

LEGEND:
WALLS - TIMBER / FC HORIZONTAL CLADDING (medium colour).
WALLS - SELECTED RENDER (medium colour).
ROOF - SELECTED COLOURBOND SHEETING (dark colour).
WINDOWS AND DOOR FRAMES - Powder-coated aluminium (medium/dark colour).
TRIMS - White colour.

* BALUSTRADE - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).

LOT DP	10 27133
AREA CALCULATIONS	m ²
SITE AREA	689.31

SITE ANALYSIS PLAN
1:200

TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
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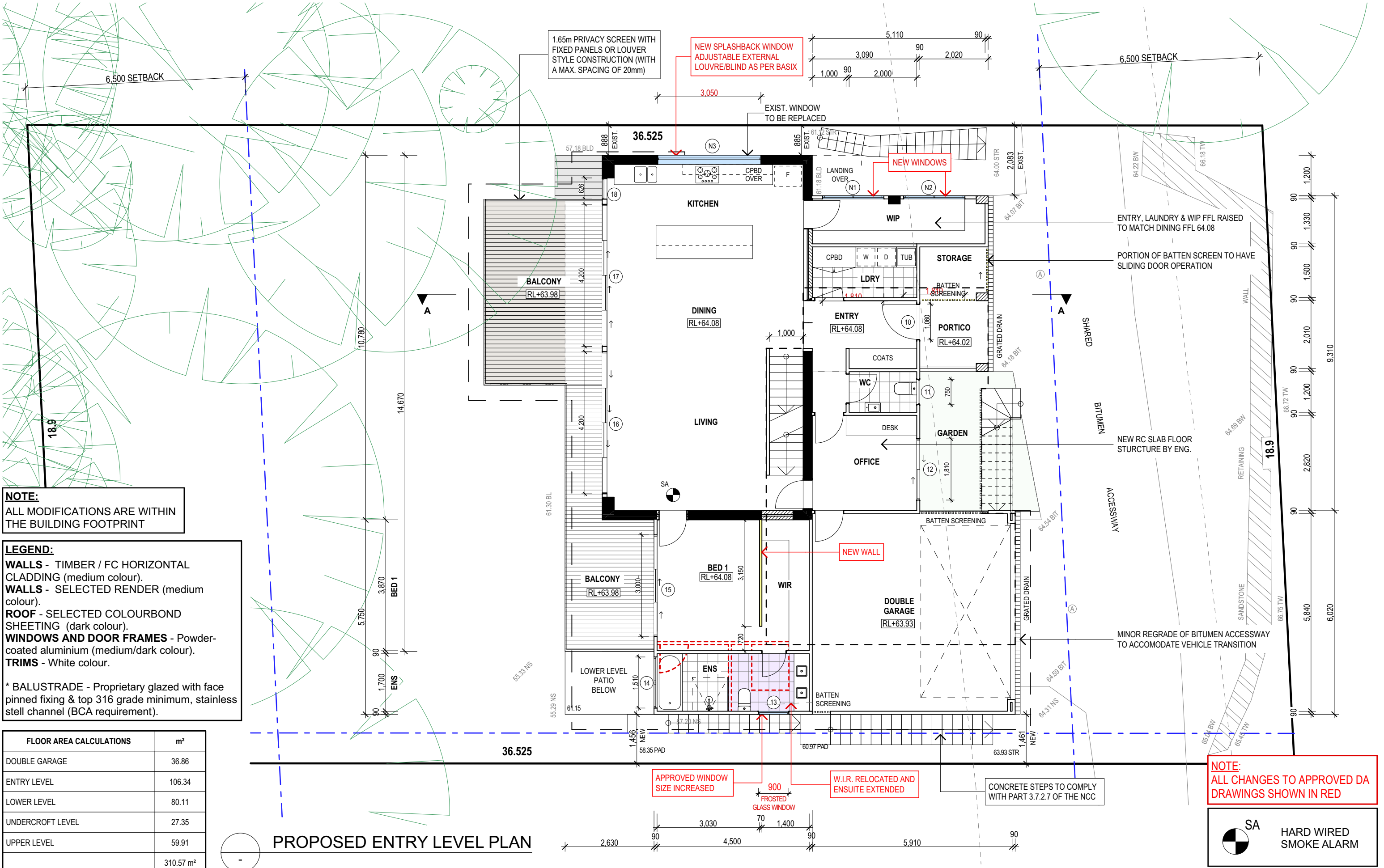
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I	17.01.22	CC DRAWINGS UPDATED
J	08.03.22	CC DRAWINGS UPDATED
k	08.03.22	CC DRAWINGS UPDATED
L	21.11.22	SECTION 4.55 DRAWINGS
M	31.08.23	SECTION 4.55 DRAWINGS UPDATED
N	17.10.23	UPPER RET. WALL NO PART OF APPLICATION
O	18.10.23	UPDATE - MINOR ERROR

SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS 10 TAMINGA STREET, BAYVIEW NSW 2104	DATE: JULY/20	DRAWN BY: AHB	SCALE: 1:200 @ A3
DRAWING TITLE: SITE PLAN	JOB No: 815/20	CHECKED BY: JJ	DRAWING No: MOD.01

NOTE:
ALL MODIFICATIONS ARE WITHIN THE BUILDING FOOTPRINT

NOTE:
ALL CHANGES TO APPROVED DA DRAWINGS SHOWN IN RED

HARD WIRED SMOKE ALARM



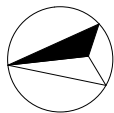
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FLOOR AREA CALCULATIONS	m ²
DOUBLE GARAGE	36.86
ENTRY LEVEL	106.34
LOWER LEVEL	80.11
UNDERCROFT LEVEL	27.35
UPPER LEVEL	59.91
	310.57 m ²

TRUE NORTH:



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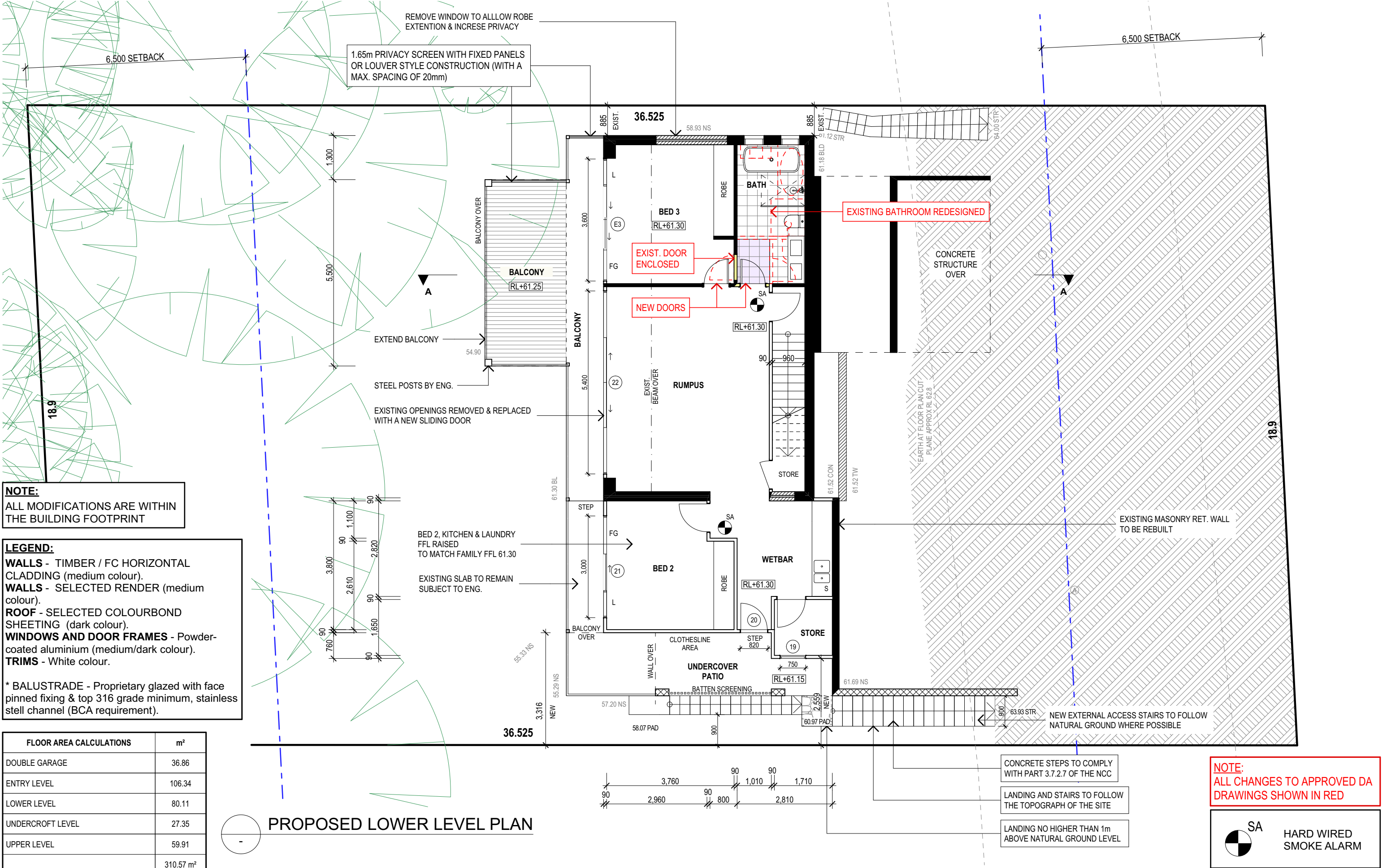
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SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED ENTRY LEVEL PLAN

