

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

# DEVELOPMENT APLLICATION

## Alterations & AdditionsTo Existing Residence

### For Matt MacLennan

## 9 Hyde Avenue, Killarney Heights

### Lot 623 D.P.217209

### Project Number: RP1022MAC



**BASIX**®Certificate

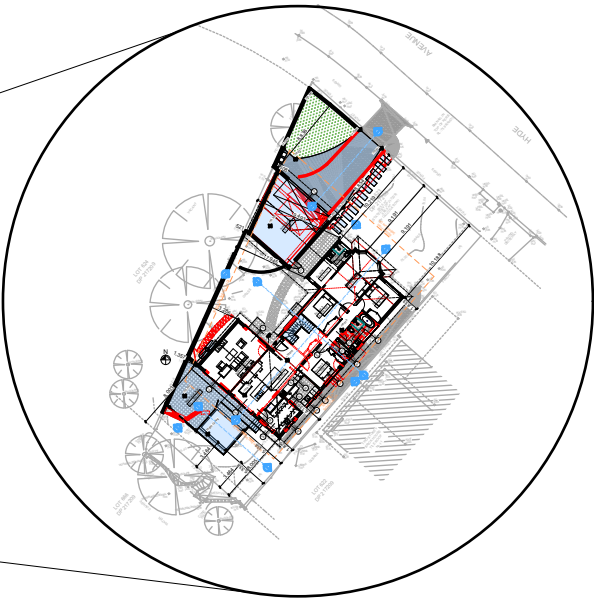
Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Alterations and Additions

Certificate number: A483346\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Wednesday, 17, May 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.

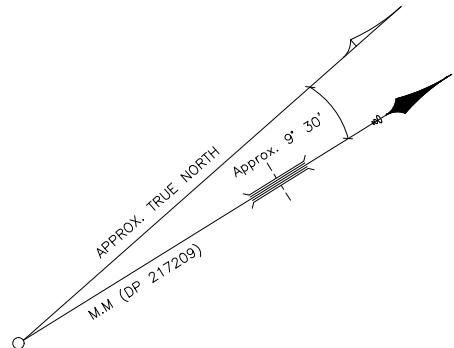


Description of project

Project address	
Project name	MacLennan_02
Street address	9 Hyde Avenue Killarney Heights 2087
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 217209
Lot number	623
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	1	- 9/12/22
DA1001	A4 NOTIFICATION PLAN	1	- 9/12/22
DA1002	SITE SURVEY	1	- 9/12/22
DA1003	SITE PLAN	1	- 9/12/22
DA1004	Existing Ground Floor Plan	1	- 9/12/22
DA1005	Existing First Floor Plan	1	- 9/12/22
DA1006	Demolition Ground Floor Plan	1	- 9/12/22
DA1007	Demolition Roof Plan	1	- 9/12/22
DA1008	Excavation & Fill Plan	1	- 9/12/22
DA1009	Landscape Open Space Plan Existing	1	- 9/12/22
DA1010	Landscape Open Space Plan Proposed	1	- 9/12/22
DA1011	Landscape Plan	1	- 9/12/22
DA1012	Sediment & Erosion Plan	1	- 9/12/22
DA1013	Waste Management Plan	1	- 9/12/22
DA1014	Stormwater Plan	1	- 9/12/22
DA2001	GROUND FLOOR	1	- 9/12/22
DA2002	FIRST FLOOR	1	- 9/12/22
DA2003	ROOF	1	- 9/12/22
DA3000	SECTION 1	1	- 9/12/22
DA3001	SECTION DRIVE	1	- 9/12/22
DA3002	SECTION POOL	1	- 9/12/22
DA4000	ELEVATIONS 1	1	- 9/12/22
DA4001	ELEVATIONS 2	1	- 9/12/22
DA4002	ELEVATIONS 3	1	- 9/12/22
DA5000	PERSPECTIVE	1	- 9/12/22
DA5001	MATERIAL & COLOUR SAMPLE BOARD	1	- 9/12/22
DA5002	SHADOW PLAN 21st June 9am	1	- 9/12/22
DA5003	SHADOW PLAN 21st June 12pm	1	- 9/12/22
DA5004	SHADOW PLAN 21st June 3pm	1	- 9/12/22
DA5005	WALL ELEVATION SHADOWS	1	- 9/12/22



LOT 666  
DP 217209

LOT 624  
DP 217209

LOT 622  
DP 217209

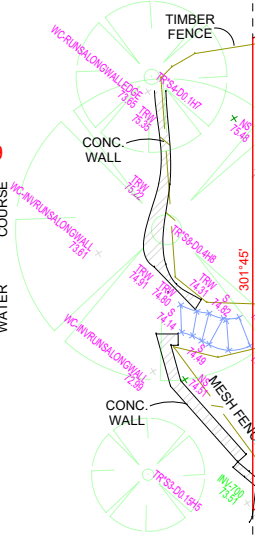
LOT 623  
DP 217209

AVENUE

HYDE



LEGEND:	
AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
BM	BENCH MARK
BOW	BOTTOM OF WALL
BRW	BOTTOM OF RETAINING WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
EP	ELECTRICAL BOX
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
IC	INSPECTION COVER
IK	INVERT OF KERB
INV	INVERT LEVEL
KO	KERB OUTLET
LH	LAMP HOLE
NS	NATURAL SURFACE
PAV	PAVERS
PP	POWER POLE
RL	REDUCED LEVEL
S	STEPS
SL	SURFACE LEVEL
SILL	WINDOW SILL
SIP	SEWER INSPECTION POINT
SMH	SEWER MAN HOLE
SV	STOP VALE
TEL	TELSTRA PIT
TK	TOP OF KERB
TOW/TW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
WM	WATER METER
WTOP	TOP OF WINDOW
W-B	WALL T O BOUNDARY



(A) - EASEMENT FOR DRAINAGE 1.83 WIDE(VIDE DP 217209).

THE SUBJECT TITLE NOTES : AS AT 7/9/2022		
1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)		
2 J63715 COVENANT		
3 DP217209 EASEMENT FOR DRAINAGE AFFECTING THAT PART OF THE LAND ABOVE DESCRIBED SHOWN AS SITE OF PROPOSED DRAINAGE EASEMENT 6 FEET WIDE IN DP217209		
4 K429663 COVENANT		
NOTES:		
A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY		
B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.		
C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.		
D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.		
E) USE STATED DIMENSIONS. DO NOT SCALE.		
F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.		
G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.		
REVISION No	DESCRIPTION	DATE
V1	PLAN ISSUED	13/9/22

BRANDAN BOWD  
(REGISTERED SURVEYOR)  
SURVEYOR ID No. 9122

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**C&A SURVEYORS**  
30 Grose Street, Parramatta, NSW 2150  
Ph: 96309299 email: operations@candasurveyors.com.au  
www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION  
SURVEY OF  
LOT 623 IN DP 217209, LOCATED AT  
No.9, HYDE AVENUE, KILLARNEY HEIGHTS.

S

W

E

TELSTRA PIT

WATER METER

STOP VALVE

HYDRANT

POWER POLE

APPROXIMATE LOCATION OF BURIED SEWER MAIN BY SYDNEY WATER DBYD RECORDS

APPROXIMATE LOCATION OF BURIED WATER MAIN (WM) BY SYDNEY WATER DBYD RECORDS

ELECTRIC LINE

S

D

TREE

D/H/S DIAMETER/HEIGHT/SPREAD

INSTRUCTING PARTY:		CARLY TRACE		SURVEYED BY: CN		DATUM:		AHD	
LGA: NORTHERN BEACHES		AREA BDY DP: 695.6 m²		DRAWN BY: DR		CHECKED BY:		JD	
SURVEY DATE: 8/9/2022		AREA BY CALC: 698.6 m²		SCALE: 1:100@A1		REF.NO: 22838-22 DET ID			
DATE DRAWN: 12/9/2022		CONTOUR INTERVAL: 0.2 m		REV No: V1		SHEET:		1 OF 1	



