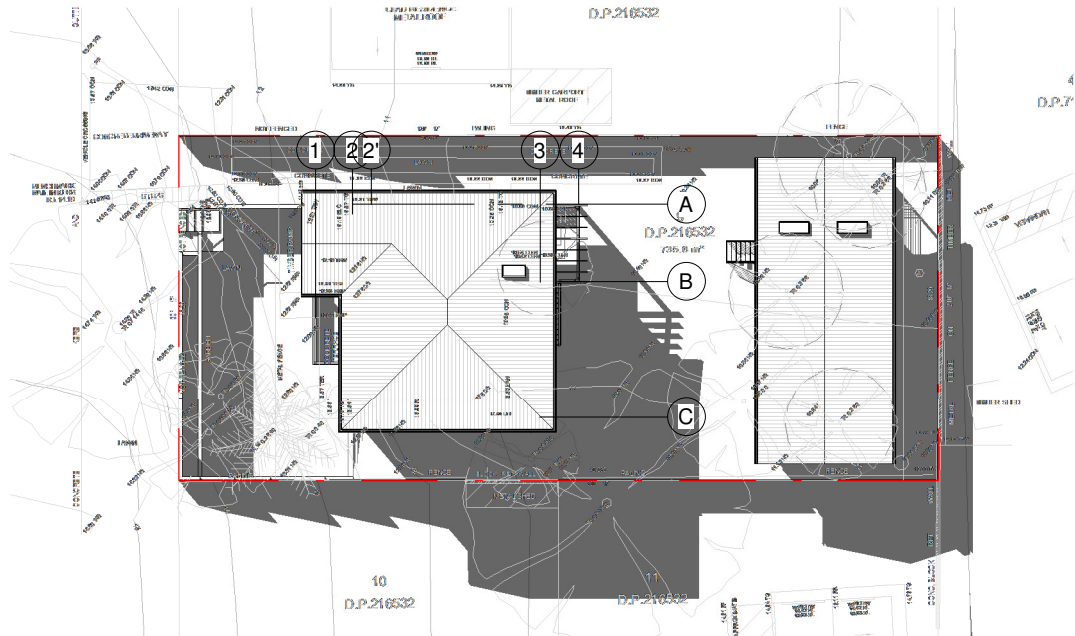
MAXWELL ST



1 | SHADOW DIAGRAM - 21ST JUNE - 9AM

A108 | 1 : 400

MAXWELL ST



2 | SHADOW DIAGRAM - 21ST JUNE - 12PM

A108 | 1 : 400

MAXWELL ST



3 | SHADOW DIAGRAM - 21ST JUNE - 3PM

A108 | 1 : 400

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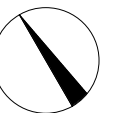
