



Environmental Compliance
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

COPY

01 November 2005

Keith Wilkinson
42 Harris Road
DURAL NSW 2158

Dear Mr Wilkinson

Re: Construction Certificate CC0542/05
Property: 47 THE SERPENTINE BILGOLA NSW 2107

Please find enclosed your approved Construction Certificate and stamped plans.

Did you know that work is unable to commence until such time as a completed Notification of Commencement Form has been submitted to Council at least two (2) days prior to starting work? Not to do so is a breach of the Environmental Planning and Assessment Act, which would result in a Penalty Infringement Notice (on-the-spot fine) being issued to you and the builder.

To assist you please find enclosed a "Notification of Commencement and Principal Certifying Authority Service Agreement" form to enable you to appoint Pittwater Council as your Principal Certifying Authority (PCA). Please complete this form and return it to Council's Customer Service together with the PCA appointment fee as detailed in the form.

If appointed as the PCA, Council would carry out various inspections as indicated in Part 6 of the enclosed "Notification of Commencement and Principal Certifying Authority Service Agreement" form and ultimately issue an Occupation Certificate for your development. Appointment and inspection fees are also detailed in the enclosed form

Council will endorse your "Notice of Commencement and Principal Certifying Authority Service Agreement" form and return a copy to the applicant with advice as to the required critical stage and other inspections to be carried out by Council.

Council is committed to providing a quality service and would value your business in being appointed as the Principal Certifying Authority for your development.

An Officer will contact you in the next few days to discuss your development and help ensure your development progresses smoothly.

Yours faithfully
Development Compliance Group

Per: 



Pittwater Council

Construction Certificate No: CC0542/05

Site Details: **47 THE SERPENTINE BILGOLA NSW 2107**

Legal Description: **Lot 45 DP 16393**

Type of Development: **Building Work /Subdivision**

Description: **Construction of garage with terrace roof to the existing residence**

Associated Development Consent No: **N0482/05** Dated: **09/09/2005**

Building Code of Australia Certification: **Class 10a**

COPY

Details of plans, documents or Certificates to which this Certificate relates:

- Working Drawings prepared by JD Evans & Company Pty Ltd, Drawing No.801-01 & 801-02 (Issue A), dated 27 October 2005, 803, 804 & 805, dated 16 August 2005
- Structural Engineering Details prepared by BVG Consultants Pty Ltd, Drawing No.S1, S2, S3, S4, S5, S6, S7 & S8, dated 14 September 2005
- Geotechnical Risk Management Policy for Pittwater, Form No.2 prepared by BVG Consultants Pty Ltd, dated 23 September 2005
- Approved Access Driveway Profile prepared by Pittwater Council's Sigi Melderis, dated 21 October 2005
- Driveway Compliance Statement prepared by BVG Consultants Pty Ltd, dated 27 October 2005 with associated Driveway Section Plan (2005-64, SK1)
- Excavation/Landfill Details prepared by BVG Consultants Pty Ltd, dated 25 October 2005

I hereby certify that the above plans, documents or Certificates satisfy:

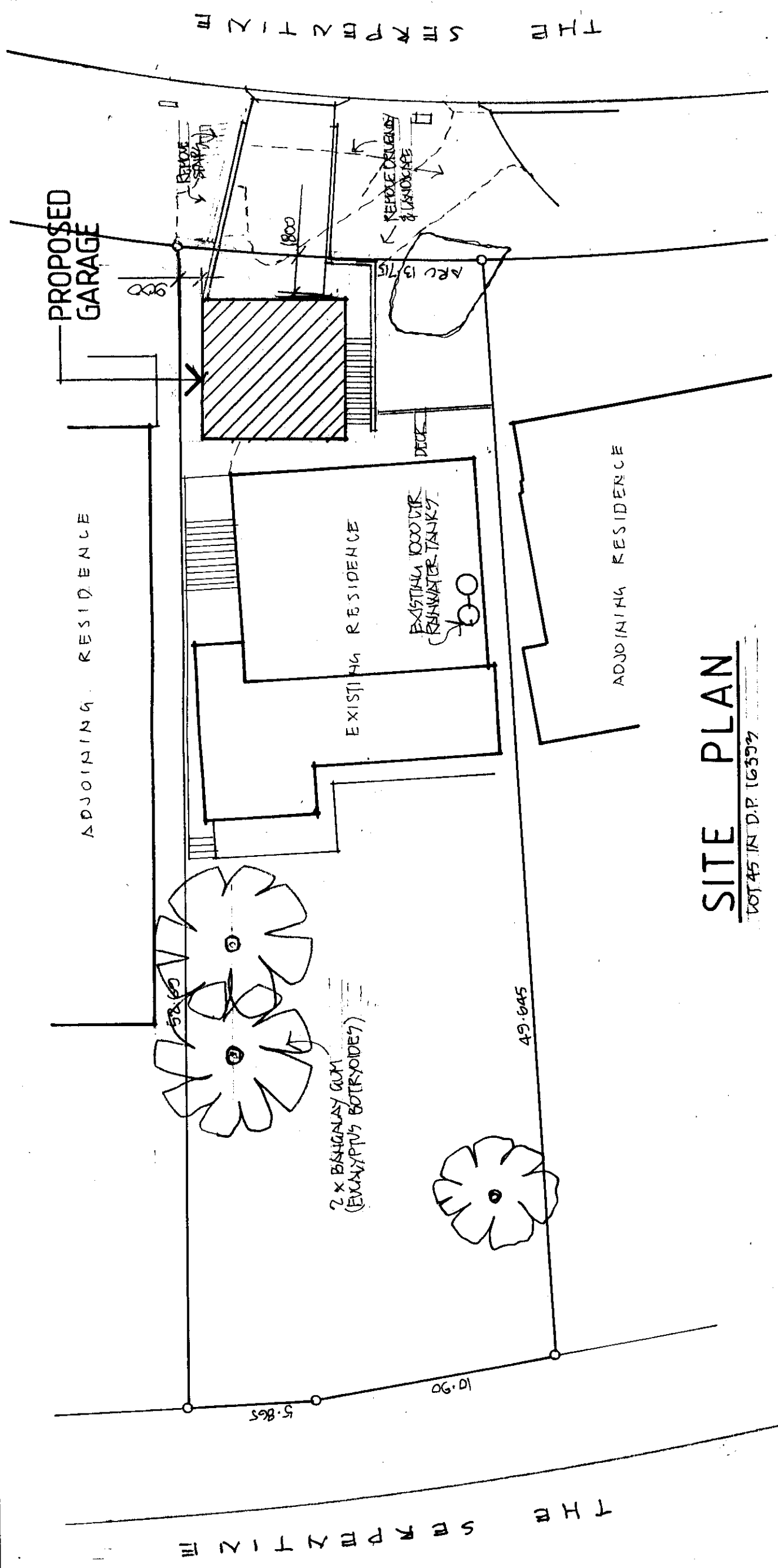
- The relevant provisions of the Building Code of Australia.
- The relevant conditions of Development Consent No: **N0482/05**

Further that the work, completed in accordance with the Building Code of Australia, all relevant Australian Standards and these plans and specifications, will comply with the requirements of Section 81A(5) of the Environmental Planning and Assessment (Amendment) Act, 1997.


Carl Georgeson
Development Compliance Group

01 November 2005
Date of Endorsement

Note: You are reminded that pursuant to provisions of Clause 81A, you must nominate whether Council or an accredited certifier will be the principal certifying authority, also you must give notice to Council of your intention to commence work at least two days beforehand.



SITE PLAN

DOT 45 IN D.P. 16397

FATER COUNCIL CONSTRUCTION CERTIFICATE
No. CC 054205
This is a copy of submitted plans, documents or
sales associated with the issue of the
Construction Certificate.
Issued by:
- 1 NOV 2005

DEVELOPMENT CALCULATIONS			
DESCRIPTION	EXISTING sqm	PROPOSED sqm	
FLOOR AREA	N/A	N/A	
ROOF AREA	181	41 (22%)	
SITE COVERAGE (HARD SURFACE ETC)	286 (37%)	295 (38%)	
LANDSCAPING AREA	450	440 (57%)	
SITE AREA	777	NOT APPLICABLE	

PROJECT: PROPOSED GARAGE & TERRACE
No. 47 THE SERPENTINE
BILGOLA BEACH N.S.W. 2107
CLIENT: KETH & HEATHER WILKINSON

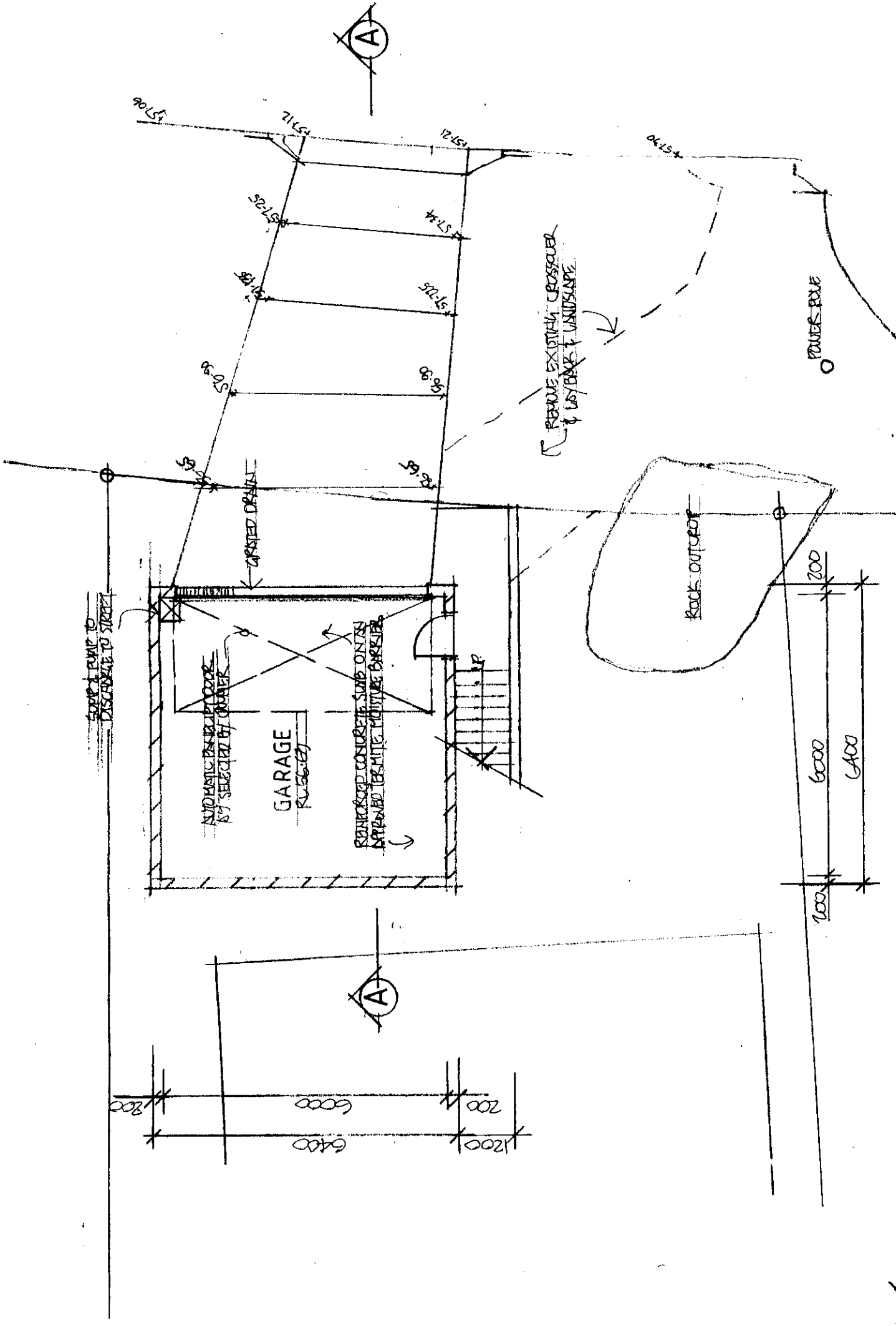
J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 088 976 596

DATE: 16/08/05 SCALE: 1:200
DRAWN: JOE CHECKED: [Signature]
ISSUE: 801-01 27-10-05

COPYRIGHT: DRAWINGS ARE SUBJECT OF ALL PLANS AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR COPYING THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF J.D EVANS and COMPANY PTY. LTD. WILL BE PROSECUTED.