The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating

⇒ Denotes Demolished Item

SITE PLAN  
1:200

## Summer Cooling Winds

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

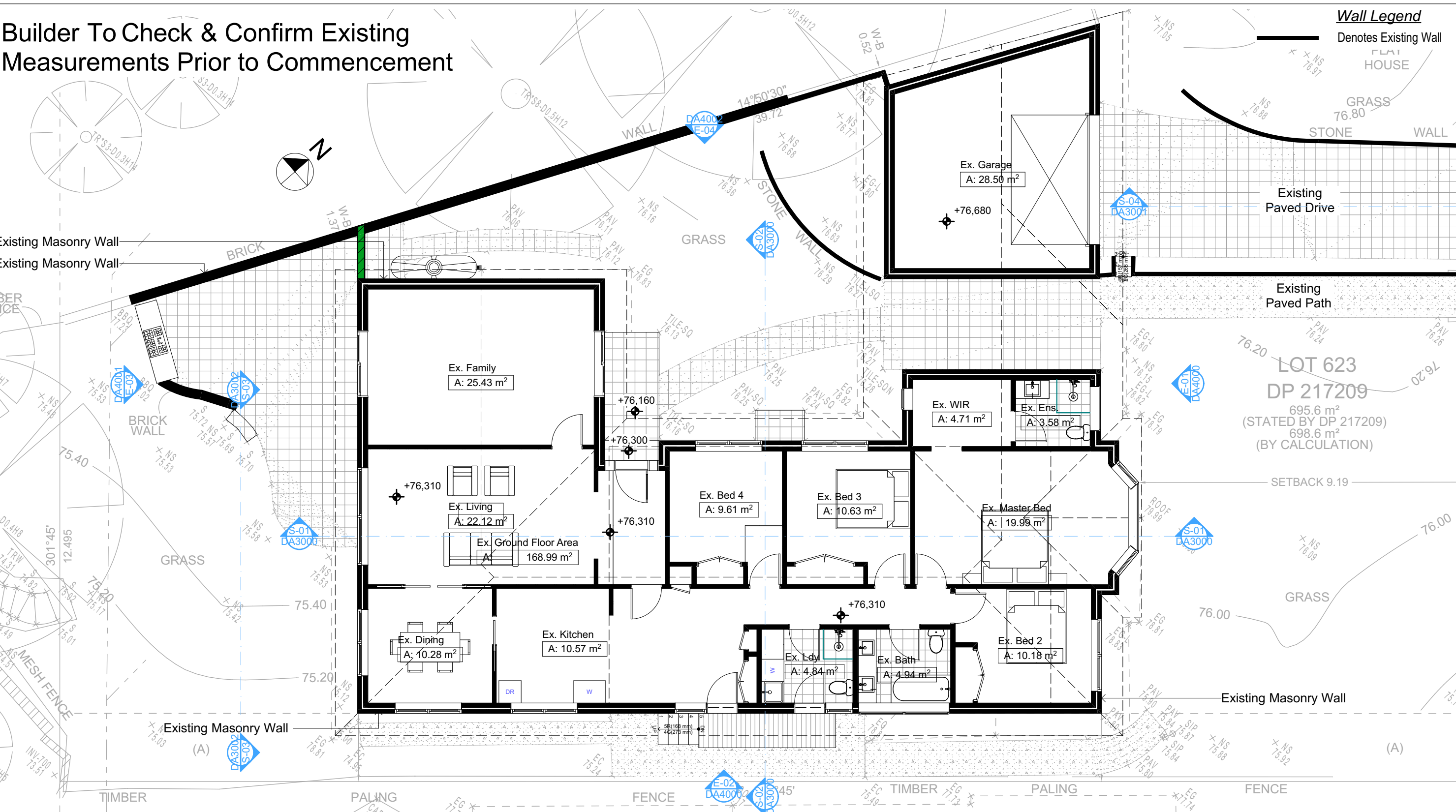
**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

REVISION NO.                      DATE

**1**                                      **9/12/22**

DRAWING NO.                      **DA1003**

Builder To Check & Confirm Existing Measurements Prior to Commencement



2 EXISTING GROUND FLOOR 1:100

DA APPLICATION ONLY NOT FOR CONSTRUCTION

**NOTES**  
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
9 Hyde Avenue, Killarney Heights is not considered a heritage item  
**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A483346\_02  
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b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	43%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	57%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



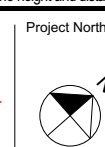
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**bdca**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED  
BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

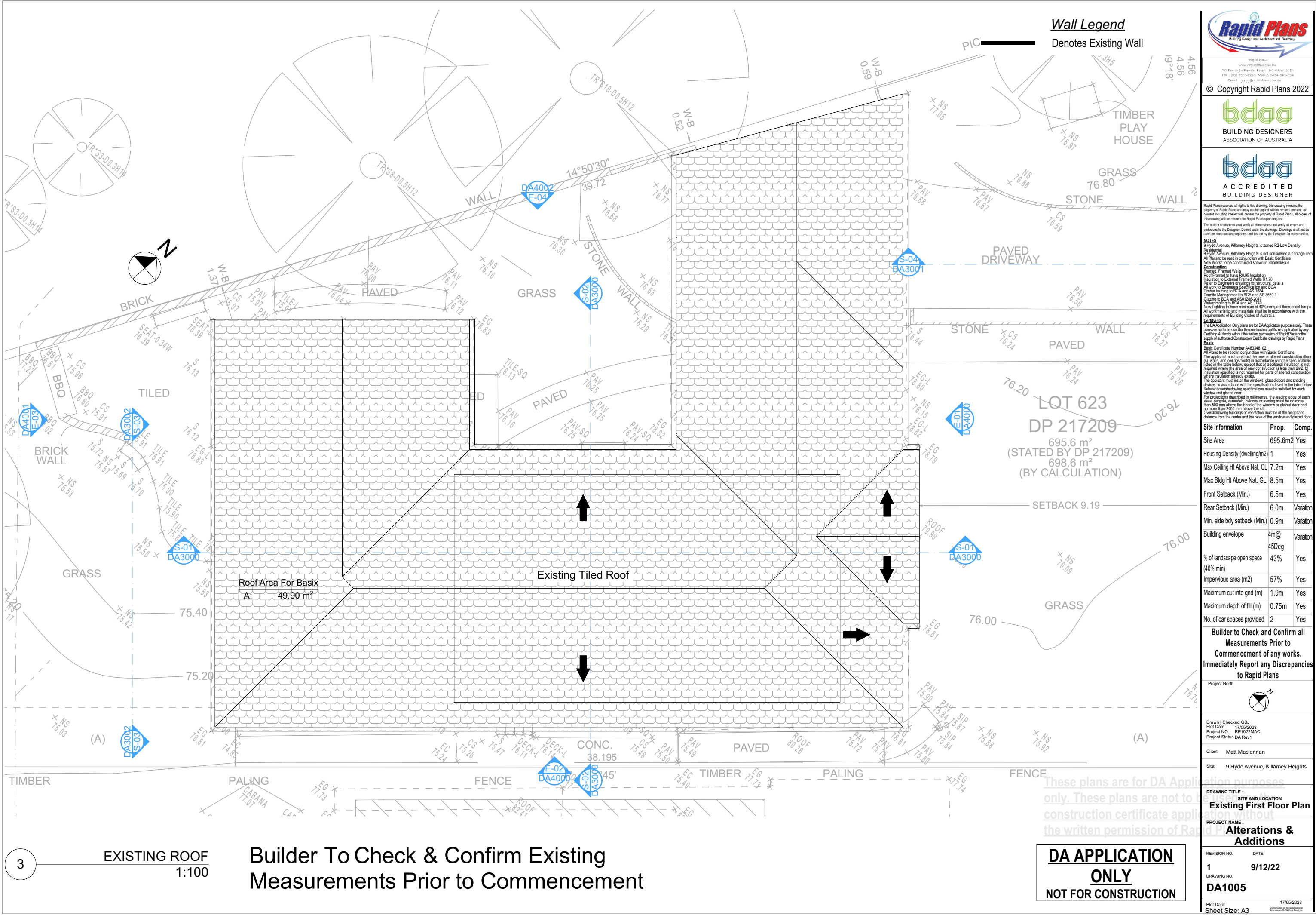


Project North  
Checked  
Plot Date: 17/05/2023  
Project NO: RP1022MAC  
Project Status: DA Rev1  
Client: Matt MacLennan  
Site: 9 Hyde Avenue, Killarney Heights  
Sheet Size: A3

DRAWING TITLE :  
SITE AND LOCATION  
Existing Ground Floor Plan  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
1  
DATE: 9/12/22  
DRAWING NO.  
DA1004





Wall Legend  
Denotes Existing Wall

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**NOTES**  
9 Hyde Avenue, Killamey Heights is zoned R2-Low Density Residential.  
9 Hyde Avenue, Killamey Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction.  
Framed Framed Walls  
Roof Framed to have R0.95 Insulation  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1078-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Setbacks**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.  
**Basic**  
Basic Certificate Number A483346 (2)  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation already exists.  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m <sup>2</sup> )	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO: RP1022MAC  
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