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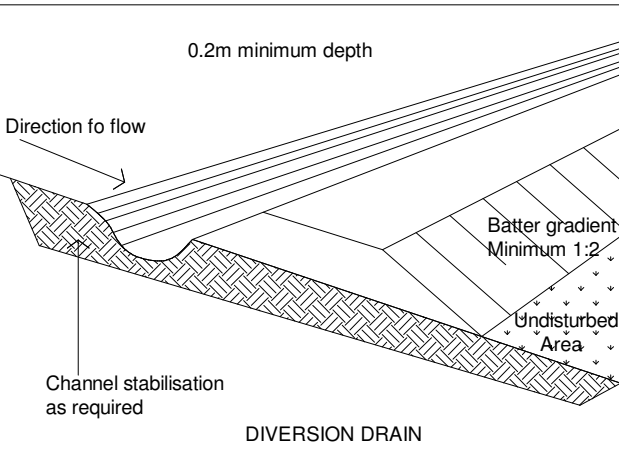
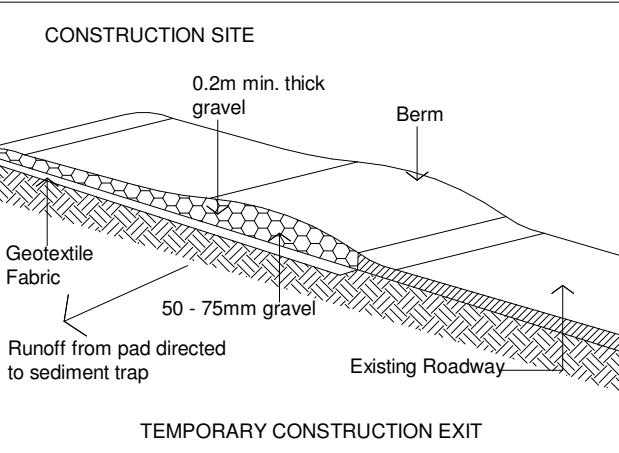
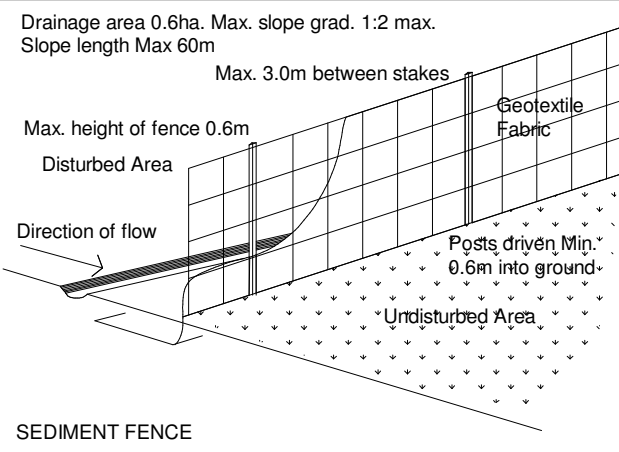
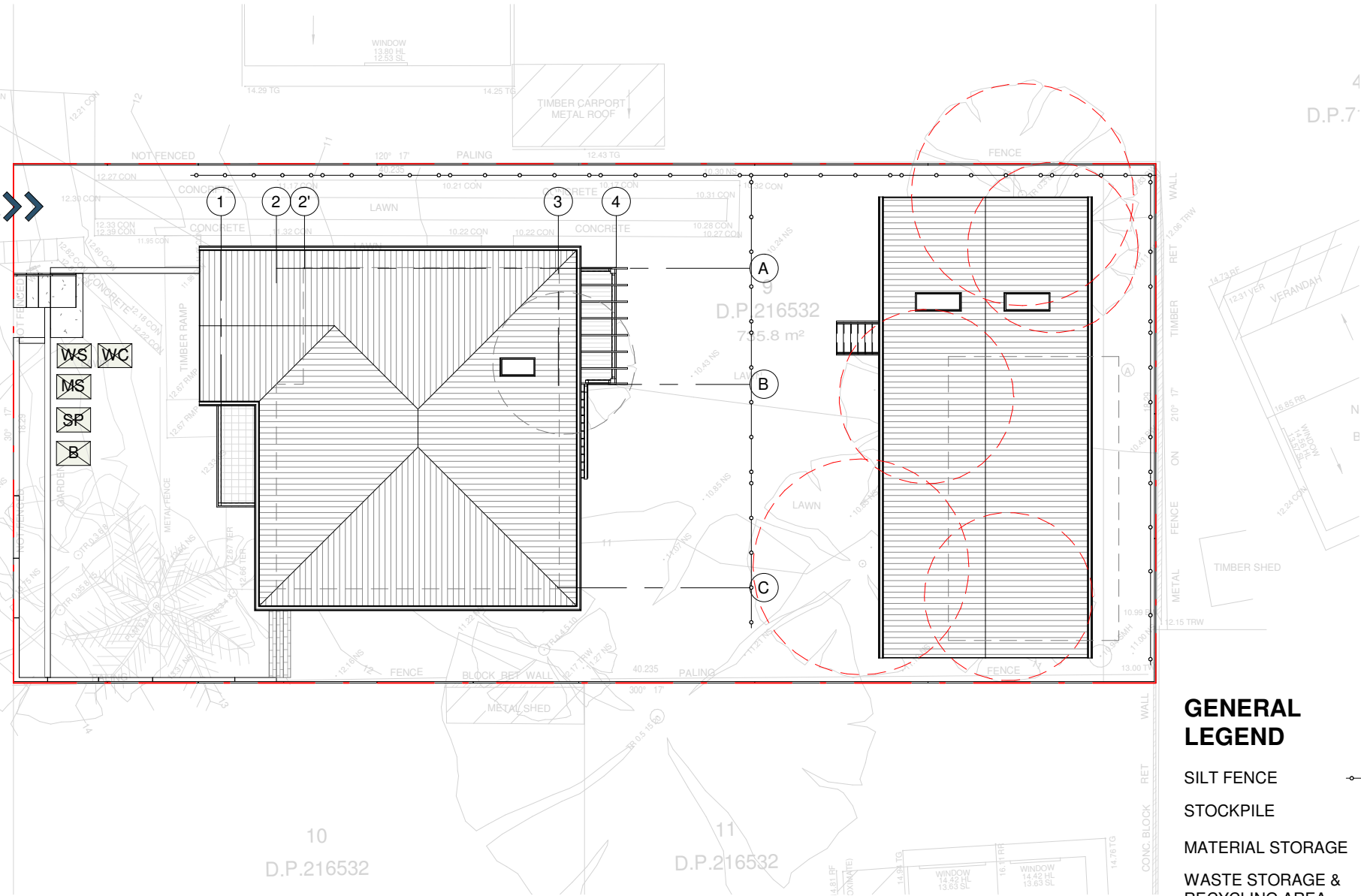
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PROJECT TITLE:	ALTERATION & ADDITION
PROJECT NO.:	2018080
AT:	40 Maxwell St, Mona Vale
FOR:	Jake & Rebecca Wicks