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.

1. Builder to check and confirm all necessary dimensions and levels on site prior to construction. Do not scale the drawing.
2. All dimensions are to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.
3. It is the responsibility of the builder to ensure that the "BUILDER'S PLAN" code is followed.
4. In addition to what is stipulated, the builder is to ensure that the builder is the owner's representative, except for the design of the building which is to be supervised by a Structural Engineer.
5. The builder is to ensure that the building is constructed in accordance with the approved plans or as directed by local council inspectors.
6. The builder is to ensure that the building is constructed in accordance with the approved plans or as directed by local council inspectors.
7. All dimensions are to be in accordance with the Building Code of Australia & to the satisfaction of local council requirements & other authorities.



GARAGE FLOOR PLAN

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE

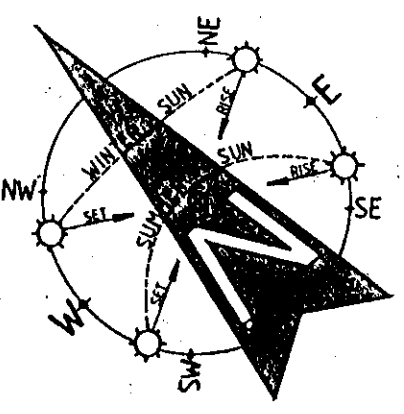
Number: CC 0542105

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by: _____

Date: - 1 NOV 2005

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



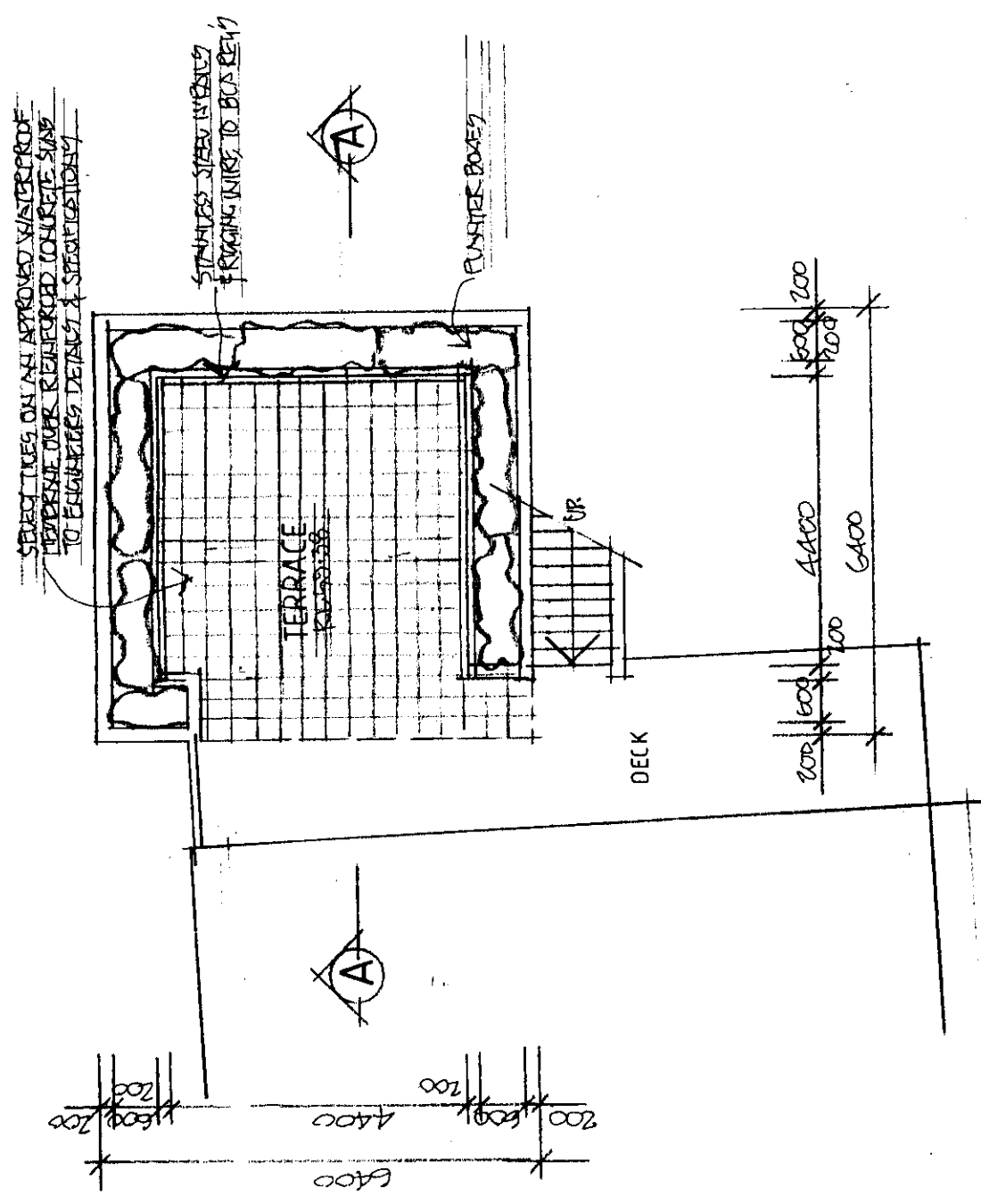
PROJECT: PROPOSED GARAGE & TERRACE
No. 47 THE SERPENTINE
BILGOLA BEACH N. S. W. 2107
CLIENT: KEITH & HEATHER WILKINSON

J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 918 9206 Fax (02) 9973 2454
Mobile 048 576 596

DATE: 16 /08/05 SCALE: 1:100
DRAWN: JOE
CHECKED: _____
ISSUE: 801-02 21-10-05

COPYRIGHT: DRAWINGS ARE SUBJECT OF ALL PLANS AND ANY ATTEMPT OR ACTUAL REPRODUCTION BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF J.D EVANS and COMPANY PTY. LTD. IS STRICTLY FORBIDDEN.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All work to be in accordance with the BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
3. All work to be in accordance with the BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All work to be in accordance with the BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
5. Any building in addition to that is required and be required between the owner and the builder to the owner's approval, except for any structural details or design which is to be supplied by a Structural Engineer.
6. Final design is subject to the approval of the local council or as directed by local council inspectors.
7. All structural work & light work to be determined by owner.



TERRACE FLOOR PLAN

PITTSWATER COUNCIL CONSTRUCTION CERTIFICATE

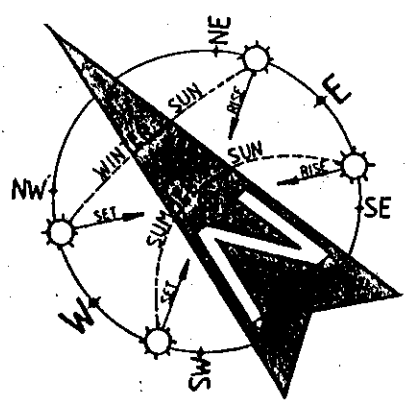
Number: CC 0542193

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by: [Signature]

Date: - 1 NOV 2005

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING



PROPOSED GARAGE & TERRACE
No. 47 THE SERPENTINE
BILGOLA BEACH N.S.W. 2107
CLIENT: **KEITH & HEATHER WILKINSON**

J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 4454
Mobile 048 976 596

DATE: 16/08/05 SCALE: 1:100
DRAWN: JDE
CHECKED: [Signature]

PROJECT: 801-03
ISSUE: A
DATE: 27-10-05

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to the boundaries and setbacks are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All building construction to be in accordance with the "TERRACE FLOOR PLAN" only.
5. Any building in addition to that shown on the drawing must be approved by the owner and the builder to the owner's approval, except for any structural alterations or changes which must be approved by a Structural Engineer.
6. Final "water & soil" drawings to be submitted to the Council of the approved owner or as directed by local council inspectors.
7. All structural work to be completed by the end of the year.
8. Make good and repair all existing buildings damaged by rain, wind, flood, etc. during construction where possible.



PITTMAN COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0542185

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by: _____

Date: - 1 NOV 2005

DATE 16/08/05 SCALE 1:100

DRAWN JDE CHECKED

DRAWING No. 801-04 27-10-05

ISSUE A

PROJECT PROPOSED GARAGE & TERRACE

No. 47 THE SERPENTINE

BILGOLA BEACH N.S.W. 2107

CLIENT KEITH & HEATHER WILKINSON

J.D. EVANS and COMPANY PTY. LTD.

BUILDING DESIGN CONSULTANTS

74 RIVIERA AVENUE, BILGOLA BEACH, 2107

Phone (02) 975 2456 Fax (02) 975 2454

Mobile 081 976 596



APPROVED FOR CONSTRUCTION

DATE 27/10/05

COPYRIGHT AND INTELLECTUAL PROPERTY RIGHTS ARE RESERVED BY THE DESIGNER. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

J.D. EVANS and COMPANY PTY. LTD.

100 RIVIERA AVENUE, BILGOLA BEACH, NSW 2107

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.

2. All dimensions shall be in accordance with the Building Code of Australia and the relevant standards and other authorities.