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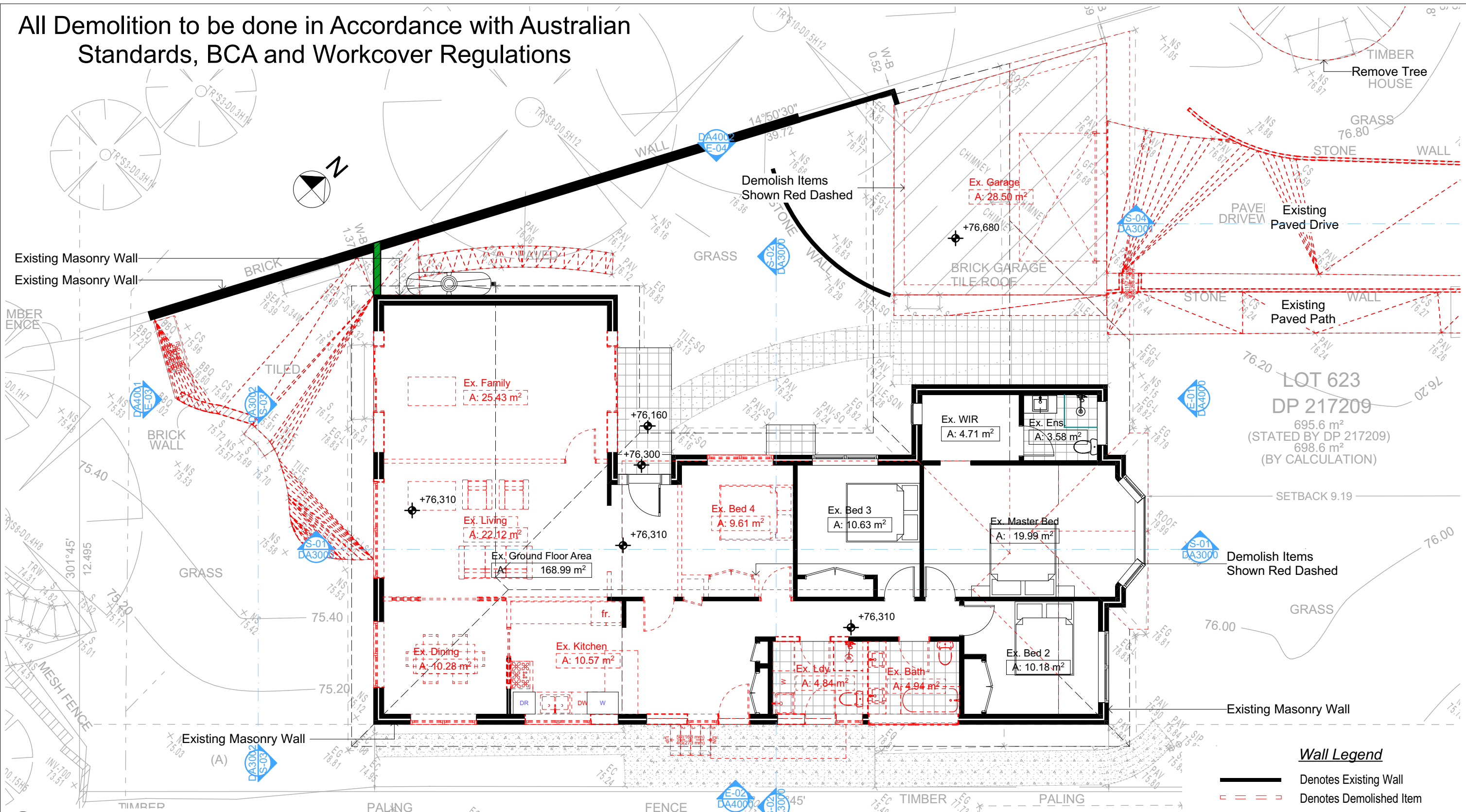
**DRAWING TITLE:**  
SITE AND LOCATION  
**Existing First Floor Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO. DATE  
**1** **9/12/22**  
DRAWING NO.  
**DA1005**

Plot Date: 17/05/2023  
Sheet Size: A3

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations



2 DEMOLITION GROUND FLOOR  
1:100

**NOTES**

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential

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New Works to be constructed shown in Shaded/Blue  
9 Hyde Avenue, Killarney Heights is not considered a heritage item

**Certifying**

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**Construction**

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Insulation to External Framed Walls R1.70  
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Glazing to BCA and AS01288-2047  
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New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**

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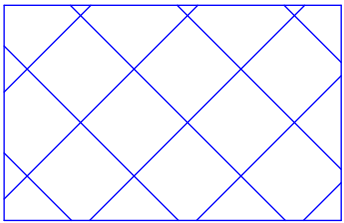
Project North  
Checked  
Plot Date:  
Project NO.  
Project Status  
Client  
Site:  
Matt MacLennan  
9 Hyde Avenue, Killarney Heights  
Sheet Size: A3

DRAWING TITLE :  
SITE AND LOCATION  
Demolition Ground Floor  
Plan  
PROJECT NAME :  
Alterations & Additions

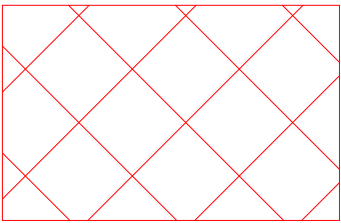
REVISION NO.  
1  
DATE:  
9/12/22  
DRAWING NO.  
DA1006



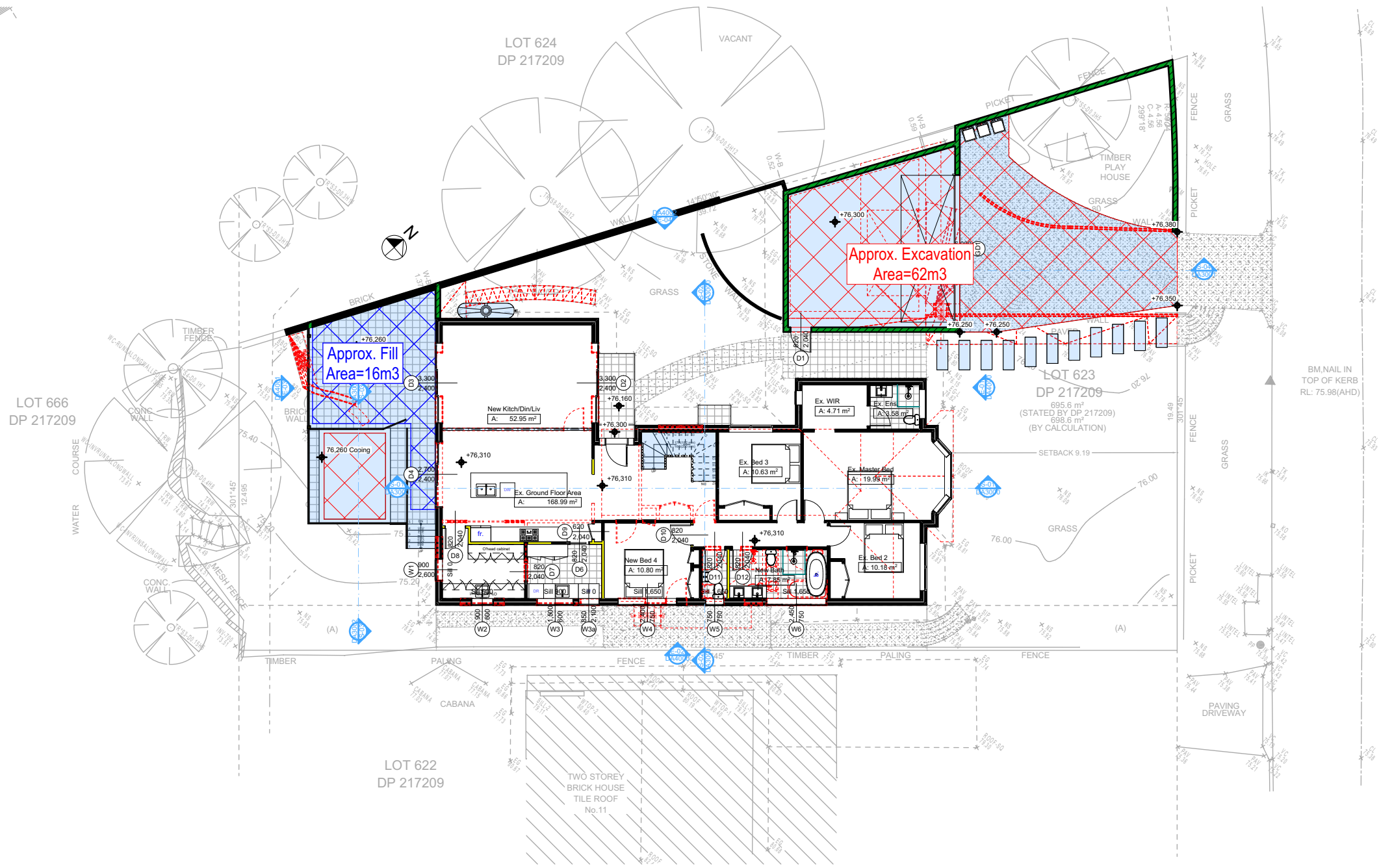




Denotes Fill Area



Denotes Excavation Area



2 EXCAVATION & FILL PLAN  
1:200

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Building Design and Architectural Drafting

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**Conditioning**  
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**Basic**  
Basic Certificate Number A483346\_02  
All Plans to be read in conjunction with Basic Certificate  
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Max Bldg Ht Above Nat. GL	8.5m	Yes
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Rear Setback (Min.)	6.0m	Variation
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Impervious area (m <sup>2</sup> )	57%	Yes
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Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

**DRAWING TITLE:**  
SITE AND LOCATION  
**Excavation & Fill Plan**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO.	DATE
1	9/12/22

