
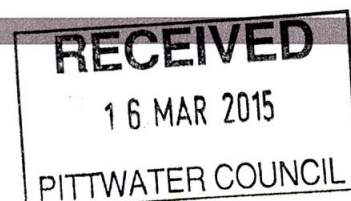


## FINAL OCCUPATION CERTIFICATE

Date Application Received	18-11-2013		
Council	Pittwater Council	DA Number	N0179/13
Occupation Certificate No.	2015-054	Date Approved	06-03-2015
CC No.	2013-282	Date Approved	22-11-2013
Certifying Authority	Craig Formosa		
Accredited Certifier	Craig Formosa	Accreditation No.	BPB0124
Accreditation Body	Building Professionals Board		
<b>APPLICANT DETAILS</b>			
Name	Campbell Architecture	Contact Number	0438 262 010
Address	75 Renwick Street, Alexandria NSW 2015		
<b>OWNER DETAILS</b>			
Name	Alison Bradford		
Address	19 Wellington Street, Woollahra NSW 2105		
<b>DEVELOPMENT DETAILS</b>			
Subject Land	193 Whale Beach Road, Whale Beach NSW 2107	Lot No.	1 DP 228203
Description of Development	Completion of new partially erected dwelling and swimming pool		
Class of Building	1a, 10a, 10b	Value of Work	\$1,000,000.00
<b>THE BUILDING IS SUITABLE FOR OCCUPATION</b>			
Certificates Attached	Mandatory Inspection Reports, Basix Completion Receipt, Builders Basix Compliance, Engineers Inspection Certificates, WAE and Survey for Stormwater, Geotechnical Engineers Report and Form 3, Termite Protection, Smoke Detectors, Waterproofing, Swimming Pool Compliance, Glazing x 2		
<b>RECORD OF INSPECTIONS</b>			
Site Inspection prior to issue of Construction Certificate	08-01-13		
Footings/Piers - prior to concrete pour	MISSED		
Timber Frame - prior to lining	20-05-14		
Slab Steel (Ground Floor) - prior to concrete pour	11-12-13		
Waterproofing	23-07-14 08-08-14		
Stormwater	10-11-14		
Pool Steel Reinforcement	MISSED		
Pool Barrier	10-11-14		
Preliminary Final	10-11-14		
Final Inspection - issue of Occupation Certificate	16-02-15 25-02-15		
<b>CERTIFICATION</b>			
I, Craig Formosa, as the certifying authority am satisfied that;			
(a) the building will not constitute a hazard to the health or safety of the occupants,			
(b) a current Development Application is in force for the building,			
(c) a current Construction Certificate has been issued for the building in respect to the plans and specifications for the building,			
(d) the building is suitable for its use under the Building Code of Australia, and			
(e) all the prescribed conditions of development consent have been satisfied.			
Signed:	 Date: 06-03-2015 PCA Accreditation No. BPB0124 Accreditation Body: Building Professionals Board		



836 REC: 375941 16/3/15



Form Building Certifiers Pty Ltd  
PO Box 1824, DEE WHY NSW 2099  
Phone: 8021 9313 Fax: 8021 9313



## BUILDING INSPECTION RESULT SHEET

REQUESTED INSPECTION TYPE:

Site Inspection ✓

APPLICATION DETAILS:

Date App. Received:	7/1/13
Property Address:	193 Whale Beach rd, whale Beach.
Development Type:	Alts + Adds.
Company Name:	
Owners Name & No.:	Alison Bradford
DA No. (If Applicable):	54/12

OBSERVATIONS FROM SITE VISIT:

Application Type	Possibly CD	CC only
Site Access		
Stormwater Drainage		
Kerb & Gutter		
Overhead Power Lines		
Easements		
Tree Removal		
Bushfire Hazard		
Flooding	Likely or not likely?	
Slope of Block		
Retaining Walls		
Set Backs		
Sewer Mains		
Fire Safety Measures (Class 2-9 Only)	Fire Hydrant <input type="checkbox"/> Fire Hose Reels <input type="checkbox"/> Exit Signs <input type="checkbox"/> Portable Fire Extinguishers <input type="checkbox"/> Emergency Lighting <input type="checkbox"/> Other <input type="checkbox"/>	
* Do the plans and specifications adequately & accurately depict existing site conditions and/or existing buildings? Yes <input checked="" type="checkbox"/> / No <input type="checkbox"/>		
* Are there any features of the site or buildings that would mean the development cannot be CD or comply with the BCA? Yes <input type="checkbox"/> / No <input checked="" type="checkbox"/> If Yes, give details: _____		
Has any building work commenced? Yes <input type="checkbox"/> / No <input checked="" type="checkbox"/> If Yes, give details: _____		

Comments:

- No works commenced  
- Ensure OSP/Stormwater plan is received prior to issue of CC.

Name of Certifier & Accreditation Number	Craig Formosa BPB0124 Trish Gray BPB2185
Date of Inspection	8/1/13.



# INSPECTION REPORT

☐ Owner ☐ Applicant ☒ Builder ☐ Other \_\_\_\_\_

Name Campbell Isherwood Tel/Email \_\_\_\_\_

## PROPERTY ADDRESS

193 Whale Beach Road, Whale Beach

## INSPECTION TYPE

Slab Steel - Ground Floor.

## INSPECTION OUTCOME

Certifier Opinion	Action Required (read with NOTES below)
<input checked="" type="checkbox"/> Inspection stage is Satisfactory	<input type="checkbox"/> NO re-inspection required
<input type="checkbox"/> Inspection stage is Satisfactory subject to Action Required	<input type="checkbox"/> Re-inspection required
<input type="checkbox"/> Inspection stage is Not Satisfactory	<input type="checkbox"/> Tick if result has also been given verbally

## NOTES

- N12 @ 150 - 200 mm centres. provided each way, top and bottom.
- N16 starter bars turned into Slab.
- Slip joints provided on top of brick walls
- Z-12 mm bars provided @ step down @ 200mm centres
- Engineer to inspect and certify
- Termite protection provided.


*[Signature]*

Accredited Certifier - BPB 0124

11 / 12 / 20 13.  
Date



# INSPECTION REPORT 5975

<input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input checked="" type="checkbox"/> Builder <input type="checkbox"/> Other _____	
Name <u>CAMPBELL (SHERWOOD)</u>	Tel/Email _____
PROPERTY ADDRESS	
<u>193 WHALE BEACH RD</u>	
INSPECTION TYPE	
<u>FRAMING</u>	
INSPECTION OUTCOME	
<b>Certifier Opinion</b> <input type="checkbox"/> Inspection stage is Satisfactory <input checked="" type="checkbox"/> Inspection stage is Satisfactory subject to Action Required <input type="checkbox"/> Inspection stage is Not Satisfactory	<b>Action Required</b> (read with NOTES below) <input checked="" type="checkbox"/> NO re-inspection required <input type="checkbox"/> Re-inspection required <input type="checkbox"/> Tick if result has also been given verbally
NOTES	
-BUILDER TO PROVIDE CHILDSAFE LOCKS/SCREENS TO COMPLY W/BCA-NCC 2013 TO WINDOWS B'DRM 1, 2, 3 -FRAMING ALL ERECTED SATISFACTORY & GENERALLY AS PER ENGINEERS SPECIFICATIONS -ENGINEER HAS INSPECTED & TO PROVIDE REPORT -ADEQUATE BRACING, TIE DOWNS & CONNECTOR BRACKETS IN PLACE -WATERPROOF MEMBRANE IN PLACE TO DECK 2. CONTRACTOR TO ISSUE CERTIFICATE OF COMPLIANCE -BED 3 WINDOWS TO COMPLY W/AS 1926.1 AS IS POOL FENCE.	
 Accredited Certifier - BPB <u>1714</u>	<u>20/5/2014</u> Date



FORM Building Certifiers Pty Ltd ABN 76 134 030 710 | PO Box 1824, Dee Why NSW 2099 | T/F +61 2 8021 9313 | info@formbc.com | www.formbc.com