3. All work to be in accordance with the Building Code of Australia and the relevant standards and other authorities.

4. All work to be in accordance with the Building Code of Australia and the relevant standards and other authorities.

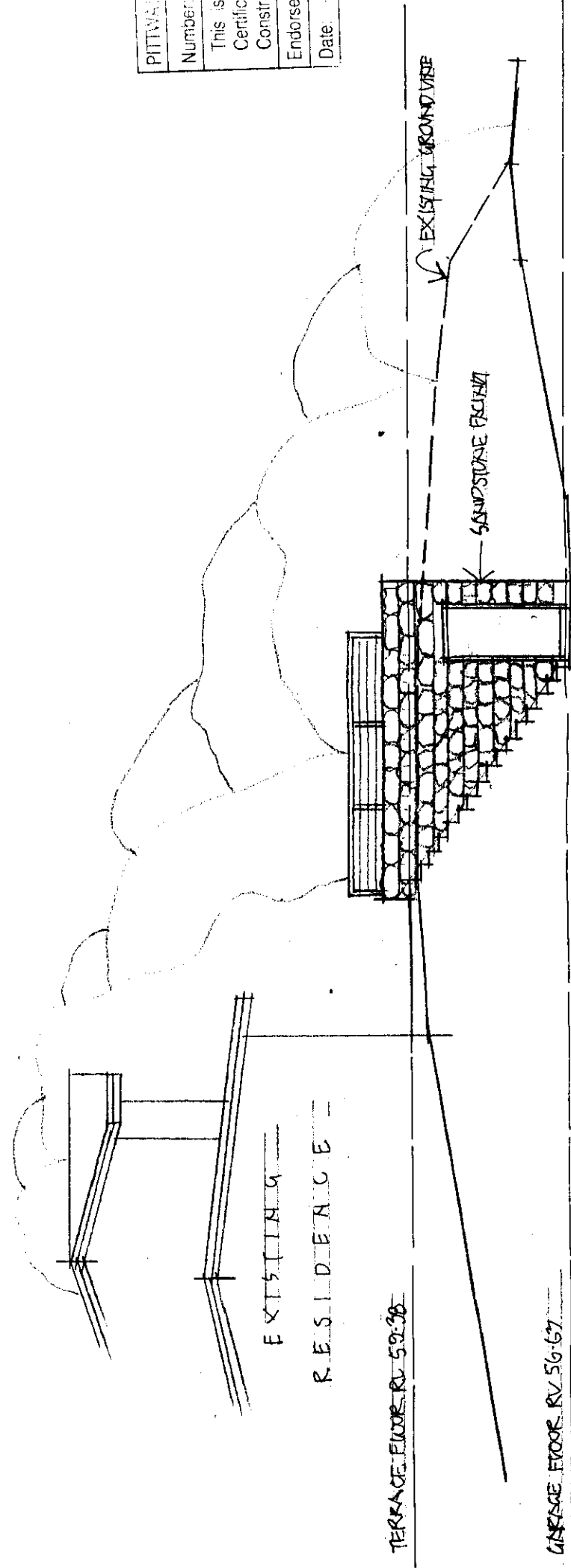
5. Any deviation from the drawing shall be in accordance with the Building Code of Australia and the relevant standards and other authorities.

6. The builder shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.

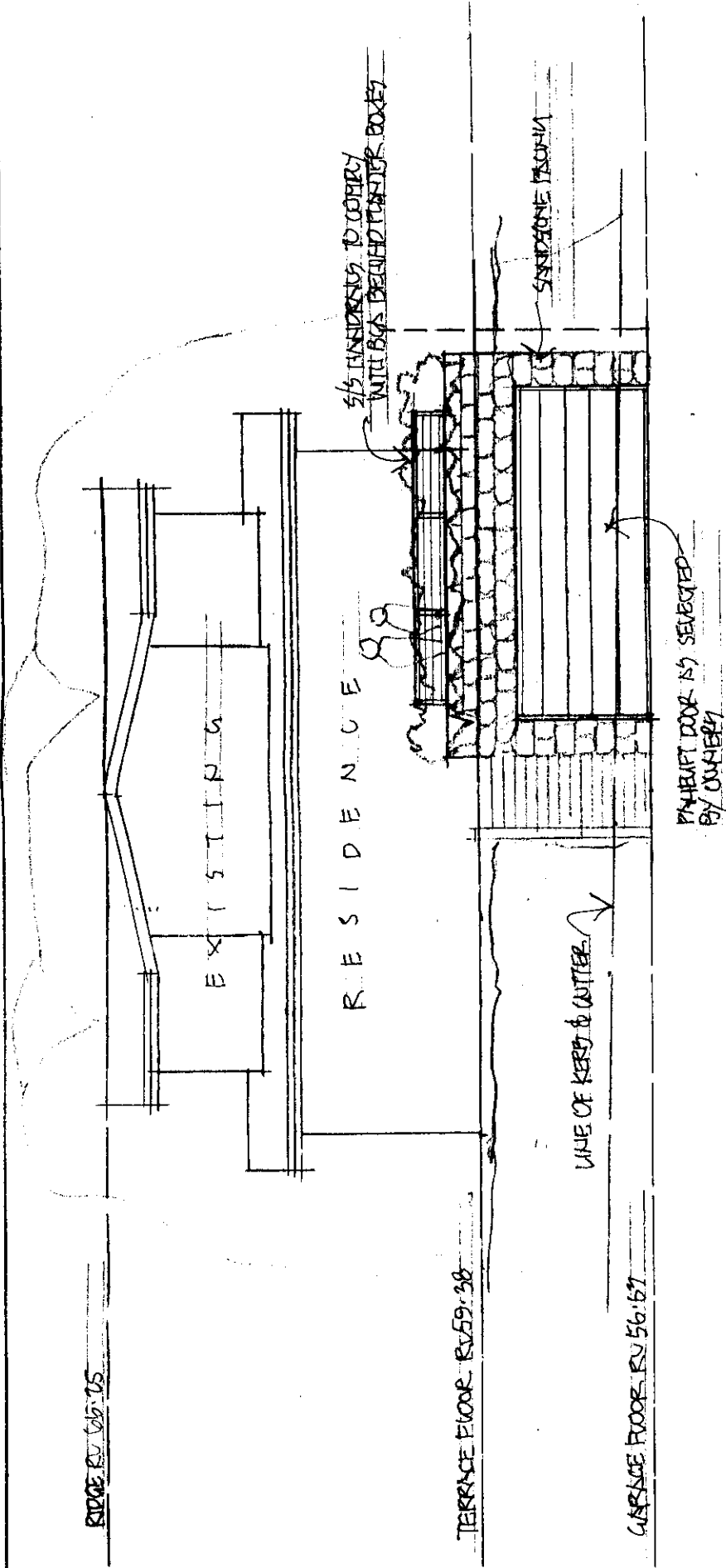
7. All materials and workmanship shall be in accordance with the Building Code of Australia and the relevant standards and other authorities.

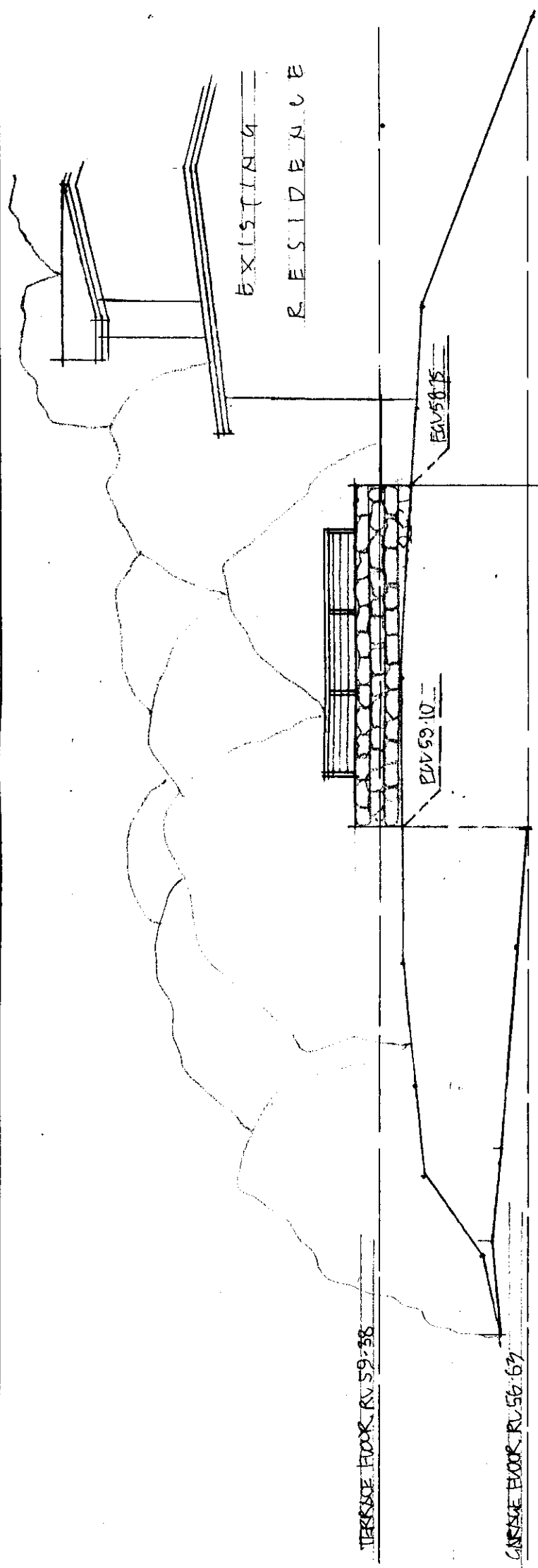
SOUTH - EAST ELEVATION

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

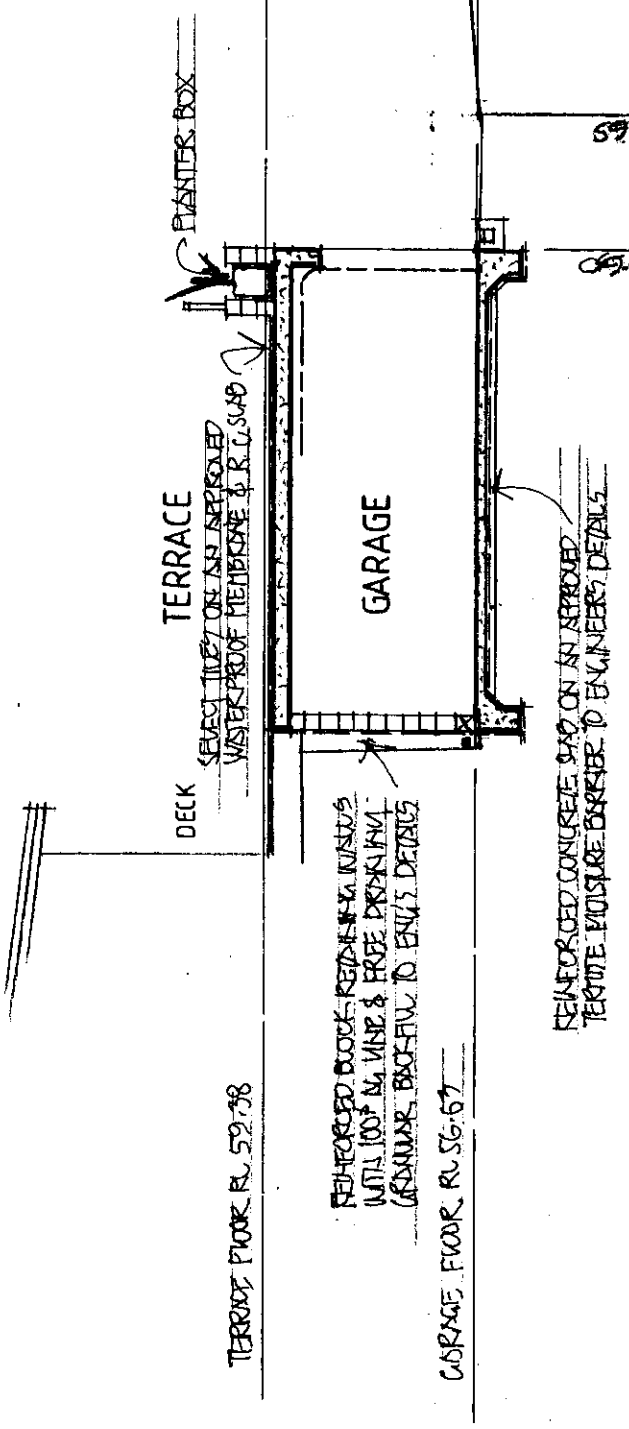


NORTH - EAST ELEVATION





NORTH - WEST ELEVATION



SECTION A - A

THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING

PITWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0542105

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by: [Signature]