DATE: JULY/20	DRAWN BY: AHB	SCALE: 1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: MOD.03



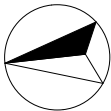
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FLOOR AREA CALCULATIONS	m ²
DOUBLE GARAGE	36.86
ENTRY LEVEL	106.34
LOWER LEVEL	80.11
UNDERCROFT LEVEL	27.35
UPPER LEVEL	59.91
	310.57 m ²

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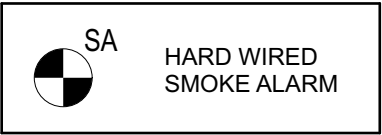
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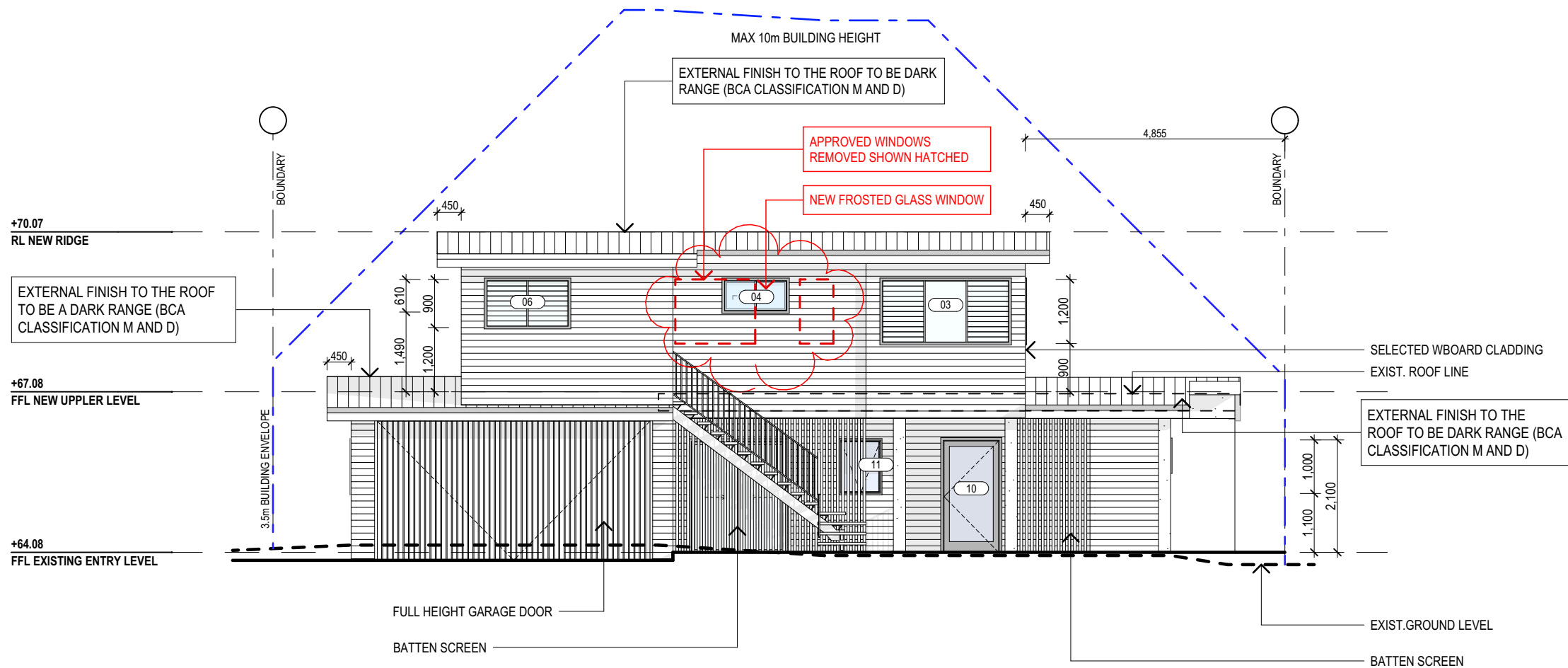
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SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED LOWER LEVEL PLAN