SHEET TITLE:	SHADOW DIAGRAMS
SHEET NO:	A108
SCALE A3:	1 : 400



MAXWELL ST



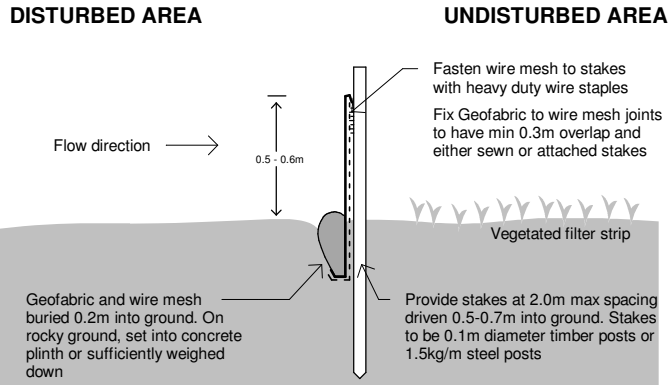
GENERAL
LEGEND

- SILT FENCE
STOCKPILE
MATERIAL STORAGE
WASTE STORAGE & RECYCLING AREA
GARBAGE BIN
ONSITE TOILET
ACCESS FOR VEHICLES



SILT FENCE DETAIL & NOTES:

1. Silt fences should be installed on a site as early as possible, ideally before excavation or other soil disturbance begins
2. Install a silt fence down-slope from the construction area, always along the contour (curve) of the slope you are protecting – don't install in straight lines
3. Significant downward slopes should use the curved installation method
4. Stockpiles of soil and building materials must be contained by a silt fence
5. Leave the silt fence in place until vegetation is established, or sediment is stabilised
6. Silt fencing requires frequent inspections, particularly after each runoff event (storm, rainfall etc.), to check for damage or clogging of the fence by silt and debris
7. Silt fences are best used for sites where the soil disturbance area is up to 0.5 of a hectare



WASTE MANAGEMENT PLAN

CONTRACTORS WILL BE RESPONSIBLE FOR ENSURING:

1. Dedicated safe pedestrian access is, at all times, to be provided in front of the site.
2. Demolition and construction waste will be minimised and separation, reuse and recycling of materials will be maximised.
3. Demolition will be managed to ensure air and water borne pollutants such as, dust, odour, liquids and the like are minimised.
4. Demolition will be managed to minimise site disturbance to the surrounding area.

KEY ACTIONS :

1. Install Sediment Barrier on downslope side of property
2. Stock pile demolition materials on level sections at rear and front of existing dwelling .Separate waste, from reuse and recycle materials.
3. Clean and Clear footpath and roadway as required
4. Limit Disturbance when clearing
5. Wash Equipment in Designated area
6. Store all hard waste & litter in a designed area
7. Restrict vehicle movements and use the driveway only when possible.
8. Preserve as much grassed area as possible.