Date: - 1 NOV 2005

PROPOSED DEVEG
RC 54.00
0.00

REINFORCED CONCRETE 940 ON AN APPROVED
TERRACE FLOOR DECK TO ENGINEER'S DETAILS

REINFORCED CONCRETE 940 ON AN APPROVED
GARAGE FLOOR DECK TO ENGINEER'S DETAILS



PROJECT: PROPOSED GARAGE & TERRACE
No. 47 THE SERPENTINE
BILGOLA BEACH N.S.W. 2107
CLIENT: KEITH & HEATHER WILKINSON

J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVIERA AVE. AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 048 976 596

DATE 16/08/05 SCALE 1:100 CHECKED
DRAWN JDE
DRAWING No. 801-05 27-10-05

COPYRIGHT: DRAWINGS ARE SUBJECT OF ALL PLANS AND ANY ATTEMPT OR ACTUAL INFRINGEMENT BY USING, REPRODUCING OR COPYING SAME WHOLLY OR IN PART, WITHOUT WRITTEN PERMISSION WILL RESULT IN LEGAL PROCEEDINGS. J.D EVANS and COMPANY PTY. LTD. 74 RIVIERA AVE. AVALON BEACH, NSW

IN GARAGE RELEVANT TO MEASUREMENT DATE

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to the foundation and structure are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE OF AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All building construction to be in accordance with the "TERRACE FLOOR" code.
5. Any building in addition to that is required shall be required between the owner and the builder to the owner's approval, subject to any applicable council or other authority.
6. These drawings are not to be used for any other purpose without the written consent of the architect or engineer.
7. All structural parts & light fittings to be determined by owner.
8. Make good and repair all existing building damaged by your work. Please submit suitable evidence.

47 THE SERPENTINE, BILGOLA BEACH

2005-64

S8

14/9/05

REINFORCED BLOCKWORK

- B1. ALL CONCRETE BLOCKS TO COMPLY WITH AS3700 SAA MASONRY CODE
- B2. BLOCKS SHALL BE STRENGTH GRADE 20. ALL BLOCKS SHALL HAVE SHALLOW TOP GROOVES FOR REINFORCEMENT
PROVIDE CLEANOUT HOLES IN BASE OF THE WALLS
- B3. MORTAR SHALL BE 1 CEMENT : 1 LIME : 6 SAND or 1 CEMENT : 0 LIME : 5 SAND.
NO ADMIXTURES SHALL BE USED WITHOUT WRITTEN APPROVAL OF THE ENGINEER,
DO NOT USE BYCOL. A WATER THICKENER (CARBOXY METHYL CELLULOSE) MAY BE USED
- B4. REMOVE ALL MORTAR DAGS BEFORE FILLING CORES WITH GROUT
- B5. FILL ALL CORES WITH GROUT. GROUT STRENGTH TO BE 20MPa
WITH CEMENT CONTENT NOT LESS THAN 330kg/m^3 ,
MAX. W/C RATIO = 0.5 AGGREGATE 10mm MAX SIZE
(NOT MORE THAN 30% BY VOLUME OF GROUT) SLUMP 230mm
- B6. VIBRATE OR ROD ALL CORES
- B7. PROVIDE VERTICAL CONTROL JOINTS AT 9m MAX CENTRES
OR AS SHOWN ON PLAN

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0542105
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	- 1 NOV 2005

B. Guet

BE MEAVST CPE

16 Eerawy Rd
ALLAMBIE NSW 2100
Email: yquest@ozemail.com.au

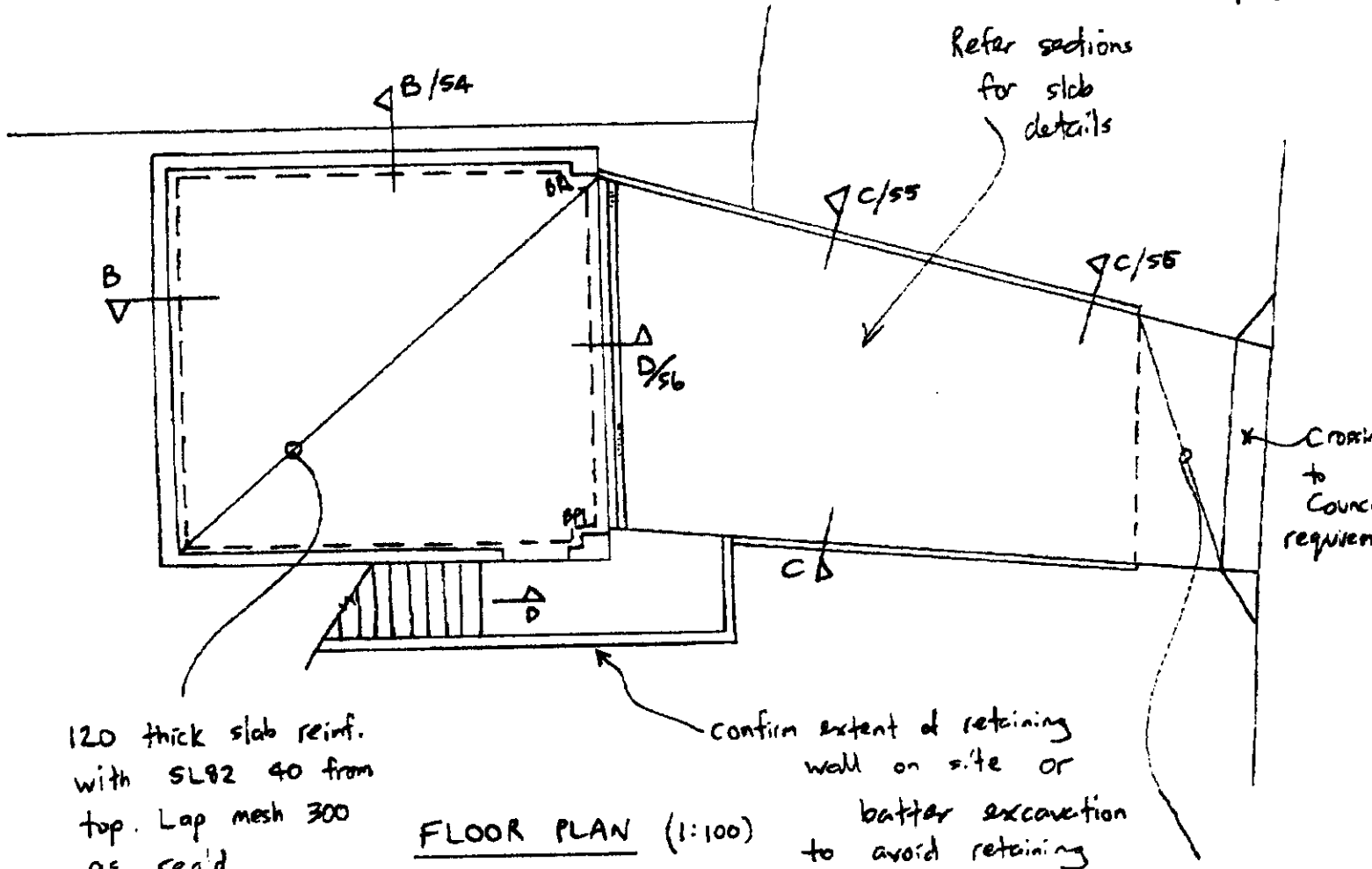
Ph: (02) 9905 5241
Fax: (02) 9905 0071
Mobile: 0414 825 022

47 THE SERPENTINE, BILGOLA BEACH

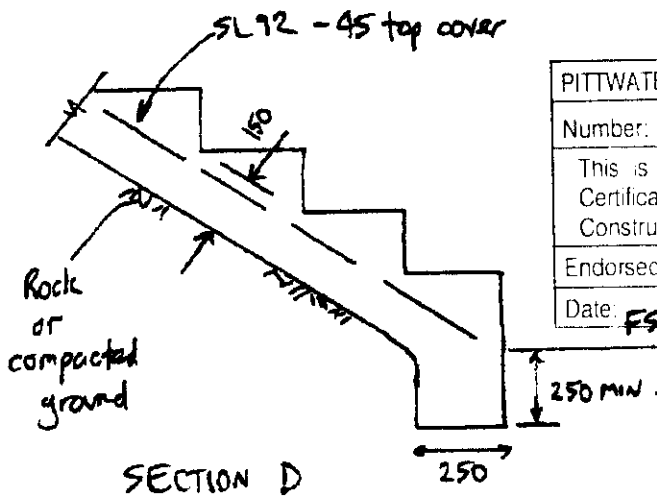
2005-64

53

14/9/05



FLOOR PLAN (1:100)



SECTION D

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0542/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	1 NOV 2005
	1 NOV 2005

120 thick slab reinf. with SL92 top (45 cover). Slab to be poured on firm natural ground.