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# INSPECTION REPORT 4755

<input type="checkbox"/> Owner	<input type="checkbox"/> Applicant	<input checked="" type="checkbox"/> Builder	<input type="checkbox"/> Other _____
Name <u>Campbell/ Ishwood</u>		Tel/Email _____	
<b>PROPERTY ADDRESS</b>			
<u>193 Whale Beach Rd, Whale Beach</u>			
<b>INSPECTION TYPE</b>			
<u>Stormwater + Final - Prelim + Pool fence</u>			
<b>INSPECTION OUTCOME</b>			
<b>Certifier Opinion</b>		<b>Action Required</b> (read with NOTES below)	
<input type="checkbox"/> Inspection stage is Satisfactory		<input type="checkbox"/> NO re-inspection required	
<input type="checkbox"/> Inspection stage is Satisfactory subject to Action Required		<input checked="" type="checkbox"/> Re-inspection required	
<input checked="" type="checkbox"/> Inspection stage is Not Satisfactory		<input type="checkbox"/> Tick if result has also been given verbally	
<b>NOTES</b>			
<ul style="list-style-type: none"> <li>- All windows to bedrooms where Floor Level is 2m above ground level outside must not open more than 125mm ✓</li> <li>- All windows to other rooms where FL is 4m above ground must not open more than 125mm ✓</li> <li>- Provide handrail + non slip nose/finish to stairs to comply with NCC. Handrail must be continuous ✓</li> <li>- Pool fence related issues discussed. ✓</li> <li>- Window over stair next to journey to be non operable so that no balustrade is required above stair, some form of barrier should be provided - KITCHEN LEVEL</li> <li>- Provide the cash barrier to the parking and turning (660mm) circle areas which is designed and certified by an engineer.</li> <li>- Provide the following certs - Form 3 ✓ by Geotech, Structural Engineer, Waterproof, termite protection, Smoke alarm, Survey ✓ confirming location + LLS + Volume requirements of ✓ OSD, Hydraulic ✓ Engineer for Stormwater + OSD, Basis compliance ✓ by builder, glazing + pool plumbing ✓, Driveway turning circle certification by civil engineer ✓</li> </ul>			
Accredited Certifier - BPB <u>0124</u>		Date <u>to 1/11/2014</u>	



# INSPECTION REPORT 3077

<input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input checked="" type="checkbox"/> Builder <input type="checkbox"/> Other _____	
Name <u>CAMPBELL SHERWOOD</u>	Tel/Email _____
<b>PROPERTY ADDRESS</b>	
<u>193 WHALE BEACH RD WHALE BEACH</u>	
<b>INSPECTION TYPE</b>	
<u>R1 FINAL</u>	
<b>INSPECTION OUTCOME</b>	
<b>Certifier Opinion</b>	<b>Action Required</b> (read with NOTES below)
<input type="checkbox"/> Inspection stage is Satisfactory	<input type="checkbox"/> NO re-inspection required
<input type="checkbox"/> Inspection stage is Satisfactory subject to Action Required	<input checked="" type="checkbox"/> Re-inspection required
<input checked="" type="checkbox"/> Inspection stage is Not Satisfactory	<input type="checkbox"/> Tick if result has also been given verbally
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>- CRASH BARRIER INSTALLED TO PARKING &amp; TURNING AREA WHICH HAS BEEN DESIGNED &amp; CERTIFIED BY ENGINEER.</li> <li>- BUILDER HAS ISSUED REPORT TO PCA</li> <li>- BALUSTRADE WIRE INSTALLED MUST COMPLY W/ NCC TABLE 3.9.2.1. AT TIME OF INSPECTION 3.0mm 1x19 LAG FER POSTS SPACING 1200mm IS 100mm I.E NON COMPLIANT.</li> <li>- WINDOW OVER STAIR NEXT TO JOINERY UNIT MADE NON OPENABLE BY USE OF SECURITY BOLT FIXING.</li> <li>- BALUSTRADE REQUIRED TO DRIVEWAY SECTION WHERE F.G.L IS 71.0m BELOW.</li> </ul>	
	
Accredited Certifier - BPB <u>1714</u>	Date <u>16/12/2015</u>



# INSPECTION REPORT 7323

☐ Owner ☐ Applicant ☒ Builder ☐ Other \_\_\_\_\_

Name CAMPBELL LISTERWOOD Tel/Email \_\_\_\_\_

## PROPERTY ADDRESS

193 WAHLE BEACH RD. WAHLE BEACH

## INSPECTION TYPE

R-I Final

## INSPECTION OUTCOME

Certifier Opinion	Action Required (read with NOTES below)
<input checked="" type="checkbox"/> Inspection stage is Satisfactory	<input checked="" type="checkbox"/> NO re-inspection required
<input type="checkbox"/> Inspection stage is Satisfactory subject to Action Required	<input type="checkbox"/> Re-inspection required
<input type="checkbox"/> Inspection stage is Not Satisfactory	<input type="checkbox"/> Tick if result has also been given verbally

## NOTES

- GROUND LEVEL F/DRIVEWAY TO 900mm WIDE SECTION OF RETAINING WALL BELOW MEASURERS 1.0m
- ADDITIONAL BALUSTRADE WIRES INSTALLED TO CAR TURNING BAY & LANDINGS @ FRONT DOOR TO ACHIEVE COMPLIANCE

Accredited Certifier - BPB

17/4

25/2/2015  
Date



**CAMPBELL ISHERWOOD  
BUILDING CONTRACTOR**

Builders License: 85865C  
ABN: 84374493075

Mobile: 0422308237  
Email: c.isherwood@optusnet.com.au

06/03/2015

Form Building Certifiers

PO Box 1824

Dee Why

2099

Project – 193 Whale Beach Rd , Whale Beach

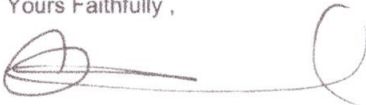
Client - Bradford

**Basix Certificate # 468582S-02 Compliance**

This is to certify that commitments as prescribed in Basix Certificate # 468582S-02 have been met in the construction of dwelling at 193 Whale Beach RD, Whale Beach. NSW

I am appropriately qualified to issue this Certificate , being the holder of current Builders Licence # 85865C .

Yours Faithfully ,



Campbell Isherwood

Builders Licence #85865C



# BASIX Completion Receipt

Receipt no.: CR-259152-475275S

This receipt is confirmation that the certifying authority identified below has satisfied the requirements of clause 154C of the Environmental Planning and Assessment Regulation 2000 for the development described in the 'BASIX Certificate details' section below.

Director-General  
Date of issue: Friday, 06/03/2015



Planning &  
Infrastructure

## Principal certifying authority

Name: Craig  
Accreditation scheme: BPB  
Accreditation number: 0124

## Final Inspection

Date of final inspection: Wednesday, 25/02/2015

## BASIX Certificate details

BASIX Certificate no.	468582S_02
Project name	193 Whale Beach Road_02
Street address	193 Whale Beach Road
Suburb	Whale Beach
Postcode	2107
Local Government Area	Pittwater Council



## RECORD OF MISSED INSPECTIONS

Under Clause 162C of the EP & A Regulation

**Site address:** 193 Whale Beach Road, Whale Beach

**Lot No. 1**                      **DP No. 228203**

**Construction Certificate No:** 2013-282

**Principal Certifying Authority:** Craig Formosa

**Accreditation No.**BPB0124

**Principal Contractor:** Campbell Isherwood

**Building work:** Alterations and additions to an existing dwelling

**BCA Classification:** 1a, 10a, 10b

**Missed Inspection Schedule:**

Type of Inspection	Result
<ul style="list-style-type: none"> <li>○ After excavation for, and prior to the placement of, any footings</li> <li>○ Prior to pouring in-situ reinforced concrete building element – Swimming Pool steel.</li> </ul>	<p>Missed</p> <p>Missed</p>

### Reasons for missed inspections:

- The principal contractor was not aware that only an accredited certifier could carry out the above critical stage inspection.

### PCA's Statement:

- I am satisfied that the work that would have been the subject of the missed inspection was satisfactory.

### Documentary Evidence Relied Upon:

- 

Structural Engineers Inspection Reports

Craig Formosa

**Principal Certifying Authority**

*Per letter sent to owner*





19 December 2014

## INSPECTION CERTIFICATE FOR STRUCTURAL COMPONENT

Alterations and Additions at  
193 Whale Beach Road,  
Whale Beach, NSW, 2107

I, Matthew O'Hearn, being a Structural Engineer within the meaning of the Building Code of Australia, hereby certify that my staff and I have carried out structural inspections in accordance with accepted engineering practice and principles during the construction of the residential house structure at the above address.

At the time of the inspections, once rectified as noted on the site inspection reports conformed, in my opinion, with the intent of AS1170 (Loading), AS1684 (Timber), AS1720 (Timber), AS2159 (Piling), AS2783 (Swimming Pool) AS3600 (Concrete), AS3700 (Masonry), AS4100 (Steel) the BCA (Volume 2, Part 2.1) and the structural engineering listed below.

12222 S01 Rev D	12222 S02 Rev D	12222 S03 Rev D	12222 S04 Rev D
12222 S05 Rev D	12222 S06 Rev C	12222 S07 Rev B	12222 S08 Rev C
12222 S09 Rev B	12222 S10 Rev B	12222 S11 Rev C	12222 S12 Rev C
12222 S13 Rev A			

The builder was instructed to complete or rectify the items listed on the Site Inspection Reports listed below (copies of which are attached) prior to the completion of the construction.