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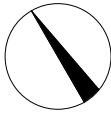
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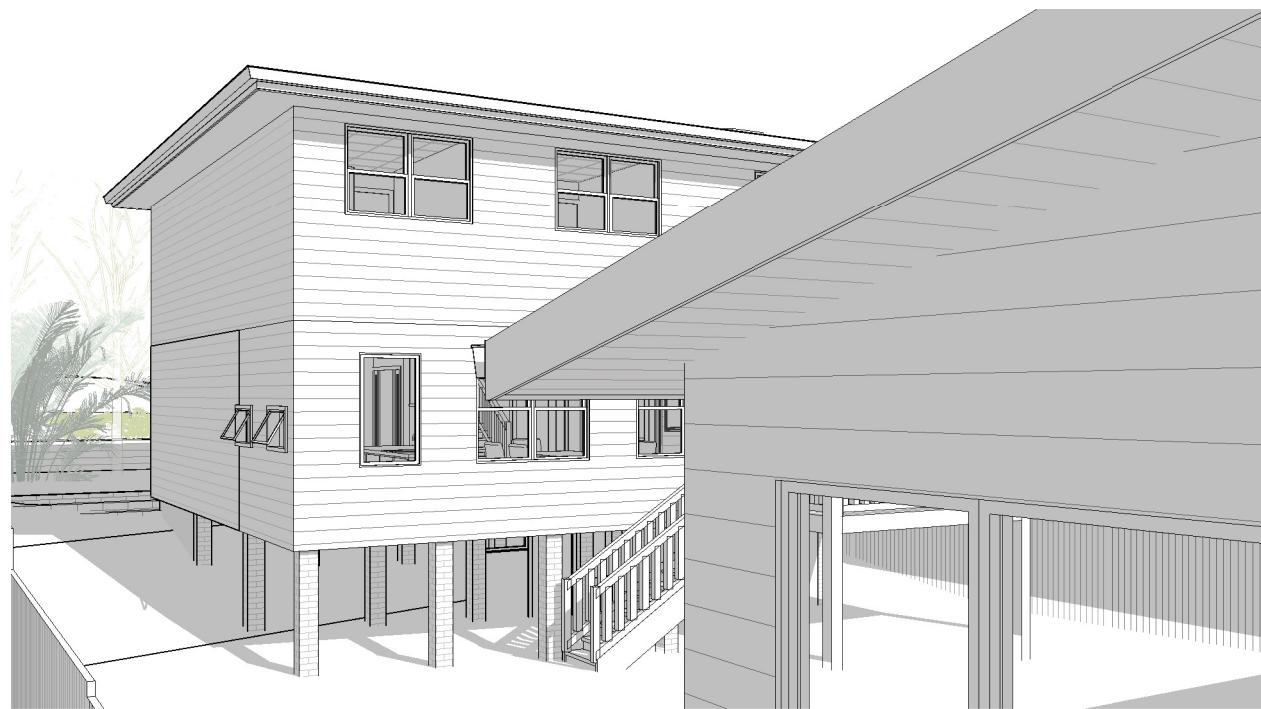
SHEET TITLE:	SEDIMENT CONTROL PLAN
SHEET NO:	A109
SCALE A3:	As indicated





3 STREET VIEW

A110



2 REAR VIEW

A110



1 KITCHEN - MAIN

A110



4 PROPOSED SECONDARY

A110

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PROJECT NO.:	2018080
AT:	40 Maxwell St, Mona Vale
FOR:	Jake & Rebecca Wicks

SHEET TITLE:	3D VIEWS
SHEET NO:	A110
SCALE A3:	