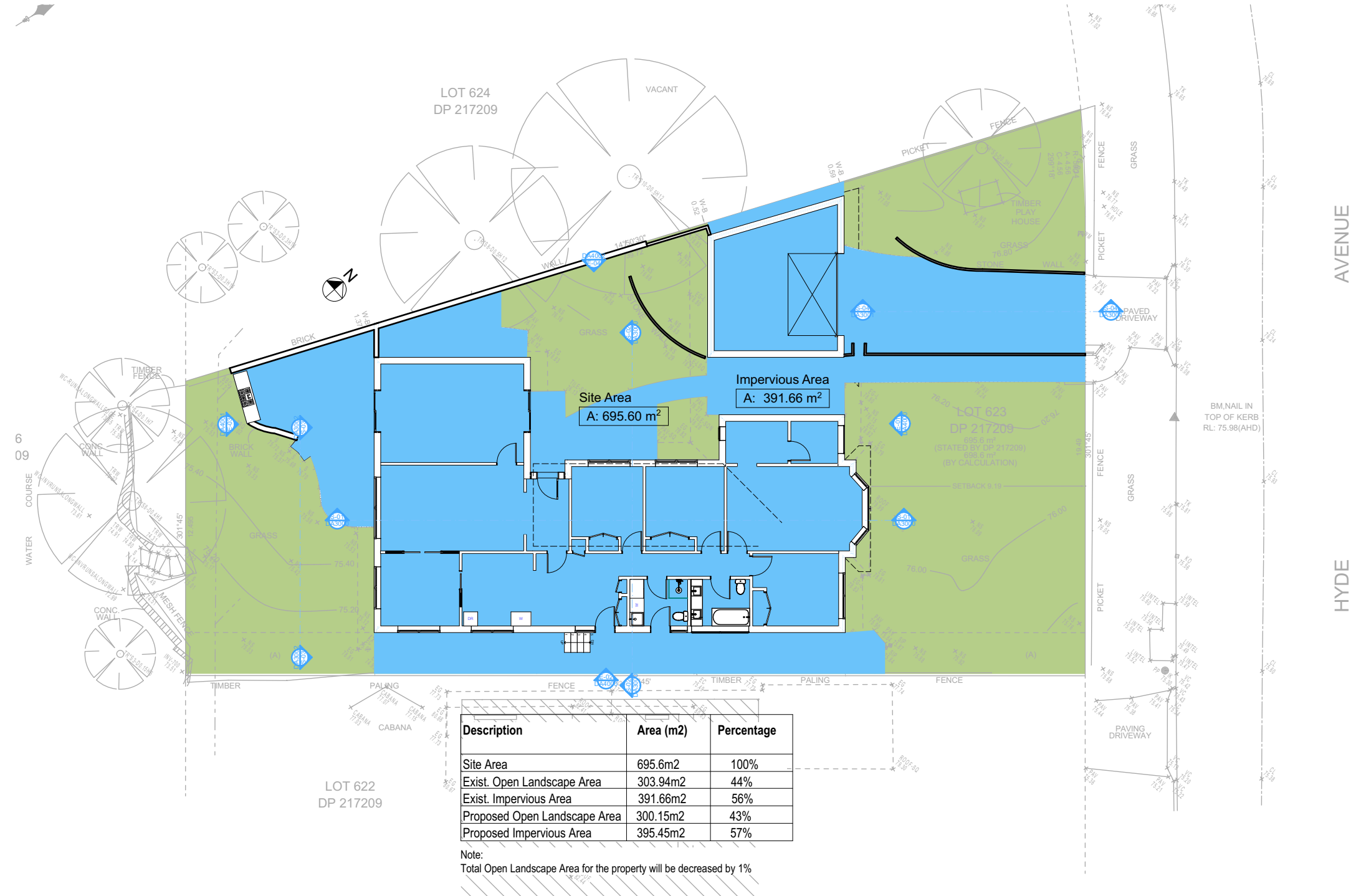
DRAWING NO.  
**DA1008**

Plot Date: 17/05/2023  
Sheet Size: A3



Denotes Impervious Area

Denotes Pervious Area



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Building Design and Architectural Drafting

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Ph: (03) 9360-8845 Mobile: 0414-946-024  
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**NOTES**  
9 Hyde Avenue, Killamey Heights is zoned R2-Low Density Residential.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
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**Basic**  
Basic Certificate Number A483346\_02  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m2)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

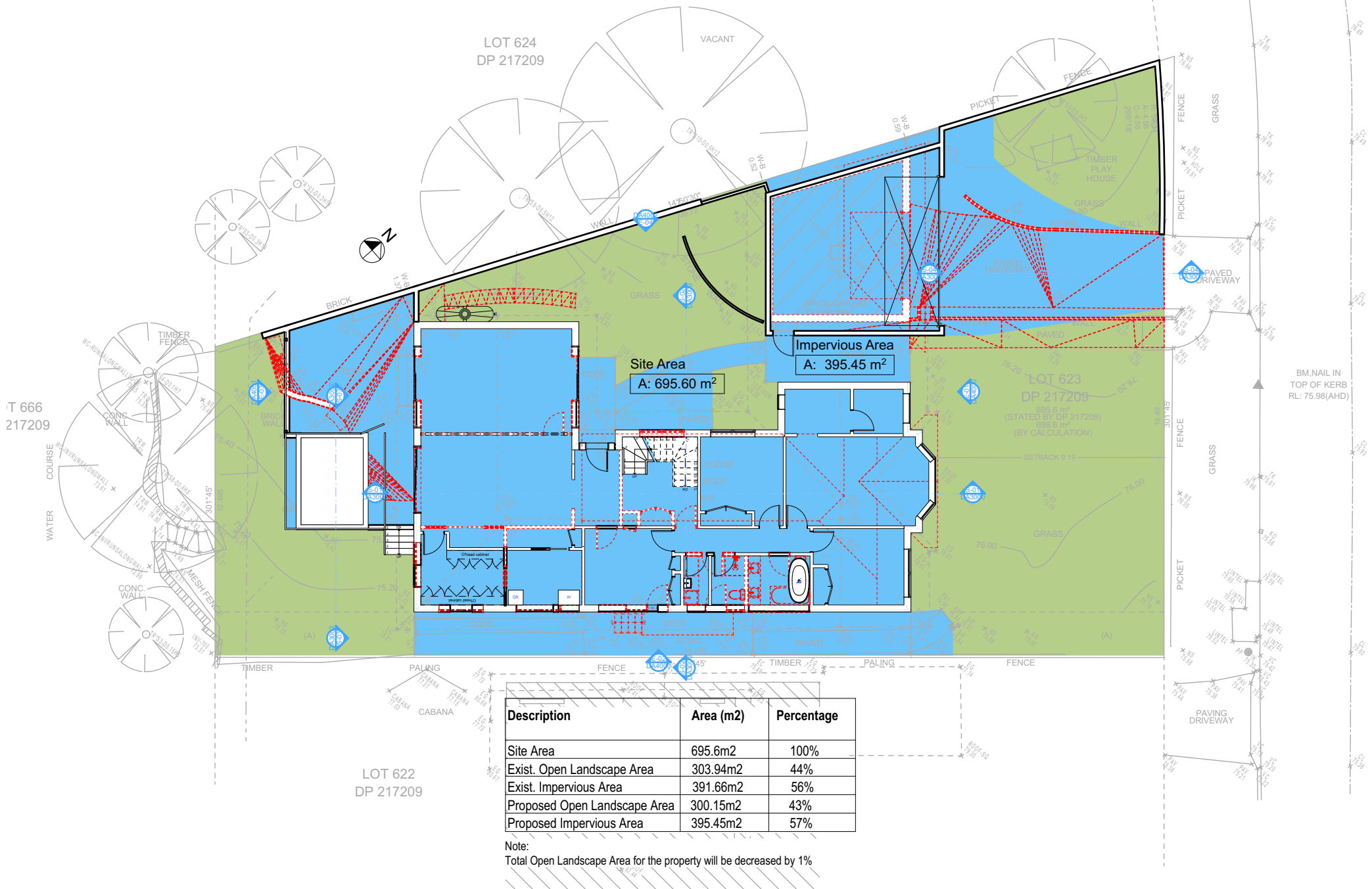
DRAWING TITLE SITE AND LOCATION  
**Landscape Open Space Plan Existing**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
1	9/12/22

DRAWING NO.  
**DA1009**

Plot Date: 17/05/2023  
Sheet Size: A3



Denotes Impervious Area

Denotes Pervious Area

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**NOTES**  
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.  
9 Hyde Avenue, Killarney Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1078-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Conditioning**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**  
Basic Certificate Number A483346\_02  
All Plans to be read in conjunction with Basic Certificate.  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.  
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Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m2)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

**DRAWING TITLE SITE AND LOCATION**  
**Landscape Open Space Plan Proposed**

**PROJECT NAME:**  
**Alterations & Additions**

REVISION NO.	DATE
1	9/12/22

DRAWING NO.  
**DA1010**

Plot Date: 17/05/2023  
Sheet Size: A3





**NOTES**  
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential  
9 Hyde Avenue, Killarney Heights is not considered a heritage  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue

**Certifying**  
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by a Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Site Information	Prop.	Com
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**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepanci  
to Rapid Plans**