SIR 12222 250213	SIR 12222 060313	SIR 12222 180313	SIR 12222 020413
SIR 12222 160413	SIR 12222 030513	SIR 12222 290513	SIR 12222 111213
SIR 12222 210214	SIR 12222 280314	SIR 12222 270514	SIR 12222 311014
	SIR 12222 141114	SIR 12222 171214	

During the course of construction the design was altered by the following(copies attached):  
Kitchen Alterations – 05/06/13 Rev A  
Email Confirmation of Timber Sizes – 14/06/13

This certificate shall not be construed as relieving any other party of their responsibilities.

Signed

MATTHEW O'HEARN

BE (Structural), FIEAust, CPEng, NPER (Civil & Structural), RPEQ 7854  
Registered Building Practitioner EC26654  
Member of College of Structural Engineers (IEAust)  
Member of College of Civil Engineers (IEAust)





**O'Hearn Consulting**  
ABN 47101526532

Suite 1, 39 Darcy Rd  
Wentworthville NSW 2145

**Telephone (02) 9896 2988**  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 250213**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

**Project: Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

**Date of Inspection: 25.02.13**

**Job No: 12222**

**No Pages: 1 (total)**

**Copies: Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

**mdavies@ivegottime.com.au**  
**hugh@campbellarchitecture.com.au**  
**c.isherwood@optusnet.com.au**

**Inspection Type: 1. Swimming Pool Piers Inspection**

**Attendees: Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The builder had cleared the site and excavated the piers for the swimming pool. The piers were significantly deeper than expected. The geotechnical engineer was expected on site later in the afternoon to assess the foundation capacity. The builder was subsequently advised to
  - a. Allow 500mm for the pool shell edge beam, (This may in fact be 400mm which I will confirm as part of the pool design.)
  - b. Provide 4/N16-3000 bars in each of the piers. 2300 in, 700 out (these bars will be cut down / copped once the pool design is completed). For the piers that are less than 2400 deep there will be a greater top projection.
  - c. Provide a tie top and bottom to locate the bars and ensure the 100mm cover is maintained.
2. A number of other components of the design were discussed including
  - a. The rear retaining wall
  - b. The lateral bracing in the Western Elevation
  - c. The retaining wall at the next level.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice

---



O'Hearn Consulting  
ABN 47101526532

Suite 1, 39 Darcy Rd  
Wentworthville NSW 2145  
Telephone (02) 9896 2988  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 060313**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

**Project: Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

**Date of Inspection: 06.03.13**

**Job No: 12222**

**No Pages: 1 (total)**

**Copies: Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

**mdavies@ivegottime.com.au**  
**hugh@campbellarchitecture.com.au**  
**c.isherwood@optusnet.com.au**

**Inspection Type: 2. Strip Footing Inspection 1 (SF2)**

**Attendees: Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The builder had formed up and reinforced the first stage of the strip footings (SF2) and they generally appeared to be in accordance with the engineering drawings and the design intent. The builder had made a number of acceptable changes to the engineering design as follows:

- a. Provided a construction joint at the Eastern end of the SF2 as it connects to SF1. The builder had provided 3/Galv. N16 starter bars top and bottom.
- b. Provided a construction joint at the Western end of the SF2 as it connects to SF1. The joint was located horizontally within the vertical step.
- c. Omitted the pier in the North Eastern corner as rock was still high at this location. The rock also directly supported SF2 at the construction joint.

The builder was instructed to undertake the following prior to pouring concrete

- a. Provide blockwork starter bars as per the engineering drawings.
  - b. Ensure cover is maintained
  - c. Clean the softened material out of the base of the SF2 at the North Eastern corner where it is founded directly on rock.
  - d. Cure and vibrate the concrete.
2. The MW1 (190 blockwork) at the rear of the lower ground slab requires back propping before it is backfilled and this propping is to stay in place until the ground floor slab is constructed.
  3. The staggered P2 piers on the western edge were installed as mass concrete piers. The builder is to provide starter bars for these three piers. Drill & epoxy 3/N16, 500 deep, cogg into the strip footing. (min 150 cover)
  4. One of the pool piers was located in accordance with the now old structural documentation. The detail around this pier is to be resolved once the location of this pier relative to the terrace is established.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice

---





**O'Hearn Consulting**  
ABN 47101526532

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Wentworthville NSW 2145  
**Telephone (02) 9896 2988**  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 180313**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

**Project: Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

**Date of Inspection: 18.03.13**

**Job No: 12222**

**No Pages: 1 (total)**

**Copies: Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

**mdavies@ivegottime.com.au**  
**hugh@campbellarchitecture.com.au**  
**c.isherwood@optusnet.com.au**

**Inspection Type: 3. Strip Footing Inspection 2 (SF1)**

**Attendees: Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The builder had formed up and reinforced the second stage of the lower level strip footings (SF1) and they generally appeared to be in accordance with the engineering drawings and the design intent. The builder was instructed to undertake the following:
  - a. Ensure cover is maintained
  - b. Cure and vibrate the concrete.
2. The core filled blockwork walls on the Northern and Western edges (MW2) had been laid and reinforced and generally appeared to be in accordance with the engineering drawings. Where the wall changes height significantly (i.e. on strip footing steps >600) minor cracking is likely.
3. The three pool terrace piers were discussed.
  - a. The face of the Western pier is located about 150mm back from the edge of the terrace. The thickening will be increased to nom. 500x650 to accommodate the pier location.
  - b. The starter bars for the two Eastern piers are to be galv. And may be drilled and epoxied once the piers are constructed. 1000 long, embed 500, project 500.
4. The construction of the Western garden retaining wall was discussed. This area appears to be fill stockpiled from a previous works. A number of options were discussed, the structural design of this area is to be confirmed once the layout and soil depths are established.
5. The temporary back propping of the MW1 wall was discussed.
  - a. It is to be installed once the lower ground floor slab is constructed and prior to the wall being backfilled and removed once the ground floor slab is constructed.
  - b. Provide Coates Standard Tilt Props (SWL 40kN@4.4m) @ max. 1800 cts, located 600mm down from the top of the wall (approx. 2.05m vertical, 3.9m horizontal and 4.4m on the angle). Provide M16 ramset chemset 101 epoxy anchors top & btm of props.
  - c. While the 4t excavator is behind the wall double the number of props. (i.e. props @ 900 cts).
  - d. The backfill behind the walls shall be in accordance with the geotech report. "lightly compacted to minimize horizontal stresses"
  - e. Provide an additional 3/N16 @ 200 cts horizontal reinforcement in the blockwork wall at the height of the props.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice



O'Hearn Consulting  
ABN 47101526532

Suite 1, 39 Darcy Rd  
Wentworthville NSW 2145

Telephone (02) 9896 2988  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 020413**

This report does not relieve the Contractor of  
responsibility for compliance with the terms  
and conditions of contract.

Project: **Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

Date of Inspection: **02.04.2013**

Job No: **12222**

No Pages: **1 (total)**

Copies: **Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

[mdavies@ivegottime.com.au](mailto:mdavies@ivegottime.com.au)  
[hugh@campbellarchitecture.com.au](mailto:hugh@campbellarchitecture.com.au)  
[c.isherwood@optusnet.com.au](mailto:c.isherwood@optusnet.com.au)

Inspection Type: **4. Block wall reinforcing MW1 (Lower Ground – Ground)**

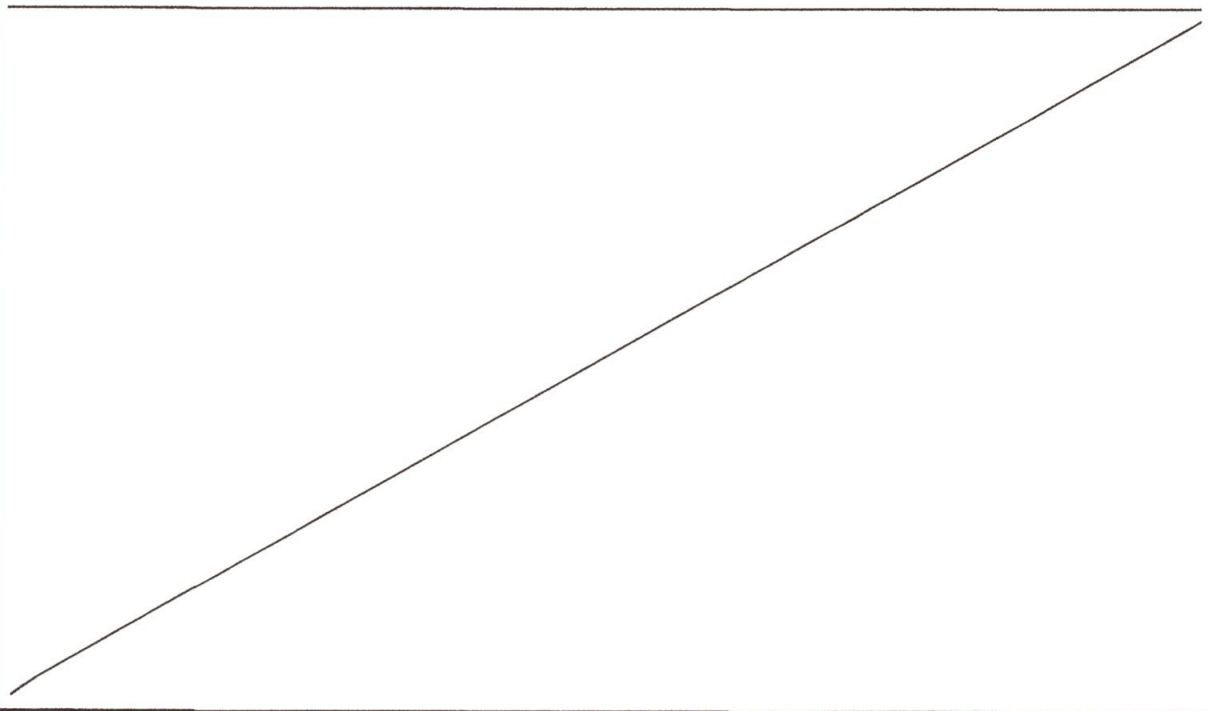
Attendees: **Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The builder had constructed the block wall MW1, installed the reinforcing and cleaned out the block cores. Formwork to close up the clean-out was being carried out as I was on site. I am satisfied that the block wall and reinforcing has been installed in accordance with the intent shown on our drawings.
2. The builder shall core fill the blockwork and vibrate the core filling in accordance with good building practice to ensure that the cores are completely filled and free from cavities.