MAXWELL ST



NP1	1 : 200
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NP1	1 : 200
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NP1	1 : 200
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NP1	1 : 200
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NP1	1 : 200
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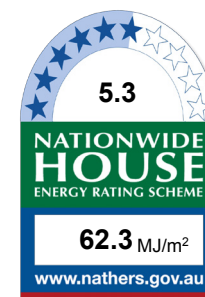
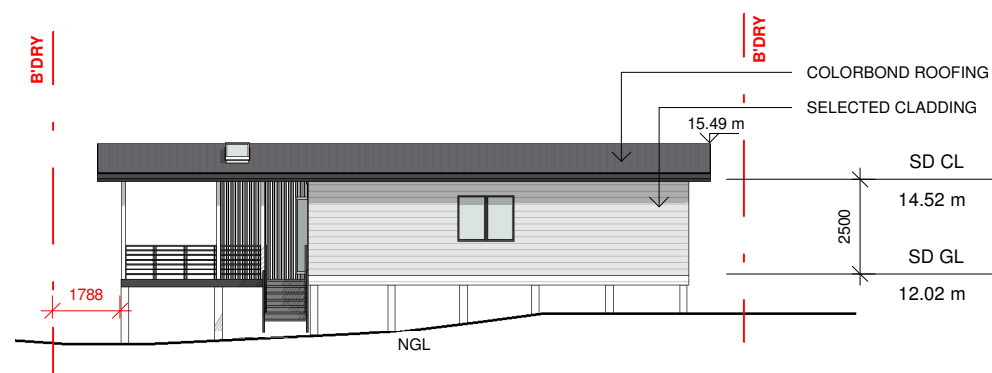
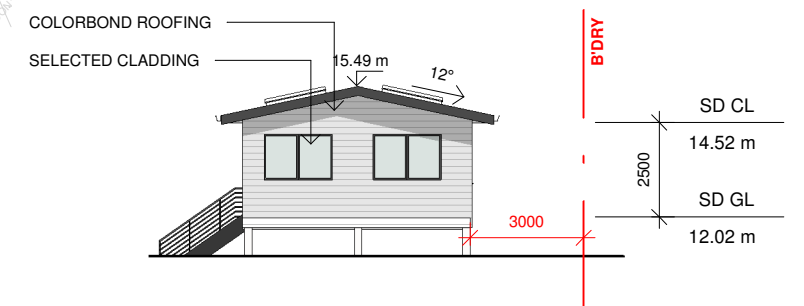
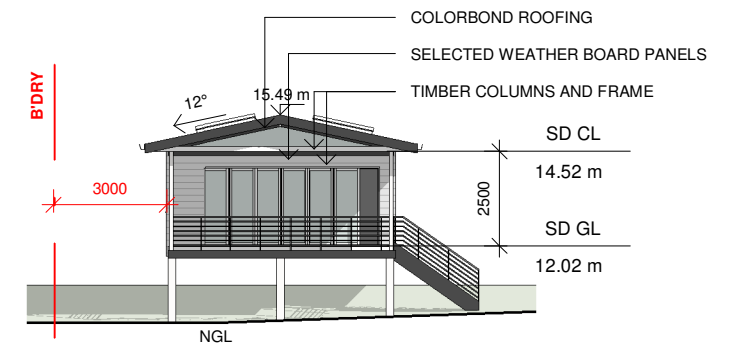
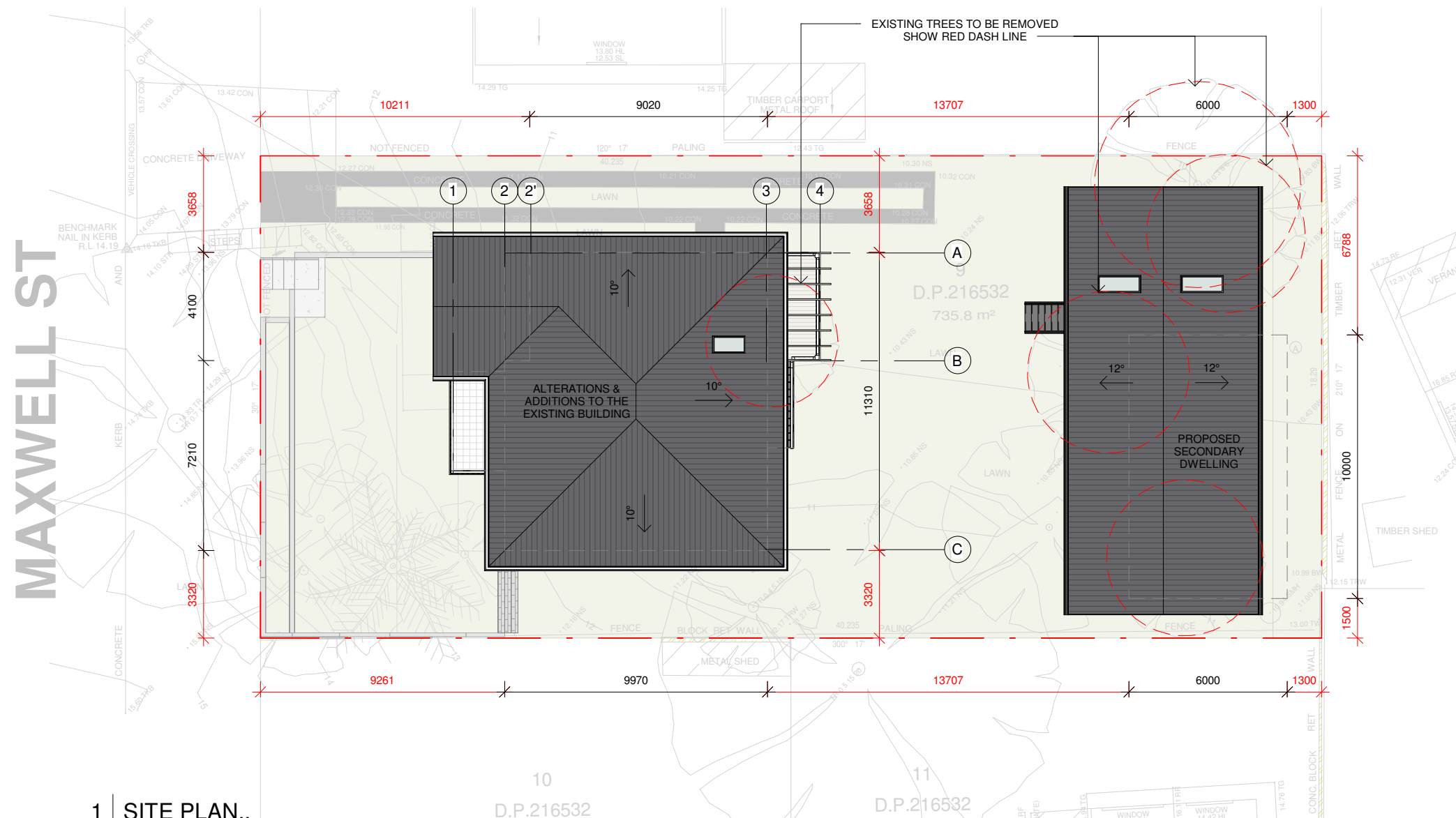