DATE: JULY/20	DRAWN BY: AHB	SCALE: 1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: MOD.04





SOUTH ELEVATION
1:100

LEGEND:

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DRAWINGS SHOWN IN RED

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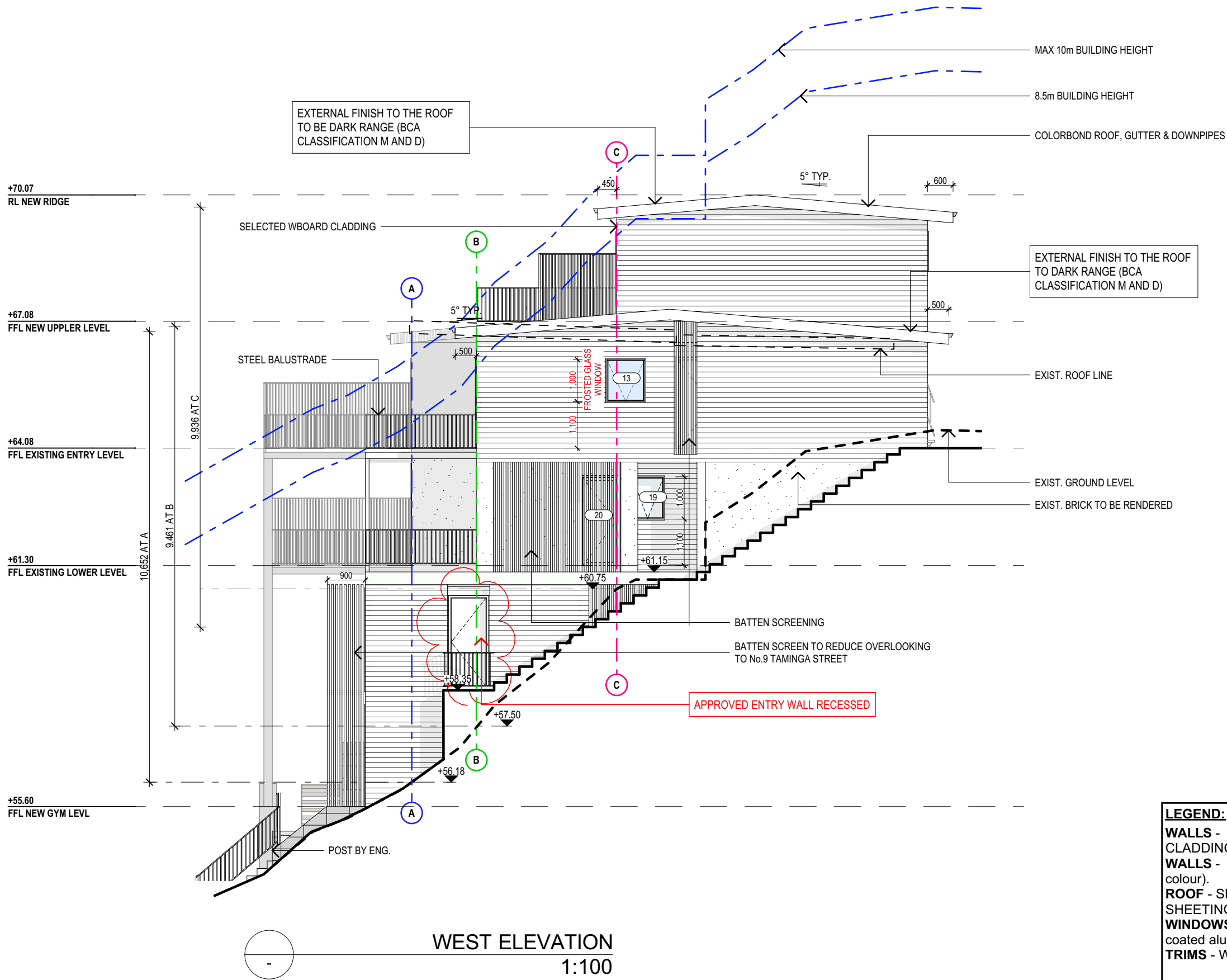
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SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
PROPOSED ELEVATIONS SHEET 1