Should any part of this report require further clarification please contact the undersigned.

Inspector: Matthew O'Hearn







**O'Hearn Consulting**  
ABN 47101526532

Suite 1, 39 Darcy Rd  
Wentworthville NSW 2145

**Telephone (02) 9896 2988**  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 160413**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

**Project: Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

**Date of Inspection: 16.04.13**

**Job No: 12222**

**No Pages: 1 (total)**

**Copies: Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

**mdavies@ivegottime.com.au**  
**hugh@campbellarchitecture.com.au**  
**c.isherwood@optusnet.com.au**

**Inspection Type: 5. Lower Ground Floor Slab Reinforcing**

**Attendees: Campbell Isherwood**

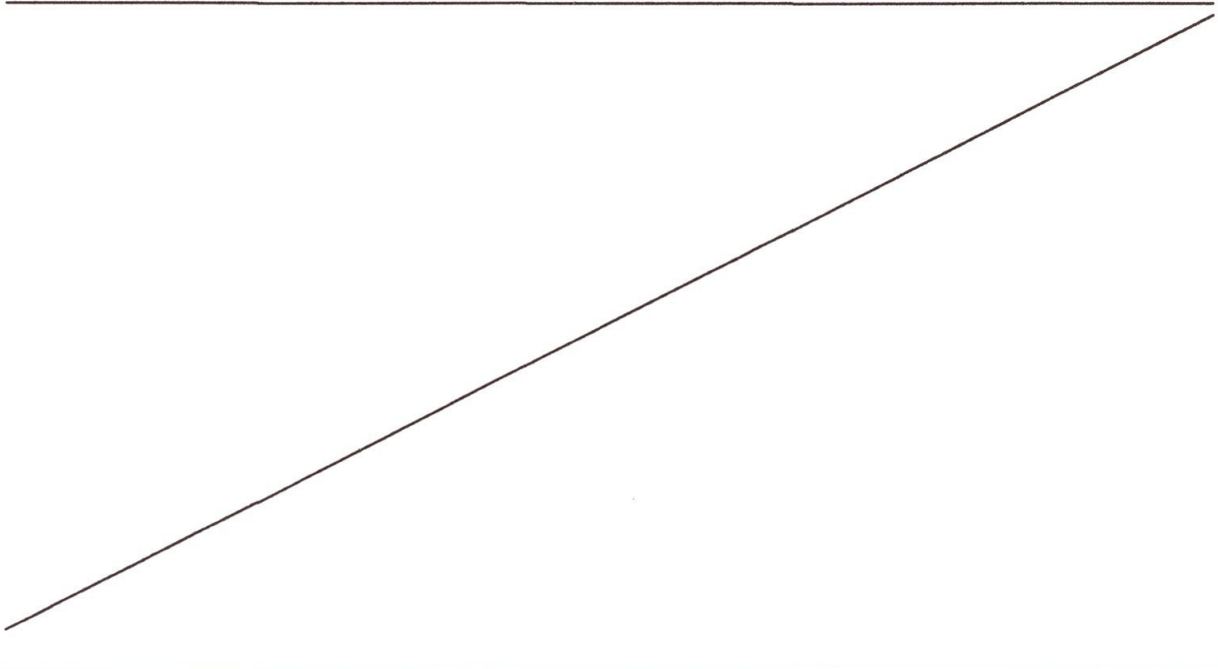
**Observations, Comments & Recommendations:**

1. The builder had formed up and reinforced the lower ground floor slab and it generally appeared to be in accordance with the engineering drawings and the design intent. The builder was instructed to undertake the following:
  - a. Provide blockouts for the steel columns. Cut the top reinforcement locally and provide trimmer bars.
  - b. Provide trimmer bars at each end of the strip drain
  - c. Provide a trimmer bar at the top of the wing wall
  - d. Lift the "L" hanging bars along the leading edge of the terrace downturn. To be tied to the underside of the slab top reinforcement.
  - e. Check and maintain the concrete cover.
  - f. Cure and vibrate the concrete in accordance with the engineering drawings

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice





**O'Hearn Consulting**  
ABN 47101526532

Suite 1, 39 Darcy Rd  
Wentworthville NSW 2145  
**Telephone (02) 9896 2988**  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 030513**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

**Project: Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

**Date of Inspection: 03.05.13**

**Job No: 12222**

**No Pages: 1 (total)**

**Copies: Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

**mdavies@ivegottime.com.au**  
**hugh@campbellarchitecture.com.au**  
**c.isherwood@optusnet.com.au**

**Inspection Type: 6. Lower Ground Level Strip Footing Inspection (SF3)**

**Attendees: Campbell Isherwood**

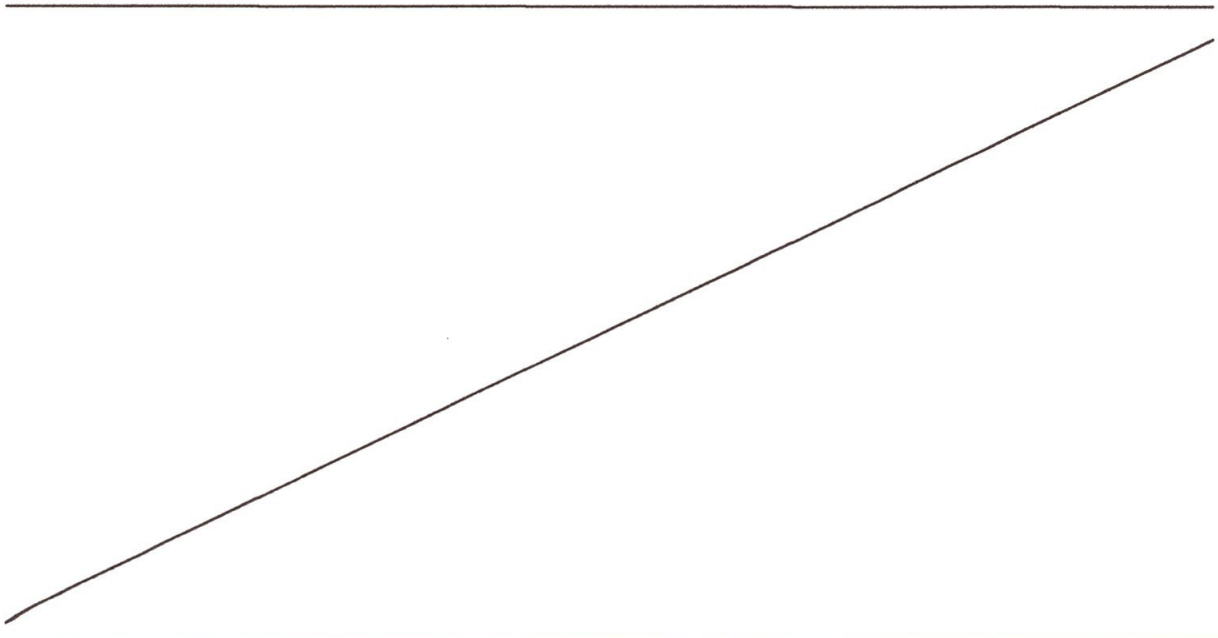
**Observations, Comments & Recommendations:**