B.G. met
DE MIEAUST CPE

16 Eerawy Rd
ALLAMBIE NSW 2100
Email: vquest@ozemail.com.au

Ph: (02) 9905 5241
Fax: (02) 9905 0071
Mobile: 0414 825 022

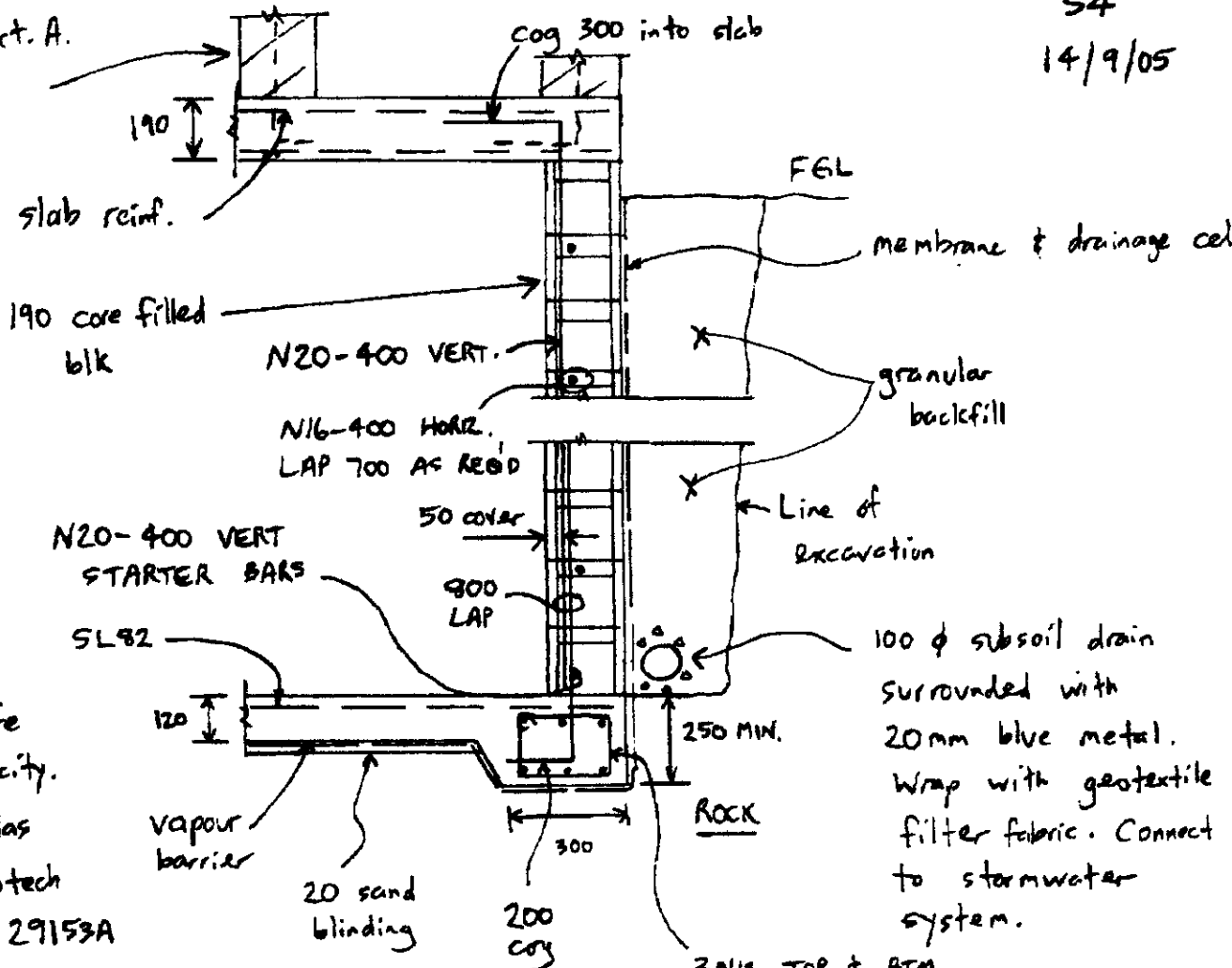
47 THE SERPENTINE, BILGOLA BEACH

2005-64

54

14/9/05

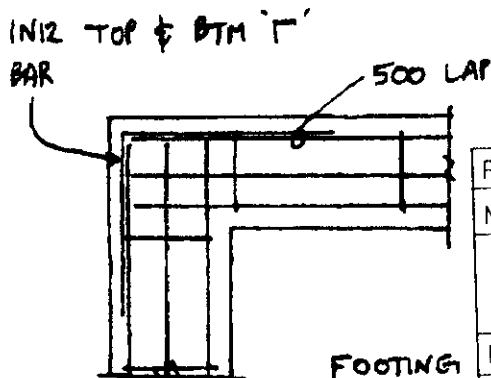
Refer Sect. A.
for blk —
details



NOTE:

all footings STA
founded in SLB
sandstone with
000 kPa safe
bearing capacity.
Refer Douglas
Partners Geotech
Report Ref: 29153A
dated August 2005

SECTION B



FOOTING
CORNER DETAIL

PITTSBURGH WATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 054265
This is a copy of submitted plans/documents and Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	- 1 NOV 2005

BLOCK
CORNER
DETAIL

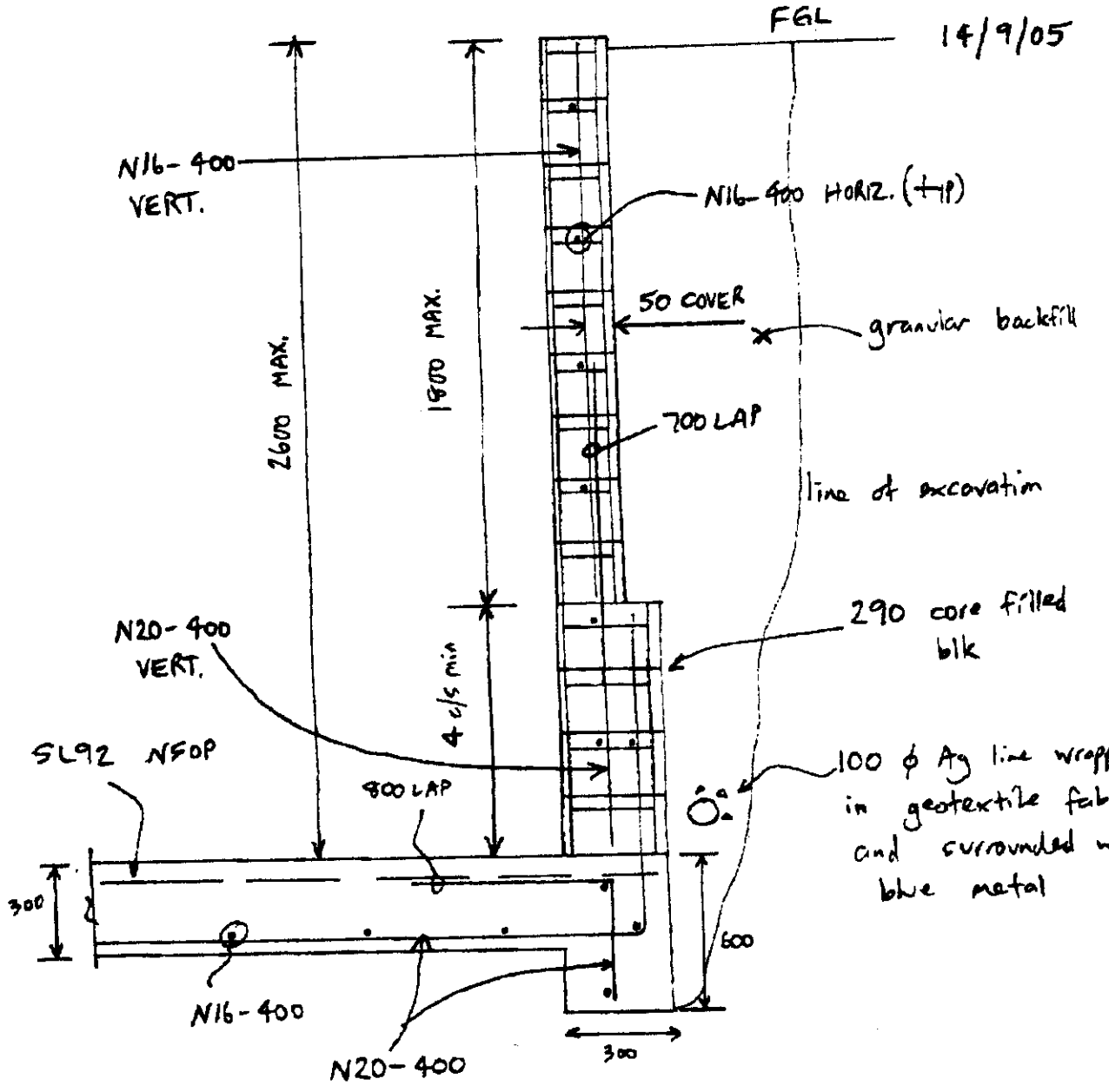
B. Guest
BE MIEAST CPE

16 Eerawy Rd
ALLAMBIE NSW 2100
Email: vquest@ozemail.com.au

Ph: (02) 9905 5241
Fax: (02) 9905 0071
Mobile: 0414 825 022

47 THE SERPENTINE, BILGOLA BEACH

2005-64
S5
14/9/05



PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC 0542/05

This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.

Endorsed by:

Date: - 1 NOV 2005

SECTION C

walls 1800 to 2600 high

B. Gmet
BE MIEAST C

16 Eerawy Rd
 ALLAMBIE NSW 2100
 Email: vquest@ozemail.com.au

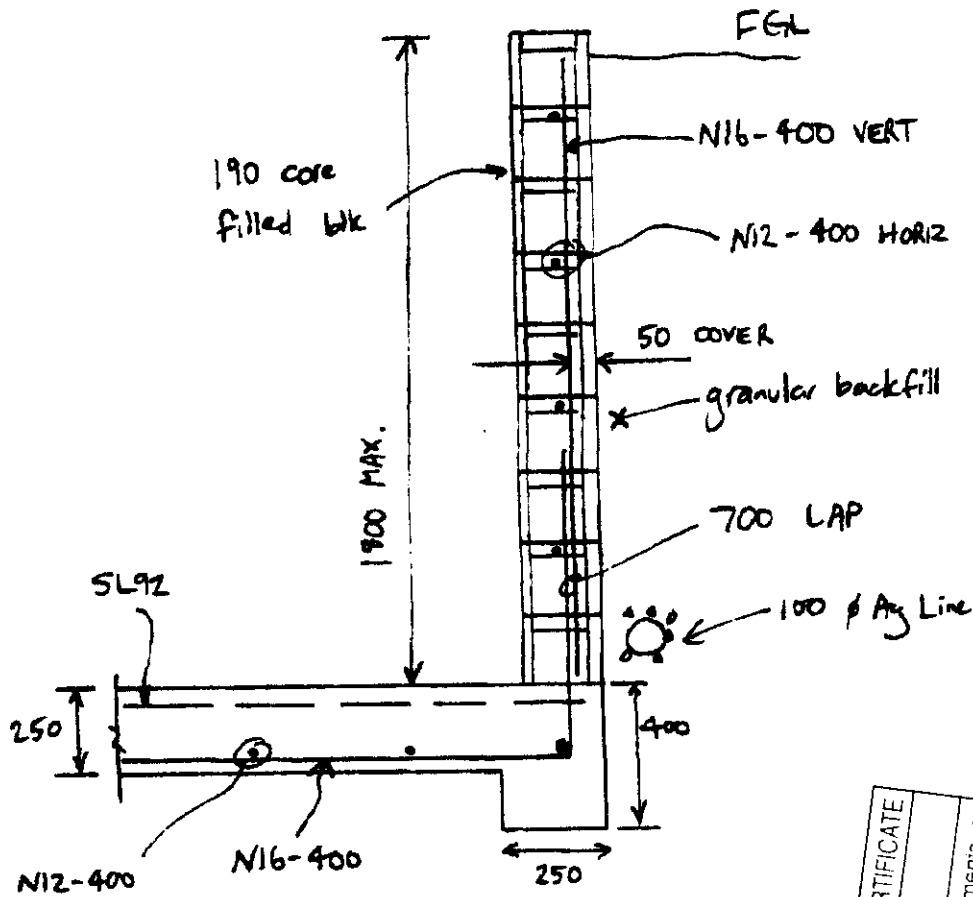
Ph: (02) 9905 5241
 Fax: (02) 9905 0071
 Mobile: 0414 825 022