DATE: JULY/20	DRAWN BY: AHB	SCALE: 1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: MOD.06



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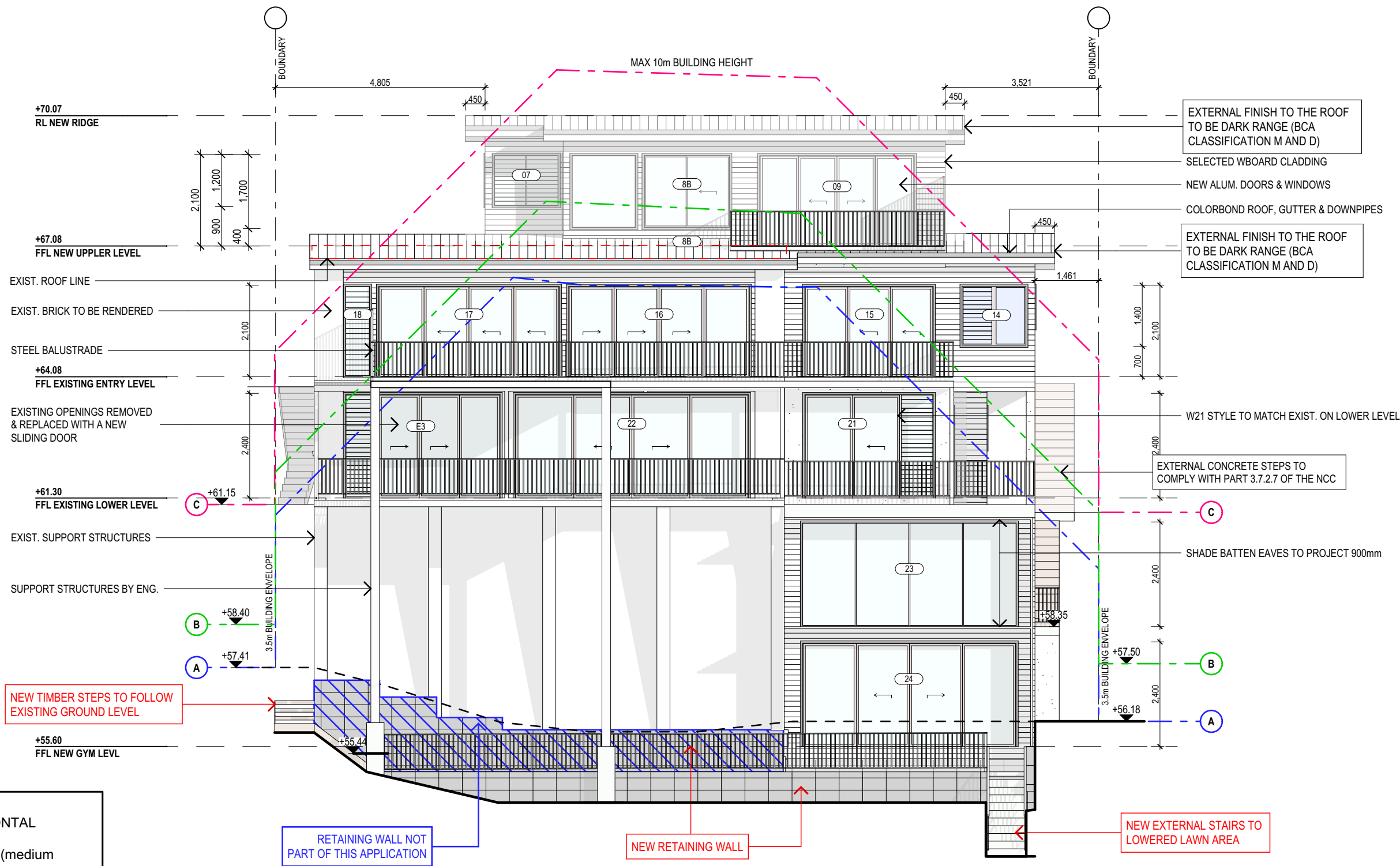
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SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS 10 TAMINGA STREET, BAYVIEW NSW 2104
DRAWING TITLE: PROPOSED ELEVATIONS SHEET 2

DATE: JULY/20	DRAWN BY: AHB	SCALE: 1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: MOD.07