1. The builder had excavated and reinforced the retaining wall strip footing which generally appeared to be in accordance with the engineering drawings and the design intent. The builder was instructed to undertake the following:
  - a. Check and maintain the concrete cover
  - b. Cure & vibrate the concrete.
2. As previously discussed the builder had incorporated the adjacent piers into the footing and intended to construct them as buttresses incorporated into the blockwork wall.
  - a. Use cleanout blocks facing inwards nominally every 4<sup>th</sup> course to allow the concrete core to fill and key into the blockwork perimeter.
  - b. Drill & epoxy starter bars for the concrete core. 4/N20 bars (one each corner) embed 300, project 700. The concrete core reinforcement should be 4/N20 vertical bars with R10 ties @ 800 cts.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice







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ABN 47101526532

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Wentworthville NSW 2145

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Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 290513**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

**Project: Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

**Date of Inspection: 29.05.13**

**Job No: 12222**

**No Pages: 1 (total)**

**Copies: Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

**mdavies@ivegottime.com.au**  
**hugh@campbellarchitecture.com.au**  
**c.isherwood@optusnet.com.au**

**Inspection Type: 7. North Western RW Footing & Swimming Pool Reinforcing**

**Attendees: Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The footing for the North Western RW footing was previously discussed as follows:
  - a. Approx. 2000 high (1700 backfill and 300 retention) and footing from schedule.
  - b. The piers were increased to 450 dia and reinforced with 4/N16 'L' bars, with rock expected 1500 below the footing and piers embed a further 1200 into rock.
  - c. The first pier adjacent to house located about 1000mm from house.
  - d. An additional pier in the longest length of the wall (8 in total)
  - e. Pin the RW footing to the house footing with 5/Galv N16 bars, embed 150, project 350.
  - f. Restrain the boundary return of the footing by keying the piers into the higher level rock.

The builder had excavated and reinforced the footing for the North Western RW which generally appeared to be in accordance with the engineering drawings and the previous discussions as outlined above. The wall was confirmed at 1600 high (1300 backfill & 300 retention) and was founded on a footing for a 2000 high wall. The builder was instructed to:

- a. Complete the reinforcement. ('Z' bars in steps & pier reinforcement)
  - b. Check and maintain the concrete cover
  - c. Cure & vibrate the concrete.
2. The builder had formed up and installed the majority of the reinforcing in the swimming pool. The installed reinforcement generally appeared to be in accordance with the engineering drawings and the design intent. The builder was instructed to undertake the following:
  - a. Complete the reinforcement in accordance with the engineering drawings and provide photographs to OHC of this completed work.
    - i. Base reinforcing top layer
    - ii. Skimmer box reinforcement
  - b. The bar chairs on the exposed face were plastic tipped wire chairs which should not be used this close to the ocean, there is the potential for corrosion and subsequent staining of the concrete surface. These bars chairs shall be plastic and preferably wheels or similar to facilitate concrete placement.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice



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ABN 47101526532

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Wentworthville NSW 2145  
Telephone (02) 9896 2988  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 111213**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

Project: **Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

Date of Inspection: **11.12.13**

Job No: **12222**

No Pages: **1 (total)**

Copies: **Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

mdavies@ivegottime.com.au  
hugh@campbellarchitecture.com.au  
c.isherwood@optusnet.com.au

Inspection Type: **8. Ground Floor Slab Inspection**

Attendees: **Campbell Isherwood**

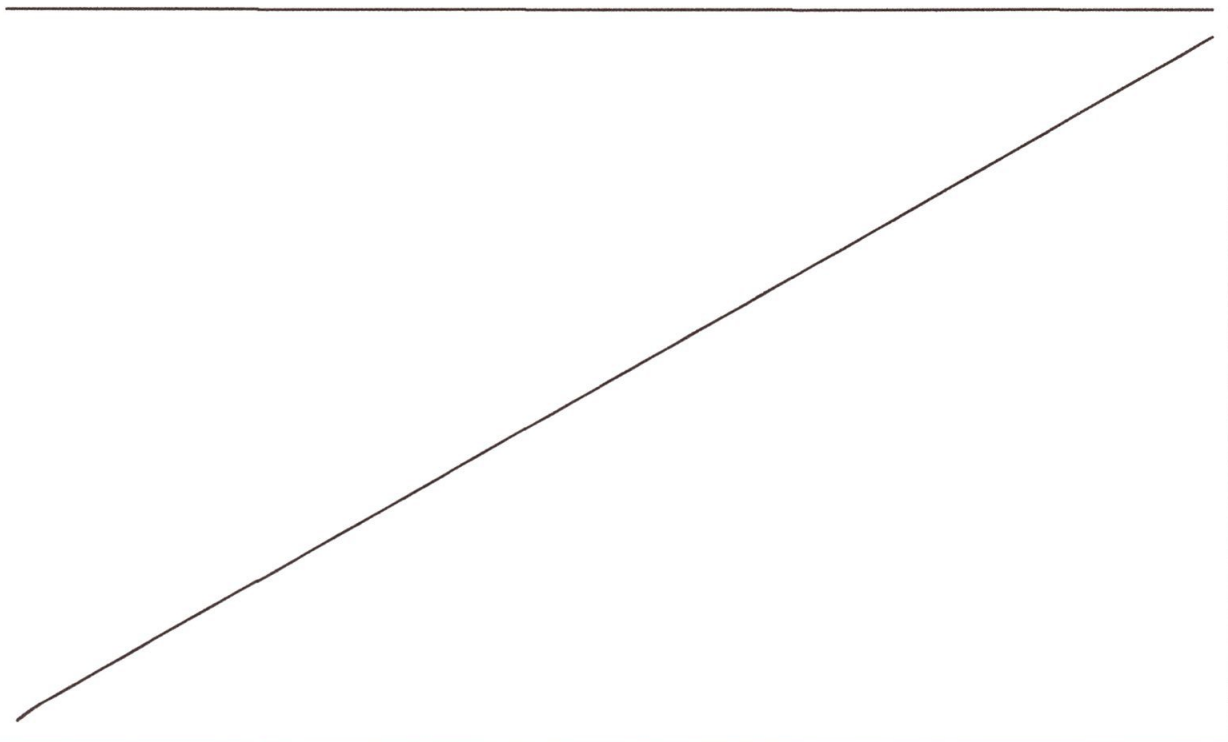
**Observations, Comments & Recommendations:**

1. The ground floor slab had been formed up and reinforced and generally appeared to be in accordance with the engineering drawings and the design intent. The builder was instructed to undertake the following:
  - a. Pre-camber the cantilevered south eastern corner nominally 10-15mm.
  - b. Install top horizontals in the extended thickening under the kitchen servery.
  - c. Install 2/N12 diagonal trimmer bars nom. 1000 long at the re-entrant corners.
  - d. Install additional bottom reo in the slab downturn / beam near the laundry pier.
  - e. Check and maintain the concrete cover.
  - f. Clean the formwork.
  - g. Cure and vibrate the concrete.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: **Brendon Prentice**







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Wentworthville NSW 2145

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Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 210214**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

Project: **Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

Date of Inspection: **21.02.14**

Job No: **12222**

No Pages: **1 (total)**

Copies: **Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

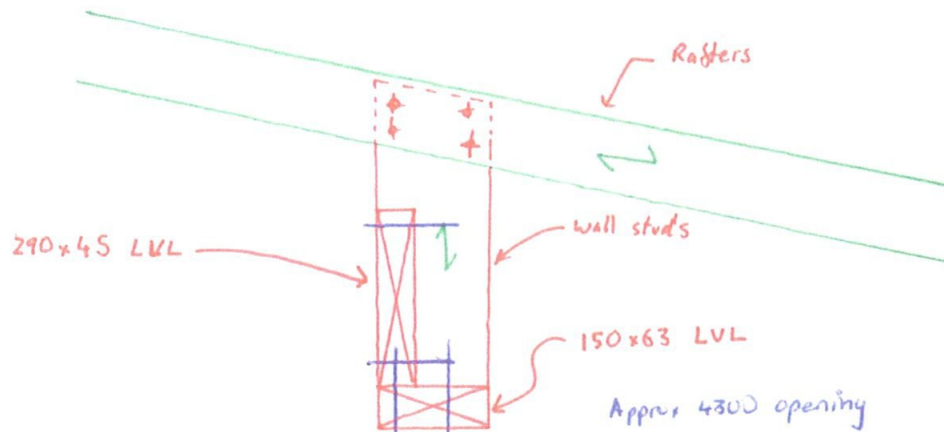
mdavies@ivegottime.com.au  
hugh@campbellarchitecture.com.au  
c.isherwood@optusnet.com.au

Inspection Type: 9. Steel & Timber Framing Inspection 1

Attendees: Campbell Isherwood

Observations, Comments & Recommendations:

1. The steel and timber framing for the first floor and the upper levels walls had been installed and generally appeared to be in accordance with the engineering drawings & the design intent. The builder was instructed to undertake the following:
  - a. Provide packing etc as lateral restraint to SB28.
  - b. Provide an additional 2 / full height studs on each side of the upper roofs L31, from top to bottom plate.
  - c. Provide fixings to secure the SB33 beams from lateral movement at each end.
  - d. The builder requested a birdsmouth to the R21 & R31 rafters. A maximum 16mm birdsmouth was agreed. Do not overcut the birdsmouth.
  - e. The bolted steelwork connections would interfere with the raised ceiling linings, the bolts may be removed and the beams welded to the column end plates. Typical for SB21, SB22, SB23, SB24. Reinstate the corrosion protection with Jotun 'Barrier' zinc rich 2 part epoxy
  - f. The intermediate walls on each side of the entrance space require lintels which may be constructed as follows.



Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice



**O'Hearn Consulting**  
ABN 47101526532

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Wentworthville NSW 2145  
**Telephone (02) 9896 2988**  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 280314**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

**Project: Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

**Date of Inspection: 28.03.14**

**Job No: 12222**

**No Pages: 1 (total)**

**Copies: Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

**mdavies@ivegottime.com.au**  
**hugh@campbellarchitecture.com.au**  
**c.isherwood@optusnet.com.au**

**Inspection Type: 10. Steel & Timber Framing Inspection 2**

**Attendees: Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The steel and timber framing for the upper levels roofs had been installed and generally appeared to be in accordance with the engineering drawings & the design intent. The builder was instructed to undertake the following:
  - a. Complete the installation of the timber framing in accordance with the timber framing code. (i.e. nogs @ max 1350 cts) and the engineering drawings. Complete the installation of the roofing plywood and linings for the pavilion roof.
  - b. The southern pair of hip rafters (HR31) had been notched significantly to allow connection to the steel beam (SB32). Provide Struts and tiedowns to these hips to the adjacent internal wall as additional support.
  - c. Rectify the tie down of the Eastern end of steel beam (SB31) by coupling the cut tie down rod and continuing it to the top plate.
  - d. The roof lining plywood had been installed as a structural grade F14 and nailed at approximately 200 cts to create an additional diaphragm.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice





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ABN 47101526532

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Wentworthville NSW 2145

Telephone (02) 9896 2988  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 270514**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

Project:	<b>Alterations &amp; Additions</b> <b>193 Whale Beach Road</b> <b>PALM BEACH, NSW</b>	Date of Inspection:	<b>27.05.14</b>
		Job No:	<b>12222</b>
		No Pages:	<b>1 (total)</b>
Copies:	<b>Mark Davies (I've Got Time)</b> <b>Hugh Campbell (Architect)</b> <b>Campbell Isherwood (Builder)</b>	mdavies@ivegottime.com.au hugh@campbellarchitecture.com.au c.isherwood@optusnet.com.au	

Inspection Type: 11. Steel & Timber Framing Inspection 3

Attendees: Campbell Isherwood, Matthew O'Hearn, Hugh Campbell

Observations, Comments & Recommendations:

1. The steel and timber framing for the Pavilion roof had been installed and appeared to be in accordance with the engineering drawings & the design intent.
2. The steel and timber framing for the upper level roof was re-inspected to look at the completion of the items as listed in the Site Report dated 28 March 2014 – all items appeared to have been adequately addressed.
3. The builder is to complete the following prior to sheeting the wall linings:
  - a. Tighten all tie-down rods

Should any part of this report require further clarification please contact the undersigned.

Inspector: Matthew O'Hearn BE FIEAust CPEng



**O'Hearn Consulting**  
ABN 47101526532

Suite 1, 39 Darcy Rd  
Wentworthville NSW 2145

**Telephone (02) 9896 2988**  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 311014**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

**Project: Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

**Date of Inspection: 31.10.14**

**Job No: 12222**

**No Pages: 1 (total)**

**Copies: Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

**mdavies@ivegottime.com.au**  
**hugh@campbellarchitecture.com.au**  
**c.isherwood@optusnet.com.au**

**Inspection Type: 12. Driveway Strip Footings**

**Attendees: Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The builder had previously constructed the piers for the Northern section of the driveway.
2. The strip footings over these piers had been excavated and reinforced and generally appeared to be in accordance with the engineering drawings and the design intent. The builder was instructed to undertake the following:
  - a. Provide 2/N16 'Z' bars as hangers at the boundary corner pier.
  - b. Provide 4/N16 'Z' bar hangers at the adjacent strip footing intersection not over a pier.
  - c. The reinforcement in the Eastern footings was discussed and rationalized with the corner bars lapping with the step bars to minimize steel congestion.
  - d. Install the remainder of the blockwork starter bars
  - e. Check and maintain the concrete cover
  - f. Cure & vibrate the concrete.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice





O'Hearn Consulting  
ABN 47101526532

Suite 1, 39 Darcy Rd  
Wentworthville NSW 2145  
Telephone (02) 9896 2988  
Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 141114**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

Project: **Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

Date of Inspection: **14.11.14**

Job No: **12222**

No Pages: **1 (total)**

Copies: **Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

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hugh@campbellarchitecture.com.au  
c.isherwood@optusnet.com.au

Inspection Type: **13. Driveway Strip Footings Inspection 2**

Attendees: **Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The builder had previously constructed the piers for the Eastern side of the driveway.
2. The boundary retaining wall strip footing over these piers had been excavated and reinforced and generally appeared to be in accordance with the engineering drawings and the design intent. The builder was instructed to undertake the following:
  - a. Provide the 'U' bars for the slab connection.
  - b. Check and maintain the concrete cover
  - c. Cure & vibrate the concrete.
3. The connection between the footing and driveway slab was discussed with additional N16 @ 400 'Z' bars front and back with lacing bars in the cogs specified for the deeper downturn beam.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: Brendon Prentice

---



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ABN 47101526532

Suite 1, 39 Darcy Rd  
Wentworthville NSW 2145

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Facsimile (02) 9896 1877

**Site Inspection Report**  
**SIR No: 12222 171214**

This report does not relieve the Contractor of responsibility for compliance with the terms and conditions of contract.

Project: **Alterations & Additions**  
**193 Whale Beach Road**  
**PALM BEACH, NSW**

Date of Inspection: **17.12.14**

Job No: **12222**

No Pages: **1 (total)**

Copies: **Mark Davies (I've Got Time)**  
**Hugh Campbell (Architect)**  
**Campbell Isherwood (Builder)**

mdavies@ivegottime.com.au  
hugh@campbellarchitecture.com.au  
c.isherwood@optusnet.com.au

Inspection Type: **14. Driveway Slab**

Attendees: **Campbell Isherwood**

**Observations, Comments & Recommendations:**

1. The driveway slab had been formed up and reinforced and generally appeared neat, tidy and in accordance with the engineering drawings and the design intent. The builder was instructed to undertake the following:
  - a. Provide 2/N16 trimmer bars adjacent to the boundary retaining wall
  - b. Provide the trimmer bars around the pits near the concrete balustrade
  - c. Check and maintain the concrete cover.
  - d. Clean the formwork.
  - e. Cure and vibrate the concrete.

Should any part of this report require further clarification please contact the undersigned.

*B. Prentice*

Inspector: **Brendon Prentice**



Reference: 2013.0010-L01

Date: February 13, 2015

Principal Certifying Authority

S&G Consultants Pty Limited

ABN 21 118 222 530

Dear Sir,

**RE: PROPOSED RESIDENCE  
WAE CERTIFICATE – STORMWATER DRAINAGE**

Suite 113, Bldg A, Level 1

20 Lexington Drive

Bella Vista NSW 2153

SUBJECT PREMISES 193 Whale Beach Road, Whale Beach

DEVELOPMENT APPLICATION DA N0054/12

S&G Consultants Pty Ltd have reviewed the works-as-executed drawings prepared by Adam Clerke Surveying (registered surveyor) and can certify that the works have been generally constructed in accordance with the approved design details for the above project.

PO Box 7855

Baulkham Hills

NSW 2153

The works-as-executed drawings indicate that:

- The actual storage volume of the On-Site Detention tank/basin is 12m<sup>3</sup> as measured by the surveyor; and
- The anticipated performance of the system complies with the design intent.

**Project** 193 Whale Beach Road, Whale Beach  
**Full Name of Inspector:** Samer El Haddad  
**Qualifications:** MIEAust. CPEng. NPER-3 (2247040)  
**Address of Designer:** Suite A113, 20 Lexington Drive  
BELLA VISTA, NSW 2153  
**Business Telephone No:** 02-8883 4239  
**Business Fax No:** 02-9672 6977  
**Name of Employer:** S&G Consultants Pty Limited

T +61 2 8883 4239

F + 61 2 9673 6977

E office@sgce.com.au

W www.sgce.com.au

**Signature:**



Consulting Civil Engineers

Yours faithfully  
**S&G Consultants Pty Limited**

SYDNEY

# ADAM CLERKE SURVEYORS PTY LTD

Incorporating PAUL KEEN & COMPANY  
LAND & ENGINEERING SURVEYORS  
Adam Clarke BSURV (Hons) USQ (REG'D SURV. M.I.S.AUST.)