47 THE SERPENTINE, BILGOLA BEACH

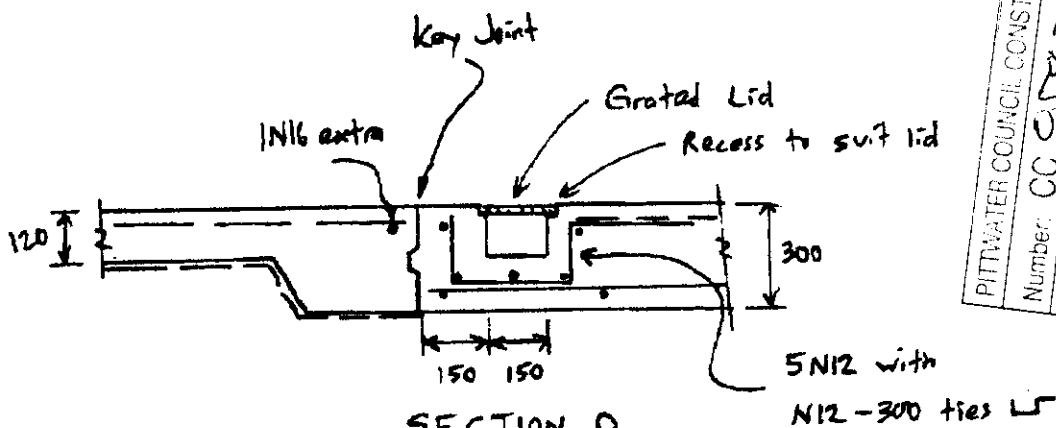
2005-64

S6

14/9/05



SECTION C



SECTION D

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0542/05	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	Date:
1 NOV 2005	

B. Gmet
 BE MIEAnot

47 THE SERPENTINE, BIL GOLA BEACH

2005-64

57

14/9/05

CONCRETE

- C1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- C2. CONCRETE QUALITY:-

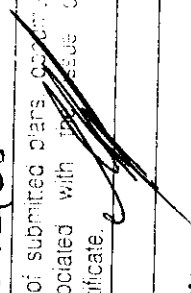
ELEMENT	SLUMP	AGGREGATE SIZE MAX (mm)	CEMENT TYPE	CONCRETE GRADE	EXPOSURE CLASSIFICATION	COVER U.N.D. (mm)
SLAB - SUSPENDED	80	20	GP	40	B2	45 TOP 40 BTM
BEAM	80	20	GP	40	B2	50 TO TIES
SLAB-ON-END	80	20	GP	40	B2	45 TOP
BLOCK FILL	230	10	GP	20	B2	50

- C3. SIZES OF CONCRETE ELEMENTS DO NOT INCLUDE THICKNESS OF APPLIED FINISHES.
- C4. BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS.
- C5. NO HOLES, CHASES OR EMBEDMENT OF PIPES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
- C6. CONSTRUCTION JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN OR SPECIFICALLY APPROVED BY THE ENGINEER.
- C7. REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- C8. SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITIONS SHOWN OR AS OTHERWISE APPROVED BY THE ENGINEER.
- C9. WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.
- C10. ALL REINFORCEMENT SHALL BE SECURELY SUPPORTED IN ITS CORRECT POSITION DURING CONCRETING BY APPROVED BAR CHAIRS, SPACERS OR SUPPORT BARS.
- C11. REINFORCEMENT SYMBOLS:
 S STRUCTURAL GRADE DEFORMED BAR TO AS 1302
 N HOT ROLLED DEFORMED BARS TO AS/NZS 4671 GRADE 500N
 R STRUCTURAL GRADE PLAIN ROUND BAR TO AS 1302
 F HARD DRAWN STEEL WIRE REINFORCING FABRIC TO AS 1304
 W HARD DRAWN STEEL WIRE REINFORCING WIRE TO AS 1303
 THE NUMBER FOLLOWING THE BAR SYMBOL IS THE NOMINAL BAR DIAMETER IN MILLIMETRES.
- C12. CAMBER - UNLESS NOTED OTHERWISE ON DRAWINGS, SLABS SHALL BE GIVEN A POSITIVE UPWARD CAMBER AT MIDSPAN OF 3mm PER 1000mm SPAN. METHOD OF CAMBERING IS TO BE AGREED WITH THE ENGINEER. BEAMS SHALL BE CAMBERED AS SHOWN ON DRAWINGS (NEGATIVE CAMBER IS NOT ALLOWED).
- FORMWORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3610
- C13. DURABLE CONCRETE DENOTED <D>: THE CONTRACTOR IS TO TAKE SPECIAL PRECAUTIONS TO IMPROVE THE LONG TERM PERFORMANCE OF THESE FACES OF CONCRETE. IN PARTICULAR NO METAL INSERTS, METAL BAR CHAIRS OR METAL FORM SPACERS OF ANY KIND ARE TO BE PLACED IN THE COVER ZONES WITHOUT THE EXPRESS PERMISSION OF THE ENGINEER. OBSERVE NO NEGATIVE TOLERANCE REQUIREMENT ON COVER. TAKE SPECIAL CARE TO AVOID SCRAP TIE WIRE OR OTHER MATERIAL BEING PRESENT.
- C14. CALCIUM CHLORIDE IS NOT PERMITTED TO BE USED.

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE

Number: CC0542/05

This is a copy of submitted plans associated with Certificates associated with the issue of the Construction Certificate.

Endorsed by: 

Date: - 1 NOV 2005

B. Gmet

BE MIEAUST CPE

BVG CONSULTANTS PTY LIMITED

ABN 58 093 103 845

16 Eerawy Rd
ALLAMBIE NSW 2100
Email: vquest@ozemail.com.au

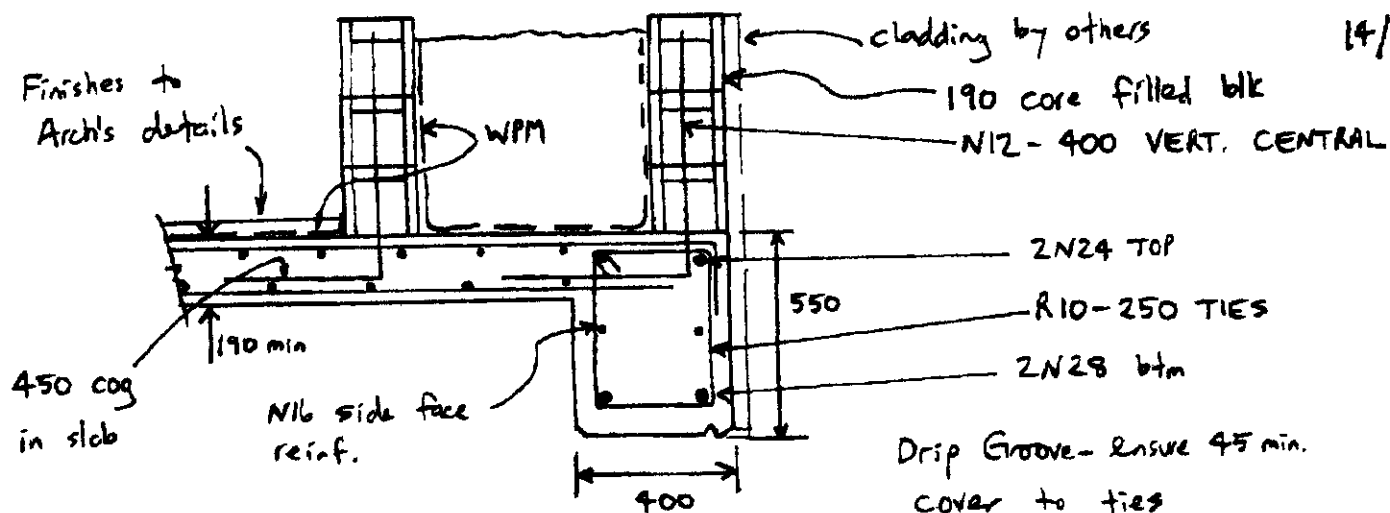
Ph: (02) 9905 5241
Fax: (02) 9905 0071
Mobile: 0414 825 022

47 THE SERPENTINE, BILGOLA BEACH

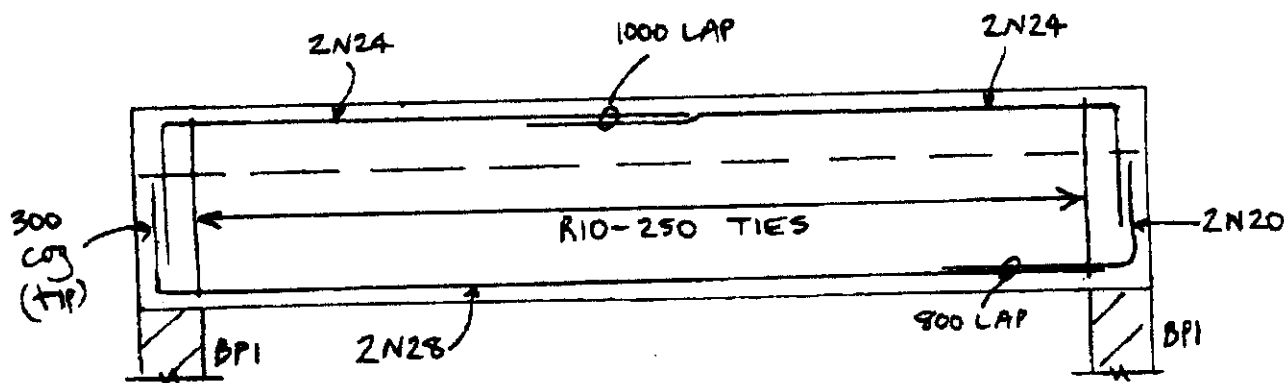
2005-64

S2

14/9/05

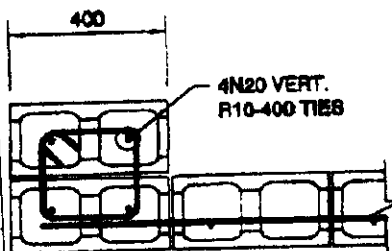


SECTION A



BEAM ELEVATION (1:50 HORIZ, 1:20 VERT)

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number: CC 0542105	
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date: - 1 NOV 2005	



TYPICAL BP1 DETAIL
SCALE 1:20
DENOTED BP1 ON PLAN

B. Gnet
BE MIEAST C

9905 0071

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 - To be submitted with detailed design for construction certificate

Development Application for K. & H. WILKINSON

Name of Applicant

Address of site 47 THE SERPENTINE, BILGOLA

Declaration made by structural or civil engineer in relation to the incorporation of the Geotechnical issues into the project design

I, BRENT GUEST on behalf of BVG CONSULTANTS P/L

(insert name)

(trading or company name)

on this the 23 / 9 / 05

(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorized by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

Geotechnical Report Details:

Report Title: GEOTECHNICAL ASSESSMENT, NEW GARAGE, 47 THE SERPENTINE, BILGOLA - Ref 29153A

Report Date: AUGUST 2005

Author: MR J.C. BRADBROOKE

Structural Documents list:

<u>2005-64-51</u>	<u>2005-64-52</u>	<u>2005-64-53</u>	<u>2005-64-54</u>
<u>2005-64-55</u>	<u>2005-64-56</u>	<u>2005-64-57</u>	<u>2005-64-58</u>

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

BRENT GUEST

(name)

B. Guest

(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 3/8/05 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature Geoff Young

Name GEORGE YOUNG

Chartered Professional Status BE, MEMS, FIEAust, CPEng, NPER

Membership No. 98650

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	<u>CC 0542/05</u>
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	<u>[Signature]</u>
Date:	<u>- 1 NOV 2005</u>



COPY

PITTWATER COUNCIL

Unit 9/5 Vuko Place, Warriewood NSW 2102
Telephone 9970 1111

Date: 21-Oct-05
Receipt No: 178120
Amount: \$298.00

Name: Keith Robert Wilkinson
Postal Address: 42 Harris Road
Dural 2158

APPROVED ACCESS DRIVEWAY PROFILE AT:

47 The Serpentine, Bilgola 2107

The future vehicular access profile will be as per the enclosed plan **EH**.