LEGEND:
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WALLS - SELECTED RENDER (medium colour).
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NOTE:
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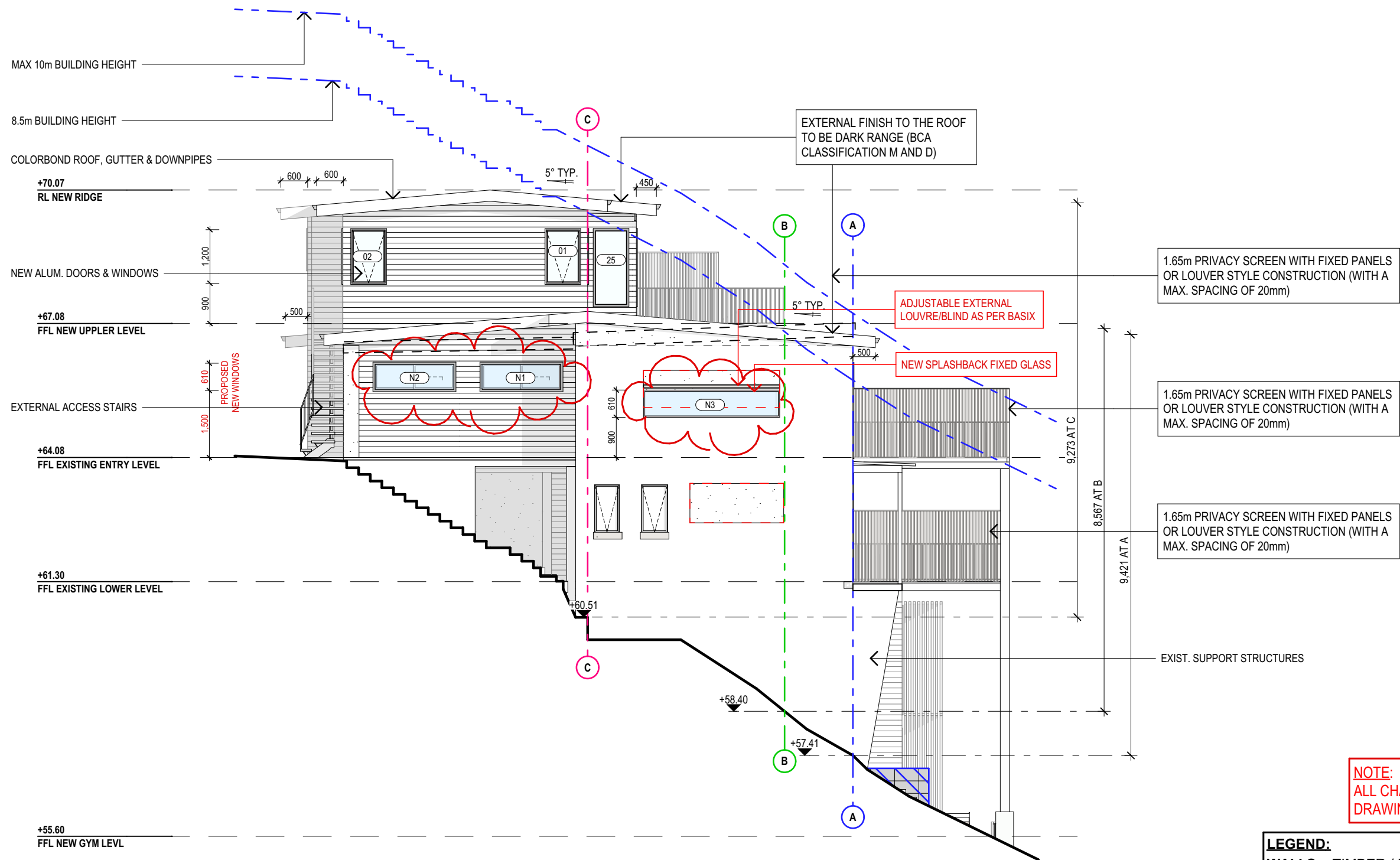
NOTES (E & OE)
<ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

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SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS 10 TAMINGA STREET, BAYVIEW NSW 2104
DRAWING TITLE: PROPOSED ELEVATIONS SHEET 3