TEL: 9918-4111/9997-3088  
FAX: 9918-4011/9997-8991

## SURVEY REPORT

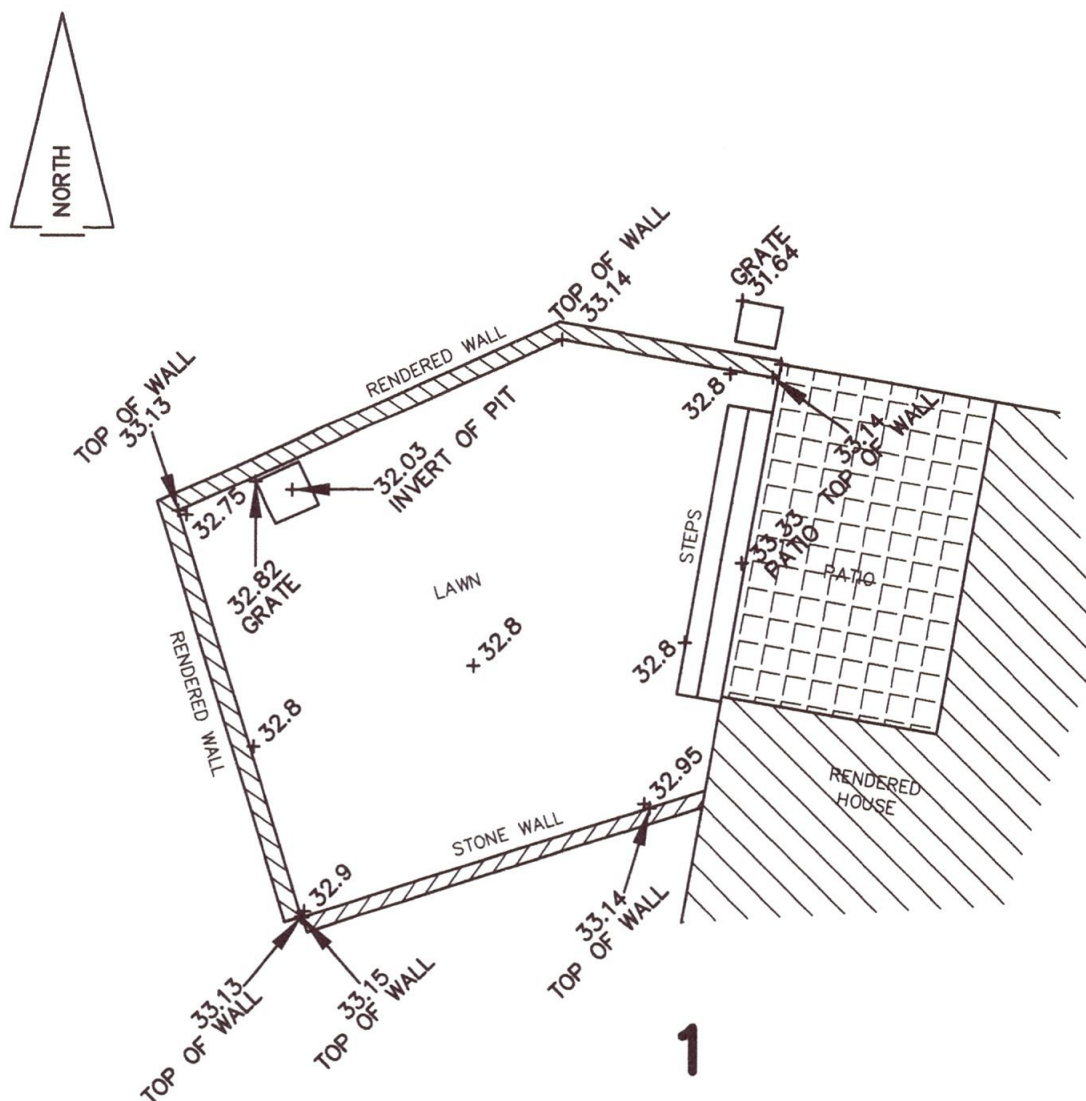
E-MAIL: pkeensvy@bigpond.net.au

SKETCH SHOWING POSITION, LEVEL &  
VOLUME OF O.S.D SYSTEM.  
No.193 WHALE BEACH ROAD, WHALE BEACH

P.O.BOX 175  
NEWPORT 2106.  
38 KEVIN AVENUE,  
AVALON 2107.

DATE: 2<sup>nd</sup> Dec. 14  
REF: 12111J

*A Clarke*  
Adam Clarke



## D.P.228203

### NOTES:

- THE VOLUME OF THE O.S.D SYSTEM IS 12000L
- LEVELS SHOWN ARE ON A.H.D.



# **CROZIER - Geotechnical Consultants**

*Engineering Geologists & Geotechnical Engineers*

(A Division of PJC Geo-Engineering Pty Ltd)

A.B.N 96 113 453 624

Unit 12 / 42-46 Wattle Road, Brookvale. NSW, 2100.

Phone: 9939-1882 Fax: 9939-1883

**Date:** 17<sup>th</sup> December 2014

**No Page:** 1 of 4

**Project No.:** 2011-167A

The Manager,  
Development Compliance Office  
Pittwater Council  
Mona Vale Customer Service Centre,  
Village Park, 1 Park Street,  
Mona Vale. 2103.

**RE: Proposed Additions & Alterations 193 Whale Beach Road, Whale Beach.**

Recently we received a request from the Builder Campbell Isherwood to inspect the completed works at the above site. We have inspected the site works during construction and recently on completion and are of the opinion that they were generally carried out in accordance with the recommendations in our report titled; "Geotechnical Investigation for Additions and Alterations at 193 Whale Beach Road, Whale Beach." Report Number: 2011-167, Dated: 15<sup>th</sup> December 2011.

Council's Form: 3 of the Risk Management Policy has been completed and enclosed with this letter. We would suggest that the maintenance schedule as detailed on the attached page and Table: 2 (copies enclosed) be set as minimal requirements for this site.

Hope the above information meets Councils requirements. If we can be of further assistance in regards to this matter please don't hesitate to contact the undersigned.

Yours faithfully,



Peter Crozier  
MSc. MIE Aust. CPEng. NPER.  
Registration Number: 691550.

**Attached:**

1. Maintenance Schedule.
2. Table: 2 Schedule.
3. Form: 3.

*CROZIER - Geotechnical Consultants  
Project No: 2011-167A, December, 2014.*

**Maintenance Schedule:**

A recommended maintenance program for this site is given in Table: 2 and should also include the following guidelines

- The conditions on the block don't change from those present at the time this report was prepared, except for the changes due to this development.
- There is no change to the property due to an extraordinary event external to this site, and the property is maintained in good order and in accordance with the guidelines set out in;
  - a) CSIRO sheet No. 10-91 1988 and ,
  - b) The Australian Geomechanics article "Geotechnical Risk Associated with Hillside Development" Number 10, December 1985, Australian Geomechanics Society, March 2007, Titled "Landslide Risk Management" in the Journal and News of the Australian Geomechanics Society, Volume 42, No 1 and,
  - c) Comply with the requirements of AS 2870 – 1996, Australian Standard for Residential Slabs and Footings.

Where changes to site conditions are identified during the maintenance and inspection program, reference should be made to relevant professionals (e.g. structural engineer, geotechnical engineer or Council).

It is assumed that Pittwater Council will carry out regular inspections of the soil slopes, trees, undergrowth on public land and reserve adjacent to the site so as to ensure that stability conditions do not deteriorate with potential increase in risk level to the site. And that individual Government Departments will maintain public utilities in the form of power & phone lines, water mains, gas, sewer and stormwater lines to ensure they don't leak and increase the local groundwater level, fire or landslide potential.



**TABLE: 2**

**Recommended Maintenance and Inspection Program**

Structure	Maintenance/ Inspection Item	Frequency
Stormwater drains,	Owners to inspect to ensure that the drains, and pipes are free of debris & sediment build-up. Clear surface grates and litter.	Every year or following each major rainfall event.
Retaining Walls.	Owners to inspect walls for deviation from as constructed condition.	Every two years or following major rainfall event.
Large Trees on or adjacent to site	Arborist to check condition of trees and remove branches as required.	Every five years
Slope Stability	Hydraulics (stormwater) & Geotechnical Consultants to check on site stability at same time and provide report.  Owners to inspect after every major storm event.	One year after construction is completed.

**N.B.** Provided the above schedule is maintained the design life of the property should conform with Pittwater Councils Risk Management Policy.