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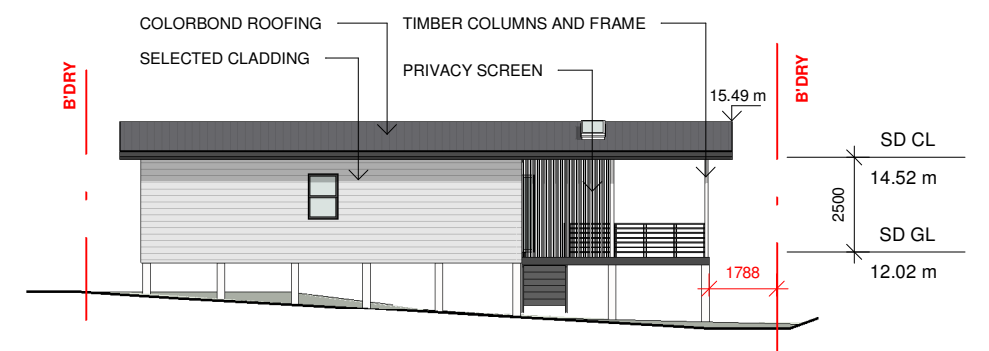
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SHEET TITLE:	NOTIFICATION - MAIN DWELLING
SHEET NO:	NP1
SCALE A3:	1 : 200



Certificate no.: 0003683760-01
Assessor Name: Jamie Bonnefin
Accreditation no.: VIC/BD/AV/17/1807
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PROJECT TITLE: ALTERATION & ADDITION

PROJECT NO.: 2018080

AT: 40 Maxwell St, Mona Vale

FOR: Jake & Rebecca Wicks

SHEET TITLE: NOTIFICATION - SD

SHEET NO: NP2

SCALE A3: 1 : 200

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