DATE: JULY/20	DRAWN BY: AHB	SCALE: 1:100 @ A3
JOB No: 815/20	CHECKED BY: JJ	DRAWING No: MOD.08



EAST ELEVATION
1:100

NOTE:
ALL CHANGES TO APPROVED DA
DRAWINGS SHOWN IN RED

LEGEND:		
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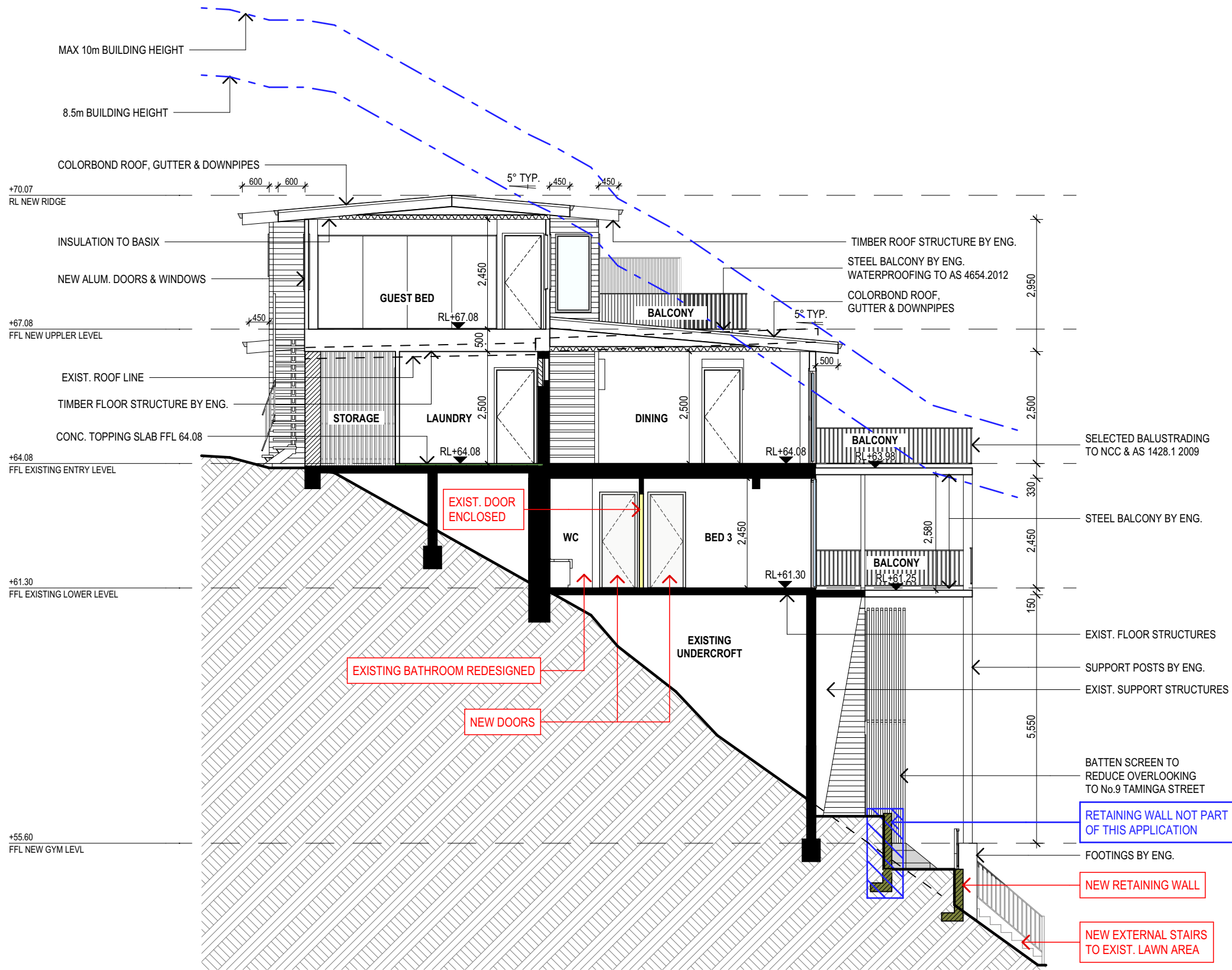
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10 TAMINGA STREET, BAYVIEW NSW 2104	
DRAWING TITLE:	
PROPOSED ELEVATIONS SHEET 4	

DATE:	DRAWN BY:	SCALE:
JULY/20	AHB	1:100 @ A3
JOB No:	CHECKED BY:	DRAWING No:
815/20	JJ	MOD.09



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SECTION 4.55 TO PROPOSED ALTERATIONS AND ADDITIONS
10 TAMINGA STREET, BAYVIEW NSW 2104

DRAWING TITLE:
SECTION AA

DATE:
JULY/20

JOB No:
815/20





DRAWN BY:
AHB

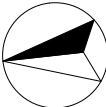
CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
MOD.10

NOTE: NO CHANGES TO LANDSCAPE AREA

CALCULATIONS			
SITE AREA			689.31m ²
LANDSCAPE CONTROL		60%	413.59m ²
EXISTING LANDSCAPED AREA		62.85%	433.25m ²
OUTDOOR RECREATIONAL AREA			13.75m ²
TOTAL LANDSCAPED AREA		60.83%	419.32m ²
EXISTING HARD SURFACE AREA			256.07m ²
NEW HARD SURFACE AREA			27.68m ²
TOTAL HARD SURFACE AREA			283.75m ²

TRUE NORTH:


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DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

DATE: JULY/20
JOB No: 815/20

DRAWN BY: AHB
CHECKED BY: JJ

SCALE: 1:200 @ A3
DRAWING No: MOD.12