WORK REQUIRED:

Construct: Vehicular access slab 7.0m long x 4.0m wide at gutter crossing to 5.0m wide at the boundary.

Type of Construction: Residential

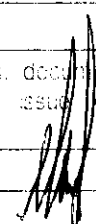
Note: *Remove redundant driveway and replace layback with kerb and gutter*

VEHICULAR ACCESS

- (a) All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised contractors only.
- (b) Quotations for the work specified above should be obtained from any of the contractors on the list and should be for the whole of the work stated.
- (c) Construction of vehicular access will be strictly in accordance with the profile supplied and where the drive within the property is to be constructed first, it shall be the responsibility of the owner to have the work carried out in such a manner as to provide a smooth join and continuity of grading.

Please Note: Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.

Sigi Melderis
ASSETS / RESTORATIONS OFFICER

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0542105
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	- 1 NOV 2005

BVG CONSULTANTS PTY LIMITED

ABN 58 093 103 845

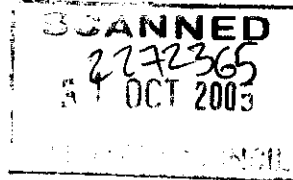
16 Eerawy Rd
ALLAMBIE NSW 2100
Email: vquest@ozemail.com.au

Ph: (02) 9905 5241
Fax: (02) 9905 0071
Mobile: 0414 825 022

27th October 2005

Our ref: 2005-64-L2

Principal Certifying Authority
C/- Mr K. & Mrs H. Wilkinson
42 Harris Road
DURAL NSW 2158



Dear Sir/Madam,

**RE: PROPOSED NEW GARAGE
47 THE SERPENTINE, BILGOLA BEACH
DEVELOPMENT CONSENT No. NO482/05
CONSTRUCTION CERTIFICATE No. CC0542/05**

We hereby advise that the proposed access driveway and internal driveway at the above property complies with the requirements of Pittwater 21 DCP Control B6.1

Details of the proposed access and internal driveway are attached on sketch no. 2005-64-SK1.

Should you require any further information, please do not hesitate to contact the undersigned.

Yours faithfully
BVG CONSULTANTS PTY LTD

B. Guest

Brent Guest
BE MIEAust CPEng NPER RPEQ
Principal

Received by Customer Service
Pittwater Council

On 28/10/05

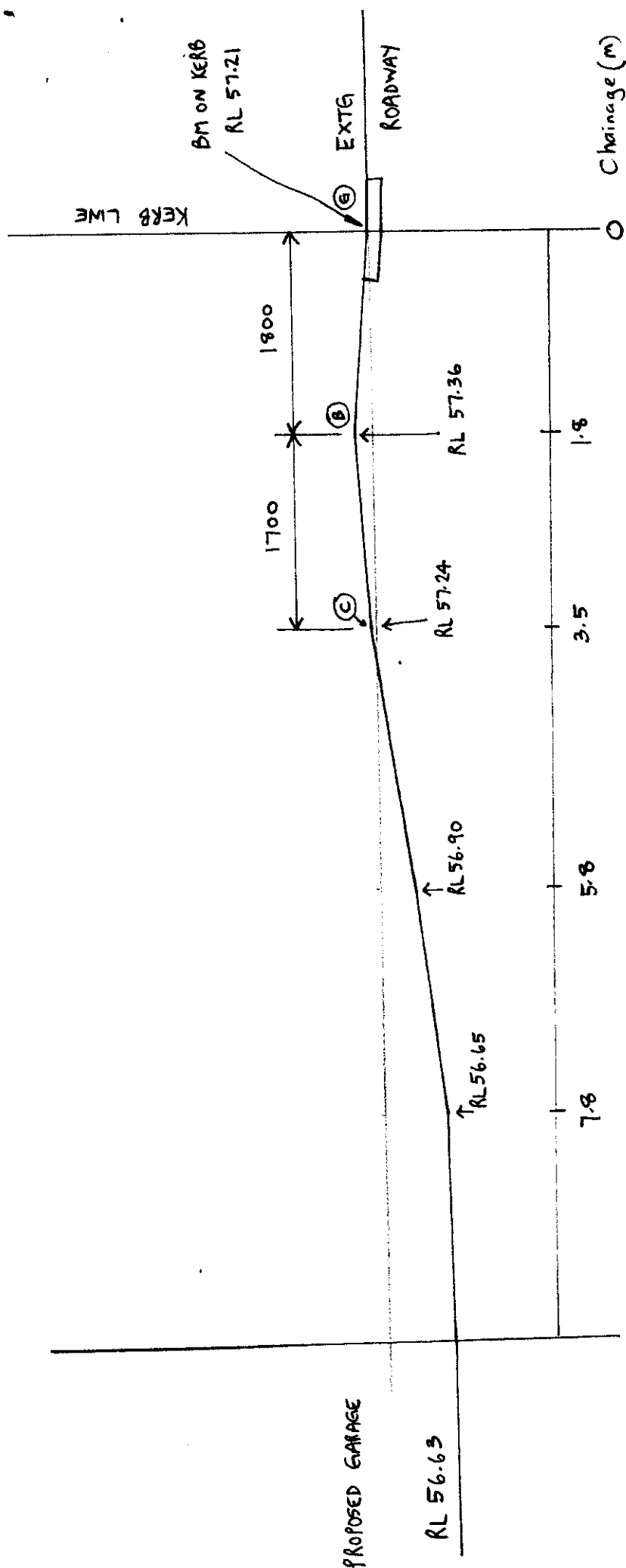
By *Robyn*

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0542/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	<i>[Signature]</i>
Date:	- 1 NOV 2005

2005-64-L2

Page 1

SKI



DRIVEWAY PROFILE AND RL'S FOR

PROPOSED GARAGE AT N^o. 47 THE SERPENTINE,

BILGOLA

PITTSBURGH COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0542105
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	1 NOV 2005

~~1 NOV 2005~~

B. Guet
BE MIEAUST CPE

BVG CONSULTANTS PTY LTD
STRUCTURAL ENGINEERS
 16 EERAWY ROAD, ALLAMBIE NSW 2100
 TEL: 9905 5241 FAX: 9905 0071
 EMAIL: vguest@ozemail.com.au

16 Eerawy Rd
ALLAMBIE NSW 2100
Email: vquest@ozemail.com.au

Ph: (02) 9905 5241
Fax: (02) 9905 0071
Mobile: 0414 825 022

25th October 2005

Our Ref: 2005-64-L3

Pittwater Council
Principal Certifying Authority
Vuko Place
WARRIEWOOD NSW 2102

Att: Mr Carl Georgeson
Development Compliance Group

Dear Sir,

**RE: CONSTRUCTION CERTIFICATE NO CC0542/05
NO. 47 THE SERPENTINE, BILGOLA BEACH**

We refer to Condition C4, Excavation /Landfill for proposed Garage.

With consultation with the PV Construction Pty Ltd the proposed sequence of events will be as follows:

1. Install hay bales and siltration sock in the gutter either side of the property.
2. Install silt fence along the back of the kerb and gutter for the length of the excavation.
3. Saw cut kerb and gutter where required. Clean up after completion.
4. Remove all necessary concrete driveways, stairs and paths. Cart away with a Tip truck, loaded by an excavator, all within the site.
5. Excavate soil down to rock by excavator and cart away to authorized tip by tip truck.
6. Excavate sandstone with excavator to required levels. Remove excess sandstone to authorized tip.

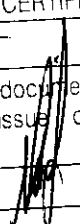
The street will be swept clean at all times.

Siltration devices shall remain in place and be maintained until the project is complete.

Yours faithfully
BVG CONSULTANTS PTY LTD

B. Guest

Brent Guest
BE MIEAust CPEng NPER
Principal

PITTWATER COUNCIL CONSTRUCTION CERTIFICATE	
Number:	CC 0542/05
This is a copy of submitted plans, documents or Certificates associated with the issue of the Construction Certificate.	
Endorsed by:	
Date:	- 1 NOV 2005



Pittwater Council
PO Box 882
Mona Vale NSW 1660
Tel: (612) 9970 1111
Fax: (612) 9970 7150

NOTIFICATION OF COMMENCEMENT & PRINCIPAL CERTIFYING AUTHORITY SERVICE AGREEMENT

under Environmental Planning and Assessment Act 1979 sections 81A
(2) (b) (ii) or (c), or (4) (b) (ii) or (c), 86 (1) and (2)

About this form

- Use this form to appoint Pittwater Council as the Principal Certifying Authority (PCA) to carry out nominated inspections of the building / subdivision works and to issue the required Occupation Certificate
- This form must be submitted to Pittwater Council a minimum of two (2) days prior to the commencement of works.

Who can complete this form?

- The owner of the property or the person having the benefit of the development consent.
Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Applicant's Checklist

- Read this document ☐
- Complete pages 1, 2 & 3 ☐
- Sign on page 8 ☐
- Attach a copy of Owner Builder Permit or Home Owner Warranty Insurance Certificate. ☐

Payment of fees

- At the time of submitting this form to Pittwater Council a fee is to be paid in accordance with the following fee structure, current to 30 June 2006.

Value of Development	Total Fee (including GST)	
	Domestic (class 1 & 10) (Code: HIND)	Commercial (Code: HINC)
\$0 - \$5,000	\$92.00	\$161.00
\$5,001 - \$100,000	\$235.00	\$305.00
\$100,001 - \$250,000	\$376.00	\$430.00
\$250,001 and over	\$484.00	
\$250,001 - \$500,000		\$590.00
\$500,001 - \$1,000,000		\$740.00
\$1,000,001 and over		Fee on application

- Critical Stage Inspection fees (refer to Part 6e of this form) maybe paid at the time of booking the inspection or a delayed payment until the request for either an Interim or Final Occupation Certificate.

OFFICE USE ONLY

Date of receipt:	Receipt No:	Amount Paid:	Accepted by:
------------------	-------------	--------------	--------------

1. DEVELOPMENT INFORMATION

1a) DEVELOPMENT CONSENT

Development Application No: N0482/05	Determination Date: 9 SEPT 6MBGR 2005
---	--

1b) CONSTRUCTION CERTIFICATE

Construction Certificate No: CC0542/05	Date of Issue: 1 NOVEMBER 2005
---	-----------------------------------

1c) DEVELOPMENT DETAILS

Type of Work: <input type="checkbox"/> New Building <input type="checkbox"/> Additions / Alterations <input type="checkbox"/> Subdivision	Brief description of development:
--	-----------------------------------

1d) SITE DETAILS

Unit/Suite:	Street No: 47	Street: THE SERPENTINE
Suburb: BILGOLA	Lot No:	Deposit /Strata Plan:

1e) VALUE OF PROPOSED DEVELOPMENT

Estimated value of proposed works: \$

1f) DATE WORK IS TO COMMENCE

Minimum notice of two (2) days is required to be given prior to commencement of works.
Date of commencement:

2. APPLICANT DETAILS

Note: The builder or other contractor cannot complete this form unless they are also the owner of the property.