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER**  
**FORM NO. 3 – Post Construction Geotechnical Certificate to be submitted with**  
**Occupation Certificate or Subdivision Certificate**

Development Application for _____	Name of Applicant _____
Address of site <u>193 Whale Beach Road, Whale Beach</u>	

**Declaration made by geotechnical engineer on completion of the Development**

I, Peter Crozier on behalf of Crozier Geotechnical Consultants

on this the 17<sup>th</sup> December 2014

certify that I am a Geotechnical Engineer, Engineering Geologist and/or ~~Coastal Engineer~~ as defined by the Geotechnical Risk Management Policy for Pittwater - 2009. I am authorised by the above ~~organisation~~/company to issue this document and to certify that the ~~organisation~~/company has a current professional indemnity policy of at least \$2million. I prepared and/or verified the Geotechnical Report as per Form 1 dated referred to below.

**Geotechnical Report Details:**

Report Title: <u>Additions &amp; Alterations at 193 Whale Beach Road, Whale Beach</u>
Report Date: <u>15<sup>th</sup> December 2011</u> (Project Number: <u>2011-167</u> )
Author: <u>Troy Crozier</u>
Author's Company/Organisation: <u>Crozier Geotechnical Consultants</u>

☐ I reviewed the original structural design, and where applicable the subsequently amended structural details (below listed) which have been incorporated into the completed project.

☐ I have inspected and/or am satisfied that the foundation materials, upon which the structural elements (as detailed in the original and amended structural documents) of the development have been erected, comply with the requirements specified in the Geotechnical Report and the Construction Certificate approved Structural Plans.

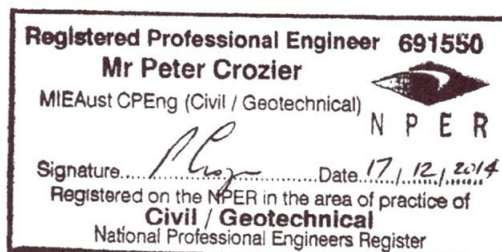
☒ I have inspected the site during construction and to the best of my knowledge, I am satisfied that the development referred to in the development consent D.A. \_\_\_\_\_ dated \_\_\_\_\_ (D.A.No) \_\_\_\_\_  
 \_\_\_\_\_  
 (Date consent given)

has been constructed in accordance with the intent of the Geotechnical Report, the requirements of the conditions of Development Consent and the Construction Certificate approved Structural Plans relating to the geotechnical issues (including any treatment and/or maintenance plan that may be required to remove risk where reasonable and practical).

I am aware that Pittwater Council require this certificate prior to issuing an occupancy certificate for the development identified above and will rely on this certificate in regard to the development having achieved the "Acceptable Risk Management" criterion defined in the Policy and that reasonable and practical measures have been taken to remove foreseeable risk.

List of all work as executed drawings and Ongoing Maintenance plans relevant to geotechnical risk management.

<u>As per attached letter and Table 2 enclosed</u>
--







# CERTIFICATE OF COMPLIANCE

This document is to certify that the Kordon TMB / TB system was installed by a Bayer Accredited Installer and has been completed in accordance with the Manufacturer's specifications. Kordon TMB / TB complies with AS 3660.1 - 2000, the primary referenced standard of the Building Code of Australia. Kordon TB is only part of a termite management system for a new property. The slab must be constructed in accordance with the Standard; Residential Slabs and Footings Construction, AS 2870-1996.

**NOTE: This document is to be attached to Warranty Document Number:** NB20141200195593

Date of Installation: 28/07/2014

Installation Address: 193 Whale Beach Road

WHALE BEACH

NSW 2107

Builder's Name: Campbell Isherwood

Builder's Address: 5/93-99 South Creek

DEE WHY

NSW 2099

Builder's Email: c.isherwood@optus.com.au

Phone Number: 0422308237

Owner's Name: Campbell Isherwood

Phone Number: 0284040619

Local Council: Pittwater Council

Phone Number:

Company Contact: Accounts

Installer's Name: Fergus Bermingham

Company Name: Design Pest Solutions

Address: 5, 93-99 South Creek Road

DEE WHY

NSW 2099

Phone Number: 02 8404 0619

Fax Number:

Accreditation Number: N134

Job Type: Miscellaneous job

Product used:

Type	Linear Metres (m)	Product Width (mm)	Total SQM
Other	30.00	300	9

Grand Total: 9

Service Penetrations Total: 15

Kordon Kollars 15

Manual Collars 0

Wraps 0

Others 0

Total Kordon Installed: 10.50

Date: 02/12/2014

Authorised Signature: 

- The builder has been advised to maintain a 75mm hard surface inspection zone around the building perimeter.
- Annual Termite inspections as per Australian standards are a condition of the warranty.
- Kordon is installed as per the manufacturer's specifications. Refer to the site installation drawing for details.
- Warranty and compliance only applies to the areas where Kordon has been installed.
- Where Kordon has been installed to an extension of a building no warranty applies if termites gain entry from the existing structure.
- No pre-installation site inspection report as recommended by AS3660.1 was carried out.
- Kordon has been installed to service penetrations and perimeter to manufacturer's specifications.



VESH ELECTRICAL SERVICES PTY LTD  
PO Box 570, Freshwater NSW 2096 Ph: 9907-2000 Fax: 9907-2999  
E-mail: [office@veshelectrical.com.au](mailto:office@veshelectrical.com.au)

2 December 2014

Campbell Isherwood Builder

## **CERTIFICATE OF COMPLIANCE**

**Project: - 193 Whale Beach Road, Whale Beach**

To whom it may concern,

Three smoke detectors have been hard wired complete with 9-volt battery back up to residence at 193 Whale Beach Road, Whale Beach as per AS3786 regulations (located in LG Rumpus, GF Hallway & L1 Above Stairs).

All electrical, television, security and communication services are installed independent of any other dwellings and comply with corresponding rules & regulations.

Any enquiries can be directed to our office.

Yours Faithfully,

**Andrew Vescio**  
**DIRECTOR**



CHRIS MADDEN  
32 Caloola Road  
WENTWORTHVILLE NSW 2145  
Phone: 0412725720  
ABN: 84746471848  
Email: [chrismadden1@bigpond.com](mailto:chrismadden1@bigpond.com)  
Licence No: 145788C

11/12/14

To Campbell Isherwood

I Chris Madden (licence no: 145788C) conducted waterproof membrane work to all internal wet areas at 193 Whale Beach Road Whale Beach in accordance to AS3740-2004. B.C.A. product used Davco K10 plus. This product meets the requirements of Part2.2.B.C.A.

Sincerely



Chris Madden

**CAMPBELL ISHERWOOD**  
**BUILDING CONTRACTOR**

Builders License: 85865C

ABN: 84374493075

Mobile: 0422308237

Email: c.isherwood@optusnet.com.au

12/2/2015

**Form Building Certifiers**

**PO Box 1824**

**Dee Why , 2099**

**Project - 193 Whale Beach Rd ,  
Whale Beach**

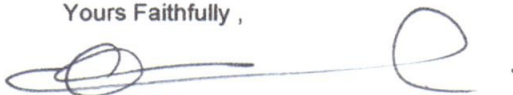
**Client - Bradford**

**Outdoor Swimming Pool Compliance Certificate**

This is to certify that the newly constructed swimming pool , associated plumbing and filtration equipment at 193 Whale Beach Rd , Whale Beach complies with AS1926.3 – 2010 on Swimming Pool Safety , Water Reticulation Systems and the BCA.

Further , I am appropriately qualified to issue this Certificate , being the holder of current Builders Licence # 85865C.

Yours Faithfully ,



Campbell Isherwood  
Builders Licence # 85865C



**CAMPBELL ISHERWOOD**  
**BUILDING CONTRACTOR**

Builders License: 85865C  
ABN: 84374493075

Mobile: 0422308237  
Email: c.isherwood@optusnet.com.au

11/12/14

**Form Building Certifiers**

**PO Box 1824**

**Dee Why**

**2099**

**Project – 193 Whale Beach Rd**

**Client - Bradford**

**Certificate of Compliance for Glazing**

This is to certify that all timber framed glazing units used in the construction of dwelling at 193 Whale Beach Rd , Whale Beach , comply with Australian Standards AS1288-2006 , AS2047-1999 and Basix Certificate # 468582S-02 requirements.

Scartop Joinery were issued with Basix Certificate at time of order/manufacture.

I am appropriately qualified to issue this Certificate , being the holder of current Builders Licence # 85865C .

Yours Faithfully ,



Campbell Isherwood

Builders Licence #85865C

30-11-14

To whom it may concern,

Ref: 193 WHALE BEACH ROAD  
WHALE BEACH

The glass shower-screen / balustrades / pool-fencing at the above named property has been installed in accordance with Australian Standards Rules AS1288/2047/1926/2006.

Further I am appropriately qualified and experienced to provide the certification for this component of the project.



Mr. Simon Famularo

Manager & Director