Site: 9 Hyde Avenue, Killarney Heights

PROJECT NAME : **Alterations & Additions**

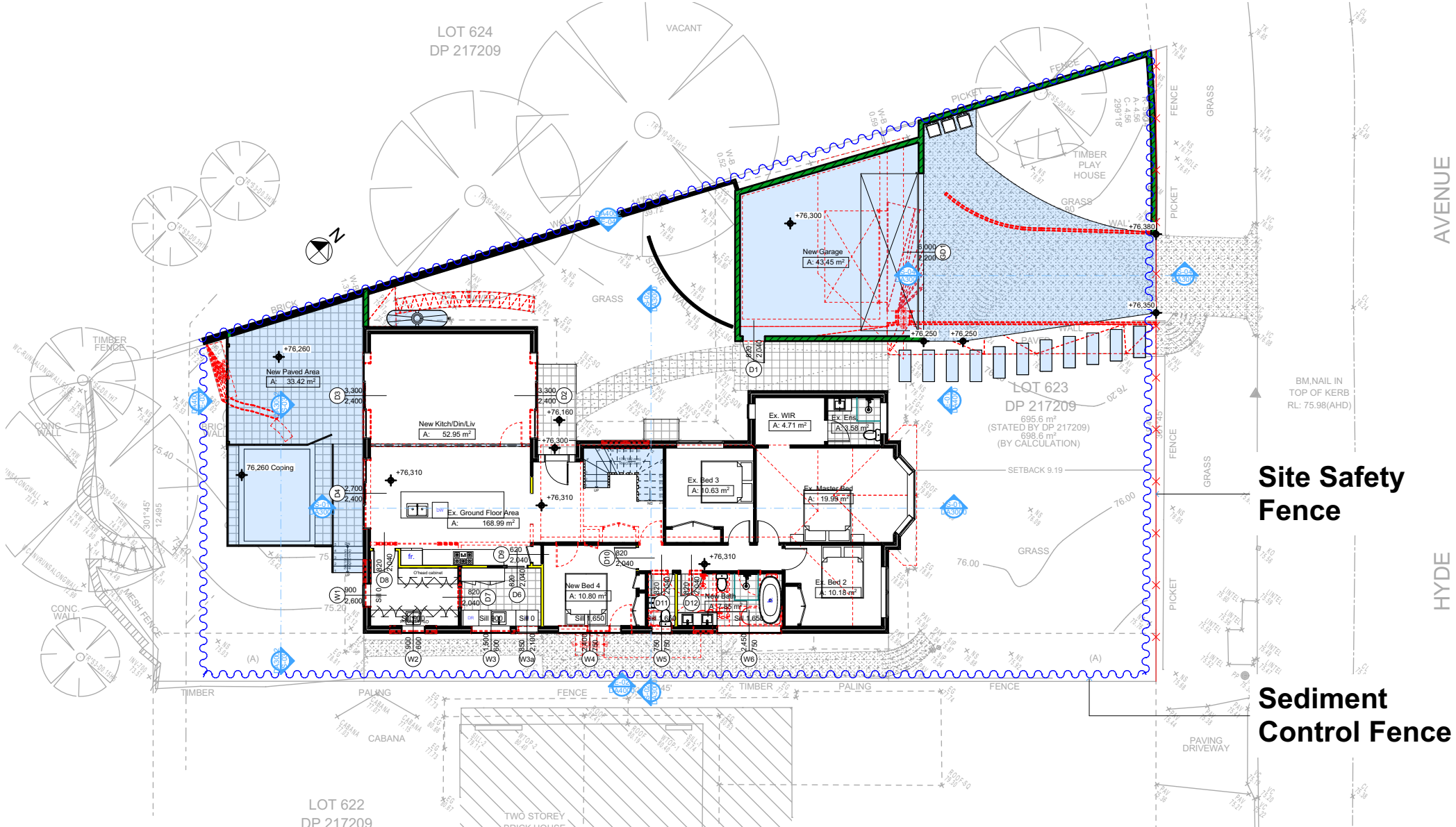
DRAWING NO.  
**DA1011**

Plot Date: 17/05/2023  
 Sheet Size: A3  
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2

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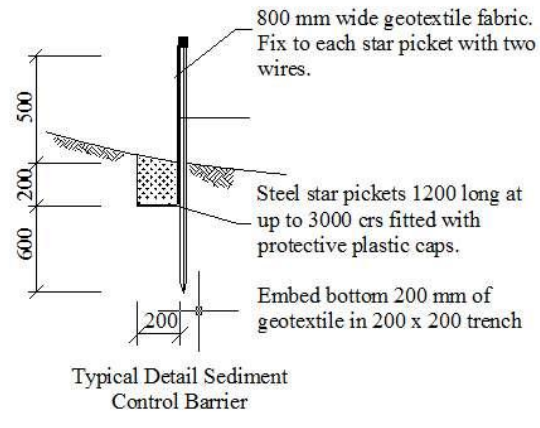
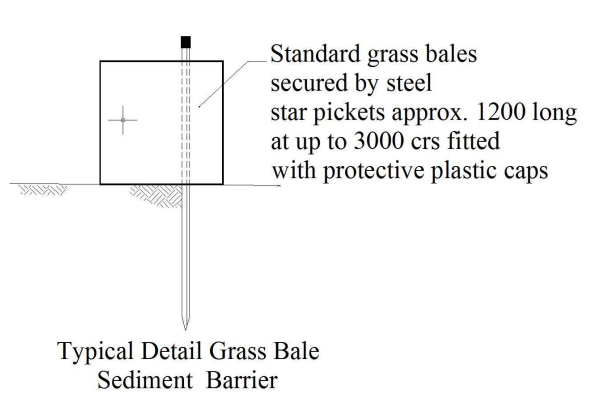
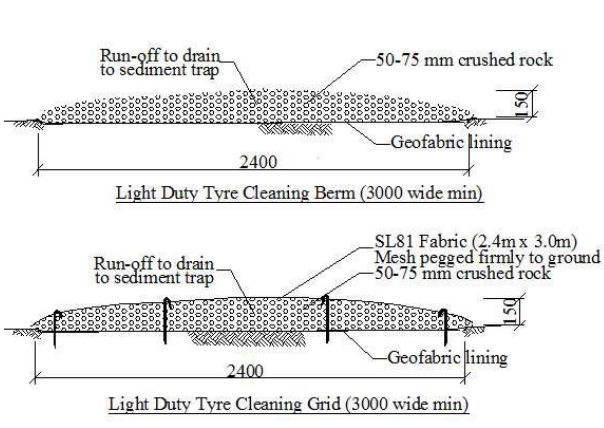


- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
  - Denotes New Concrete Block Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

Site Safety Fence

Sediment Control Fence

2 SEDIMENT & EROSION CONTROL PLAN 1:200



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Email: info@rapidplans.com.au

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**NOTES**

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.

9 Hyde Avenue, Killarney Heights is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

**Construction**

Framed Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1028-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Caravans**

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**Basic**

Basic Certificate Number A483346, 02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

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Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m <sup>2</sup> )	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022M4C  
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE: SITE AND LOCATION  
**Sediment & Erosion Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
1	9/12/22

DRAWING NO.: **DA1012**

Plot Date: 17/05/2023  
Sheet Size: A3



Denotes New Works

### Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

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**NOTES**

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS 2208-2007.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Construction**

Roof Framed to have R0.95 insulation.

Insulation to External Framed Walls R1.70.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS 2208-2007.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basix**

Basix Certificate Number A483346\_02

All Plans to be read in conjunction with Basix Certificate.

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

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Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m <sup>2</sup> )	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO: RP1022MAC  
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE:  
SITE AND LOCATION  
**Waste Management Plan**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO.	DATE
1	9/12/22
DRAWING NO.	DA1013

Plot Date: 17/05/2023  
Sheet Size: A3

Approximate Location Of Building Waste & Recycling Area

Residential Garbage Bin Storage

Material Storage Area

Sediment Control Fence

Site Safety Fence

Vehicle Access For Removal Of Waste By Builder During Work Hours

WASTE MANAGEMENT PLAN  
1:200

2

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Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

**Rapid Plans**  
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Email: info@rapidplans.com.au

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**NOTES**

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All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS 2208-2007.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**

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**Basic**

Basic Certificate Number A483346, 02

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Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m <sup>2</sup> )	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE :  
SITE AND LOCATION  
Stormwater Plan

PROJECT NAME :  
Alterations & Additions

REVISION NO.	DATE
1	9/12/22
DRAWING NO.	DA1014

Plot Date: 17/05/2023  
Sheet Size: A3

Proposed Stormwater Line To Be Fed Into The Existing Drainage System

Existing Easement To Drain Water. Plumber To Confirm Location Prior To Commencement