Name (owner):	
Postal Address:	Phone (H/B): Mobile: Email: Fax:

3. **PRINCIPAL CERTIFYING AUTHORITY**

PITTWATER COUNCIL

PO Box 882
Mona Vale NSW 1660

Ph: 9970 1111
Fax: 9970 7150

4. **COMPLIANCE WITH DEVELOPMENT CONSENT**

Have all conditions to be addressed prior to the commencement of works been satisfied?

☐ YES

☐ NO (see Note below)

Note: If NO work must not commence.

Please be aware that failure to address these conditions may leave you liable and in Breach of the Environmental Planning and Assessment Act 1979 (as amended). Penalties may include an on-the-spot fine and/or legal action.

If you are uncertain as to these requirements please contact Council's Development Compliance Group.

5. **WHO WILL BE DOING THE BUILDING WORKS?**

☐ Owner Builder

Owner Builders Permit No:

Copy of Owner Builders permit
attached:

☐ YES

***If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Parramatta NSW 2150 Australia.
Tel: 61 2 98950111 Fax: 61 2 9895 0222.***

OR

☐ Licensed Builder

Builder's License Number

Name of Builder:

Phone:

Contact person:

Mobile:

Address:

Fax:

Insurance Company:

Insurance Certificate attached:

☐ Yes

☐ No – statement attached & signed by each owner of the property that the reasonable market cost of the labour & materials to be used is less than \$12,000.

If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application.

6. RESPONSIBILITIES OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA)

6a) Quality of Service:

Pittwater Council will carry out PCA and inspection services in a professional manner and in accordance with the requirements of the Environmental Planning & Assessment Act 1979 and Council's Code of Conduct.

6b) Site Signage:

Pittwater Council will erect a sign on the site to advise the general public of the contact details of the PCA. The sign will be erected during the Commencement Inspection, on Council's acceptance of appointment as PCA.

6c) Inspections:

Pittwater Council officers will undertake the Critical Stage Inspections of the work during construction and prior to issuing an Occupation Certificate to ascertain compliance of specified stages of construction with the Development Consent, Construction Certificate, Building Code of Australia & relevant standards of construction. On appointment as the PCA, Pittwater Council will notify the applicant in writing of the Critical Stage & other Inspections.

6d) Critical Stage and other inspections:

The following stages of construction are required to be inspected by Council (as indicated by a ✓ in the relevant box).

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☐ Footing Inspection (prior to placement of concrete)
- ☒ Slab and other Steel Inspection (prior to placement of concrete)
- ☒ Frame Inspection (prior to fixing floor, wall & ceiling linings)
- ☐ Wet Area Waterproofing Inspection (prior to covering)
- ☐ Stormwater Inspection (prior to backfilling of trenches)
- ☐ Swimming Pool Safety Fence Inspection (prior to placement of water)
- ☒ Final Inspection (all works completed and prior to occupation of the building)



Note: Should the building works be completed in parts & not all aspects of a Critical Stage Inspection be ready, additional inspections maybe required – with a further inspection fee payable.

Eg: If two slabs are prepared at separate times, two separate inspection bookings and fees are required.

6e) Critical Stage and other inspection fees:

An inspection fee is required for each inspection identified in Part 6d of this form.

A separate inspection fee is required for each Critical Stage Inspection. Should works be either incomplete or incorrect at the time of inspection a further separate reinspection fee will be required.

Each inspection fee may be paid at the time of requesting an inspection or delayed for payment with the request for either an Interim or Final Occupation Certificate.

Critical Stage or other Inspection Fee Scale current to 30 June 2006

(Code: HINR)

Value of Development	Fee per Inspection
\$0 - \$100,000	\$150
\$100,001 and over	\$250

Final Inspection Fee Scale current to 30 June 2006

(Code:FOCC)

Type of Development	Interim Occupation Certificate	Final Occupation Certificate
Domestic (Class 1 and 10 buildings)	\$270	\$270
Commercial (Class 2 – 9 buildings)	\$325	\$325

Please note that a failure to give correct notification of required inspections may result in the issuing of a Penalty Infringement Notice (PIN or on-the-spot fine) and/or a Notice and Order by Council and may result in refusal to issue an Occupation Certificate.

6f) Inspection Results:

Pittwater Council will provide written confirmation to the applicant of the inspection results and indicate if satisfactory or if additional works are required prior to reinspection.

7. RESPONSIBILITIES OF THE APPLICANT

7a) Inspections:

A minimum of forty-eight (48) hours notice (excluding weekends and public holidays) must be given to Council to enable the specified stages of construction to be inspected as identified in Item 6 of this agreement.

Should an inspection be missed, the applicant must advise Council in writing (as soon as practicable after the event) of that fact, the circumstances causing the inspection to be missed and supporting documentation for Council's consideration. In such cases, the inspection fee, which would normally have been required, must still be paid.

The applicant must ensure that the Principal Contractor (Builder/Owner Builder) is advised of the required inspections and that the directions of Council's Development Compliance Officers are to be observed to ensure compliance with the Development Consent, Construction Certificate, Building Code of Australia and the terms of this agreement.

7b) Booking of Inspections:

The applicant shall request an inspection via Pittwater Council's Inspection Booking Hotline on 9970 1300. A minimum of forty-eight (48) hours notice must be provided to Council to arrange for completion of the inspection.

At the time of requesting the inspection, Pittwater Council will confirm an inspection time and day, name of inspecting officer and mobile contact number.

Building works must **not** proceed to the subsequent stages of construction prior to obtaining a satisfactory inspection from Council for each stage of construction specified in Item 6d of this agreement.

7c) Site Signage:

The applicant is responsible to maintain the PCA signage provided by Pittwater Council at the site until the work is completed.

The applicant is responsible to ensure that the Owner Builder or Principal Contractor (Builder) provide a rigid durable sign at the site, visible from the public place and maintained at the site until the work is completed. Such a sign shall display: (a) the name, address and telephone number of the person; (b) an after-hours emergency telephone number for the person and (c) stating "Unauthorised Entry to the Site is Prohibited".

7d) Compliance with the Development Consent and Construction Certificate:

All works must be carried out in accordance with the terms and conditions of Council's Development Consent and the Construction Certificate and relevant provisions of the Building Code of Australia and Environmental Planning and Assessment Act 1979.

Development Consent and a Construction Certificate must be obtained for any amendments or variations to the development, prior to the commencement of the amendment or variation.

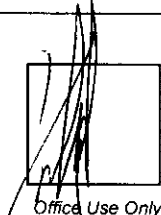
Works not in accordance with the approval and Building Code of Australia may result in the refusal to issue an Occupation Certificate. Council may also serve a Notice and Order to comply with the approval and/or the institution of legal proceedings.

7e) Structural Engineering and Other Specialist Details:

The following details are to be forwarded to the PCA prior to commencement of the relevant stage of construction (as identified by a ✓). The details are to be prepared by a suitably qualified person to confirm compliance with the relevant provisions of the BCA and Australian Standards:

Note: Council's Development Compliance Officer will complete this section of the form.

- ☐ Timber framing details including bracing and tie-downs
- ☐ Roof construction or roof truss details
- ☐ Termite control measures
- ☐ Glazing details
- ☐ Mechanical ventilation details
- ☐ Wet area construction details
- ☐ Details of fire resisting construction
- ☐ Details of essential fire and other safety measures
- ☐ Sound transmission and insulation details
- ☒ Details of compliance with development consent conditions


Office Use Only

Office Use Only

7f) Certification of Works:

To ensure compliance with the Construction Certificate and Building Code of Australia (BCA), the applicant is to provide certification, verifying that the following specialist matters (identified by a ✓) have been carried out.


Each certification must:

- reference the approved Construction Certificate number, property address, relevant provisions of the BCA, Australian Standards and approved drawings.
- be prepared by an accredited certifier or other suitably qualified & experienced person to the satisfaction of Pittwater Council.

Note: Council's Development Compliance Officer will complete this section of the form.

Office Use Only

- ☒ Survey detailing building setbacks, reduced levels of floors & ridge by a registered surveyor
 - ☐ Shoring and support for adjoining premises and structures by a structural engineer
 - ☐ Contiguous piers or piling by a structural engineer
 - ☐ Underpinning works by a structural engineer
 - ☒ Structural engineering works by a structural engineer
 - ☒ Retaining walls by a structural engineer
 - ☐ Stormwater drainage works by a hydraulic engineer and surveyor
 - ☐ Landscaping works by the landscaper
 - ☐ Condition of trees by an Arborist
 - ☐ Mechanical ventilation by a mechanical engineer
 - ☒ Termite control and protection by a licensed pest controller
 - ☐ Waterproofing of wet areas by a licensed waterproofer or licensed builder
 - ☐ Installation of glazing by a licensed builder
 - ☐ Installation of smoke alarm systems by a licensed electrician
 - ☐ Completion of construction requirements in a bush fire prone area by a competent person
 - ☐ Completion of requirements listed in the BASIX Certificate by a competent person
 - ☐ Fire resisting construction systems by a competent person
 - ☐ Smoke hazard management systems by a competent person
 - ☐ Essential fire safety and other safety measures by a competent person (Form 15a)
 - ☐ Completion of Bushland Management requirements by a suitably qualified person.
 - ☐ Installation of Waste Water Management System by a suitably qualified person
 - ☐ Installation of the inclined lift by a suitably qualified person
 - ☐ Installation of sound attenuation measures by an acoustic engineer



Office Use Only

7g) Occupation Certificate:

A *Final* Occupation Certificate must be obtained from the PCA prior to the occupation or use of a new building (or part of a building) or prior to the change of an existing building use/classification. An inspection fee is to be paid to the PCA in accordance with the fee scale in Part 6e of this agreement.

An application may be made to the PCA for an *Interim* Occupation Certificate, which will be considered in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and conditions of development consent.

Only the Principal Certifying Authority can issue an Occupation Certificate and the Environmental Planning and Assessment Act 1979 contains penalty provisions for failing to obtain a required Occupation Certificate.

An application for an *Interim* or *Final* Occupation Certificate must be accompanied by a final or interim *fire safety certificates* as required by the EP&A Regulations, Clauses 80E or 80F for buildings other than Class 1 and 10.

7h) Miscellaneous requirements:

The applicant is required to ensure that valid public liability insurance cover to the value of \$10,000,000 (minimum) is held by the applicant and/or builder.

The applicant is required to notify Council, in writing, of any change in the details or address of the applicant or head contractor.

Pittwater Council may cancel the agreement if there is a breach of the agreement.

8. YOUR SIGNATURE

I accept the terms and conditions of this service agreement, including the associated payment of fees and appoint Pittwater Council as the Principal Certifying Authority for the subject development.

Signature: Date:

9. COUNCIL'S AGREEMENT TO APPOINTMENT

The relevant details in Parts 6d, 7e & 7f of this agreement have been completed and I acknowledge the appointment of Pittwater Council as the Principal Certifying Authority.

Officer's name: on behalf of Pittwater Council

Officer's signature: Date:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council to act as the Principal Certifying Authority for the development.
Intended recipients:	Pittwater Council staff
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	Pittwater Council will store details of this form in a register that can be viewed by the public.
Retention period:	Hard copies will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided is incorrect or changes.	