STORMWATER PLAN  
1:200

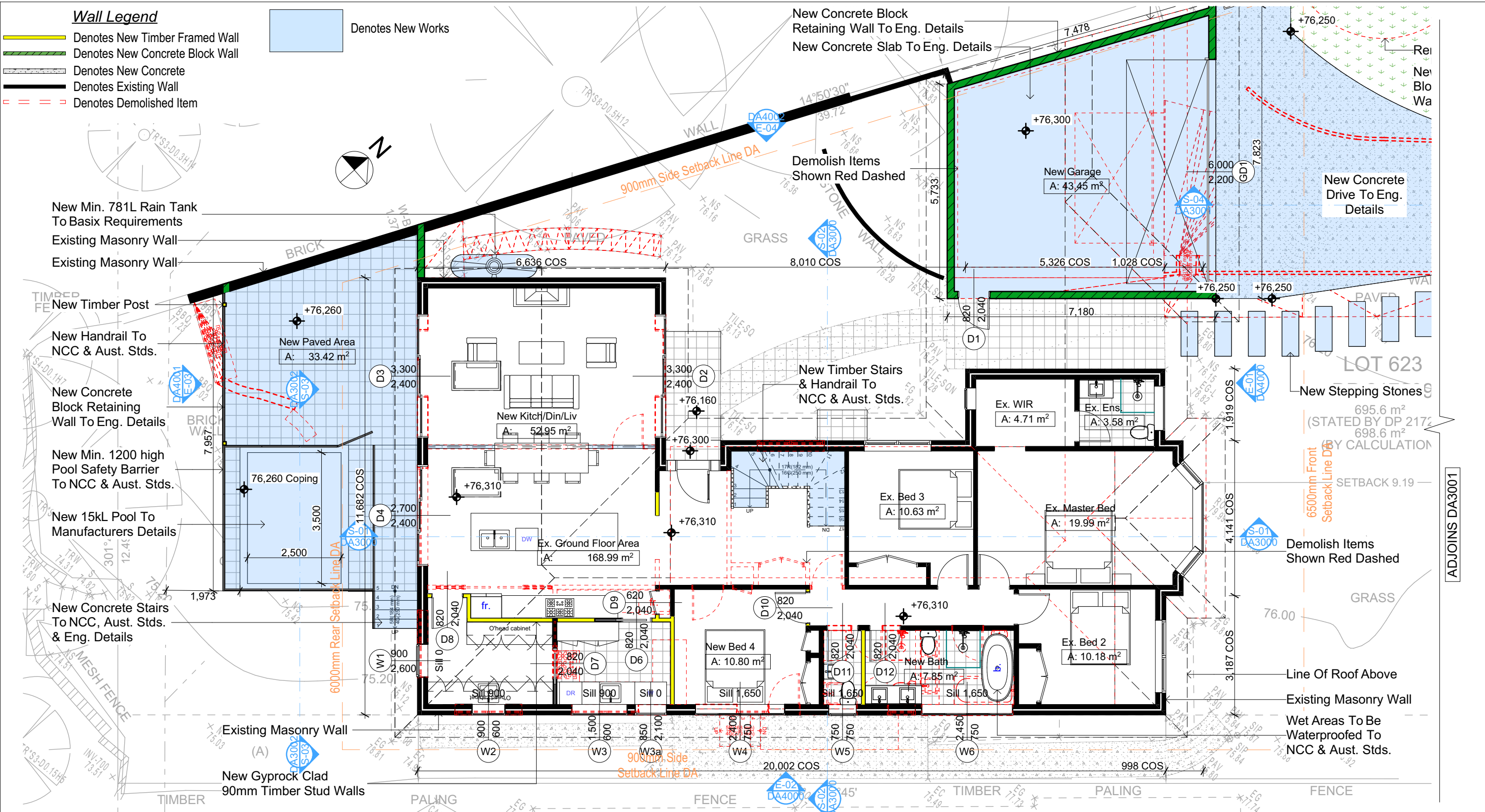
4

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

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2 GROUND FLOOR  
1:100

**DA APPLICATION ONLY**  
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**NOTES**  
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.  
All Plans to be read in conjunction with Basix Certificate.  
New Works to be constructed shown in Shaded/Blue.  
9 Hyde Avenue, Killarney Heights is not considered a heritage item.

**Certifying**  
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**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A483346\_02  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>.  
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	% of landscape open space (40% min)	43%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m <sup>2</sup> )	57%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



**Pool and Spa**

**Rainwater tank**

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

**Outdoor swimming pool**

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

**Fixtures and systems**

**Lighting**

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

**Fixtures**

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works

- Wall Legend**
- Denotes New Timber Framed Wall
  - Denotes New Concrete Block Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

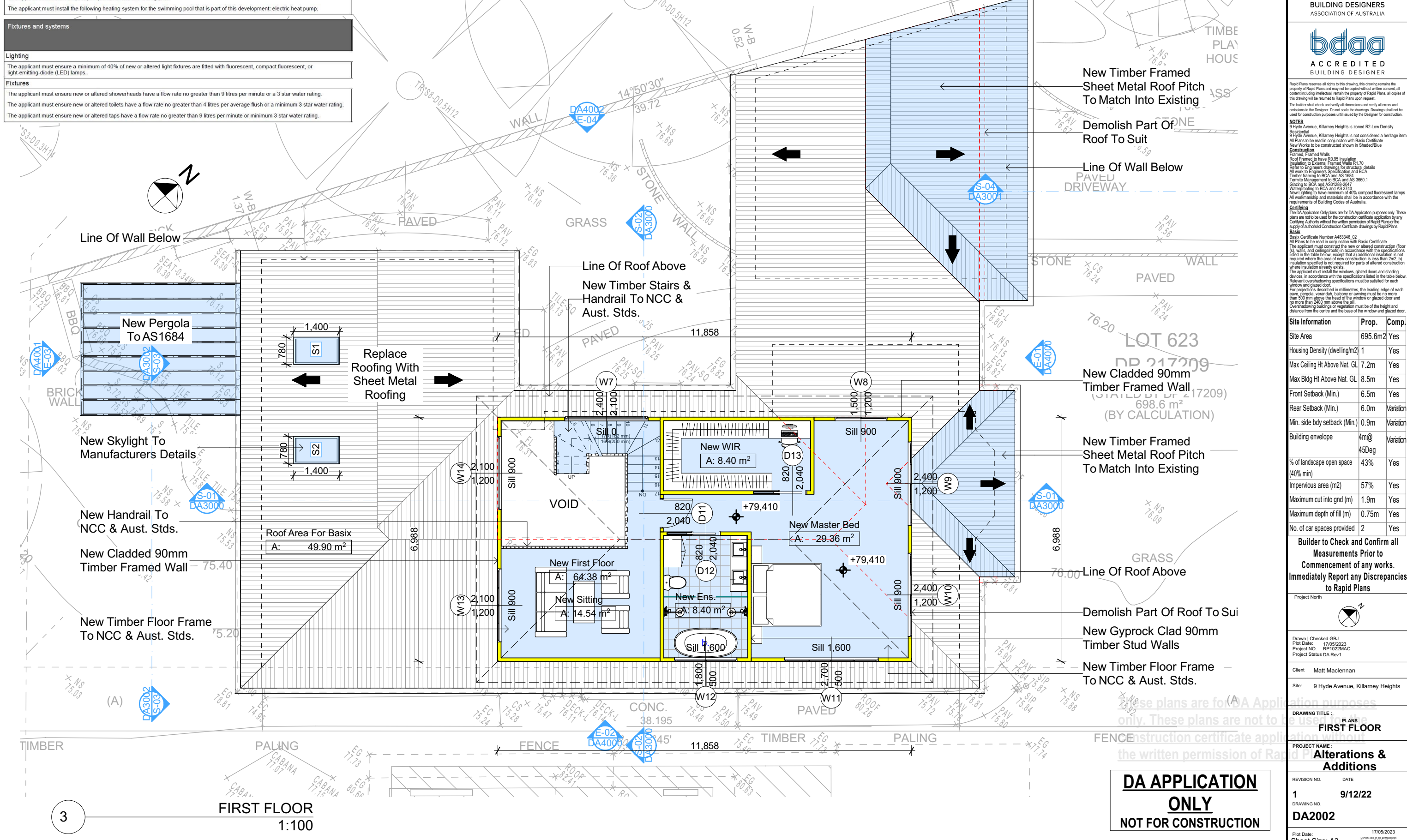
**Rapid Plans**  
Building Design and Architectural Drafting

World Plans  
PO Box 6239 Paradise Forest DC NSW 2086  
Ph : (02) 9366-8846 Mob: 0414-946-024  
Email: info@rapidplans.com.au

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BUILDING DESIGNER



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.

9 Hyde Avenue, Killarney Heights is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

**Construction**

Framed Timber Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1029-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**

Basic Certificate Number A483346\_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m2)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

**DRAWING TITLE: PLANS**

**FIRST FLOOR**

**PROJECT NAME: Alterations & Additions**

REVISION NO. DATE

1 9/12/22

DRAWING NO. DA2002

Plot Date: 17/05/2023  
Sheet Size: A3

**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**



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<p>© Copyright Rapid Plans 2022</p>	 <p><b>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</b></p>
 <p><b>ACCREDITED BUILDING DESIGNER</b></p>	

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential  
9 Hyde Avenue, Killarney Heights is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 Insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and AS 3600  
Roof framing to BCA and AS 1600  
Termite Management to BCA and AS 3660  
Glazing to BCA and AS 2288-2017  
Antistatoprene to BCA and AS 1085  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.  
**Particulars**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Reports or the project's authorized Construction Certificate drawings by Rapid Plans **Basic**

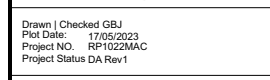
**Basic Construction Number DA483346\_02**

All Plans to be read in conjunction with Basic Construction Certificate. All specifications are to be read in conjunction with the following:

- All floor and ceiling areas to be finished with an alternate construction floor (s), walls, and ceiling(s)/roof(s) in accordance with the specifications listed in the table below, except that a) additional insulation is not required in areas where the existing construction is in accordance with the insulation specified is not required for parts of altered construction where insulation already exists.
- All doors and metal windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each glazed door.
- For projections described in millimetres, the leading edge of each eave, pergola, veranda, balcony or awning must be no more than 1000mm above the existing floor, window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be at the height and distance specified in the table below.

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



## Education purposes

DRAWING TITLE :  
PLANS  
**ROOF**

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
<b>1</b>	<b>9/12/22</b>

DRAWING NO.  
**DA2003**

Plot Date: 17/05/2023  
 Sheet Size: A3  
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**Skylights**

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

**Skylights glazing requirements**

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.1	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

+83,389  
5 ROOF

Demolish Items  
Shown Red Dashed

+81,810  
4 FCL

New Cladded 90mm  
Timber Framed Wall

Replace Roofing With  
Sheet Metal Roofing  
+79,410  
3 FIRST FLOOR

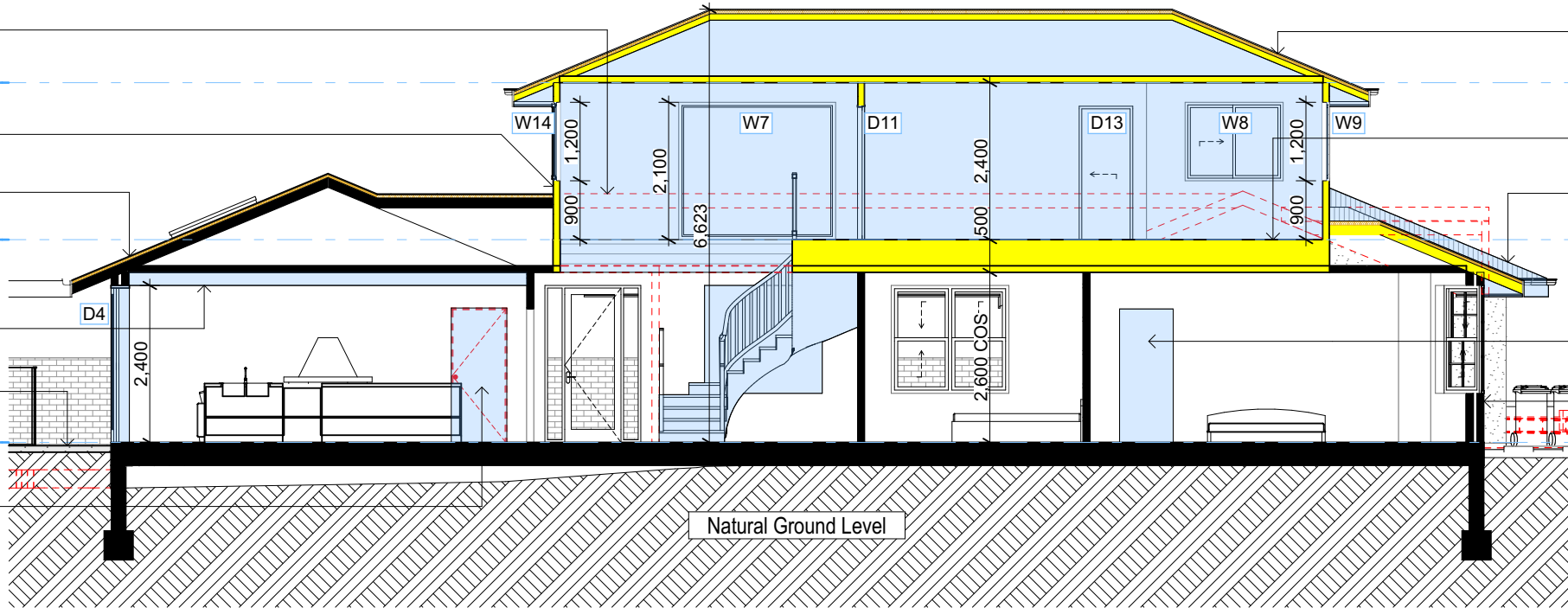
Beam Over To  
Engineering Details

New Paving

+76,310  
2 GROUND FLOOR

Block In Door To  
Match Existing

S-01  
SECTION 1  
1:100



+83,389  
5 ROOF

New Timber Framed Sheet  
Metal Roof Pitch 22.5°

+81,810  
4 FCL

New Timber Floor Frame  
To NCC & Aust. Stds.

New Timber Framed Sheet Metal  
Roof Pitch To Match Into Existing  
+79,410  
3 FIRST FLOOR

Block In Door To  
Match Existing

Existing Masonry Wall

+76,310  
2 GROUND FLOOR

+83,389  
5 ROOF

New Timber Framed Sheet  
Metal Roof Pitch 22.5°

+81,810  
4 FCL

New Cladded 90mm  
Timber Framed Wall

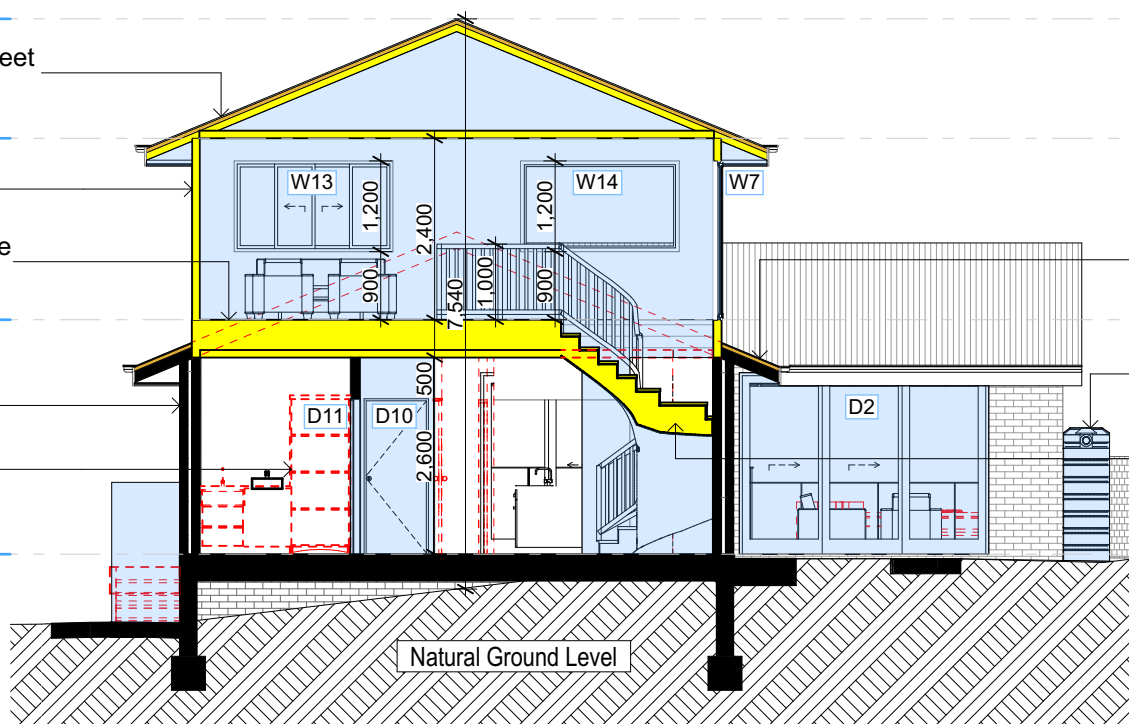
New Timber Floor Frame  
To NCC & Aust. Stds.

+79,410  
3 FIRST FLOOR

Existing Masonry Wall

Demolish Items  
Shown Red Dashed

+76,310  
2 GROUND FLOOR



+83,389  
5 ROOF

+81,810  
4 FCL

Replace Roofing With  
Sheet Metal Roofing  
+79,410  
3 FIRST FLOOR

New Min. 781L Rain Tank  
To Basix Requirements

New Timber Stairs  
& Handrail To  
NCC & Aust. Stds.

+76,310  
2 GROUND FLOOR

#### Pool and Spa

##### Rainwater tank

The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.

##### Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 15 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

##### Fixtures and systems

##### Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

##### Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

##### Construction

##### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

S-02  
SECTION 2  
1:100

Denotes New Works

#### Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

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Rapid Plans  
Building Design and Architectural Drafting

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Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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**NOTES**  
9 Hyde Avenue, Killamey Heights is zoned R2-Low Density Residential.  
9 Hyde Avenue, Killamey Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basix Certificate.  
New Works to be constructed shown in Shaded/Blue.

**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 insulation.  
Insulation to External Framed Walls R1.70.  
Refer to Engineers drawings for structural details.  
All work to Engineers Specification and BCA.  
Timber framing to BCA and AS 1684.  
Termite Management to BCA and AS 3660.1.  
Glazing to BCA and AS1029.2017.  
Waterproofing to BCA and AS 3740.  
New Lighting to have minimum of 40% compact fluorescent lamps.  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basix**  
Basix Certificate Number A483346\_02  
All Plans to be read in conjunction with Basix Certificate.  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m <sup>2</sup> )	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client: Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

DRAWING TITLE: **SECTIONS SECTION 1**

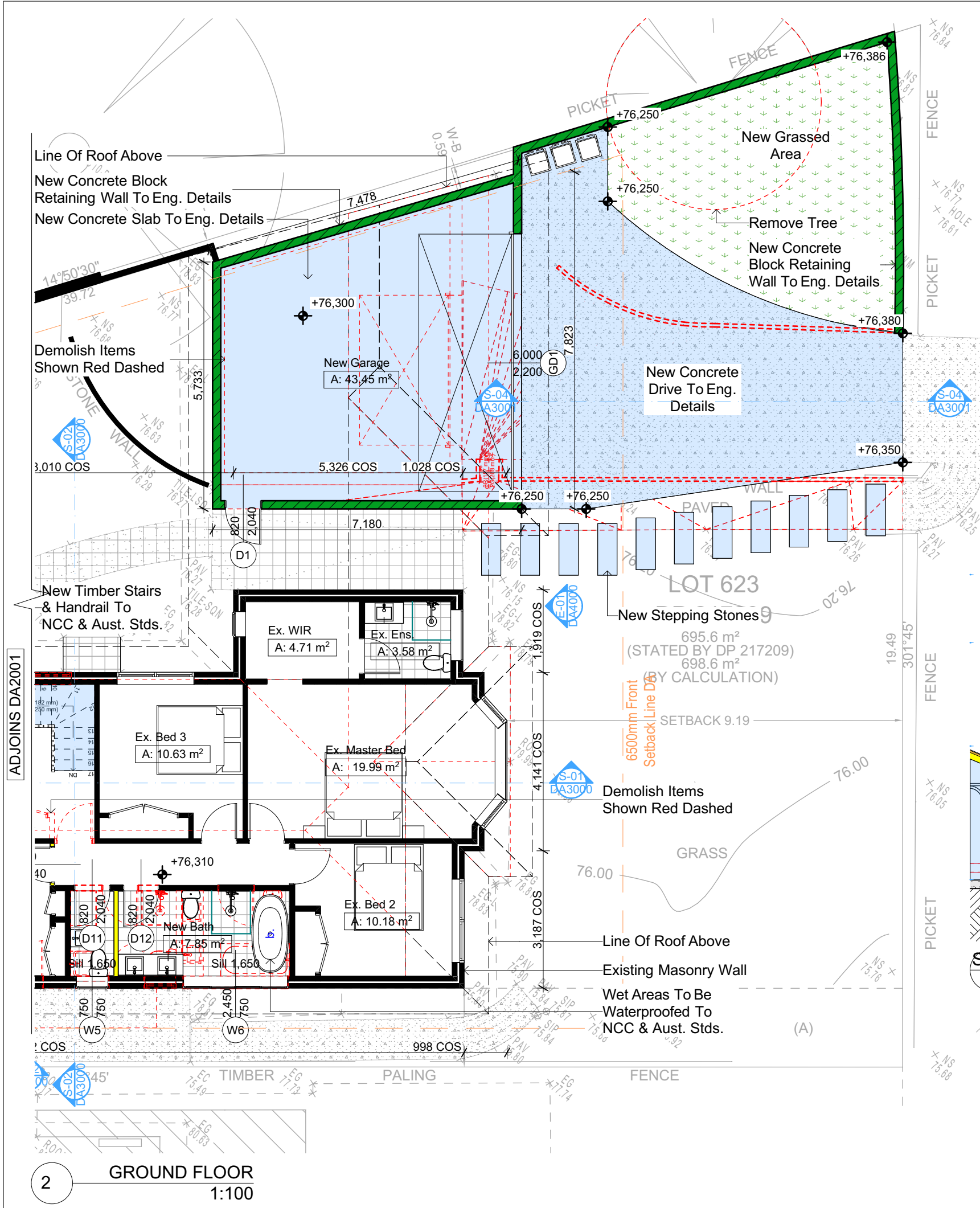
PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
1	9/12/22

DRAWING NO.: **DA3000**

Plot Date: 17/05/2023  
Sheet Size: A3





Pool and Spa
Rainwater tank
The applicant must install a rainwater tank of at least 781 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 50 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
Outdoor swimming pool
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 15 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works

Wall Legend

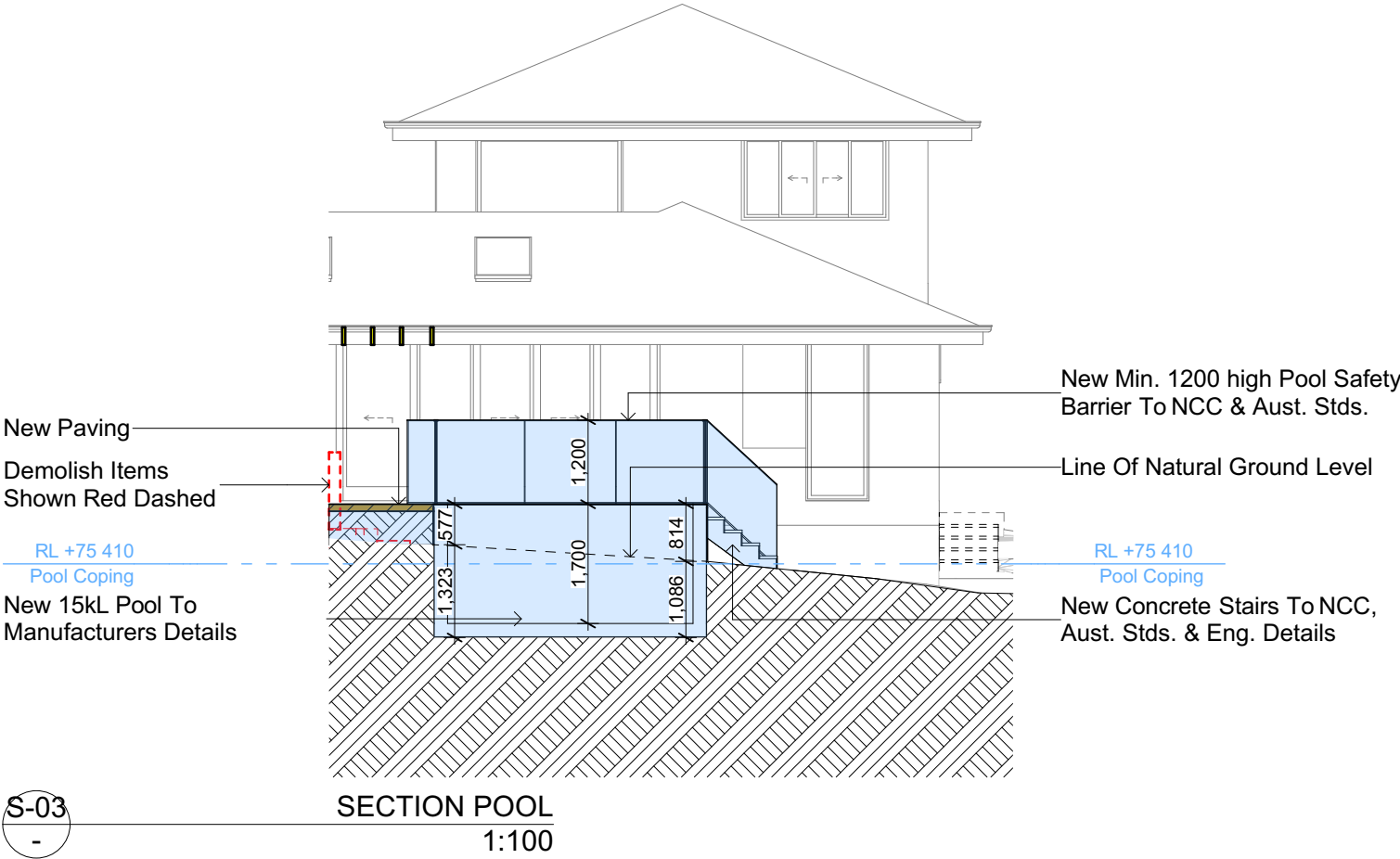
Denotes New Timber Framed Wall

Denotes New Concrete Block Wall

Denotes New Concrete

Denotes Existing Wall


Denotes Demolished Item




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DA APPLICATION ONLY


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**NOTES**

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential

9 Hyde Avenue, Killarney Heights is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

**Construction**

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10798-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

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**Basic**

Basic Certificate Number A483346\_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m2)	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

DRAWING TITLE : SECTIONS  
SECTION POOL

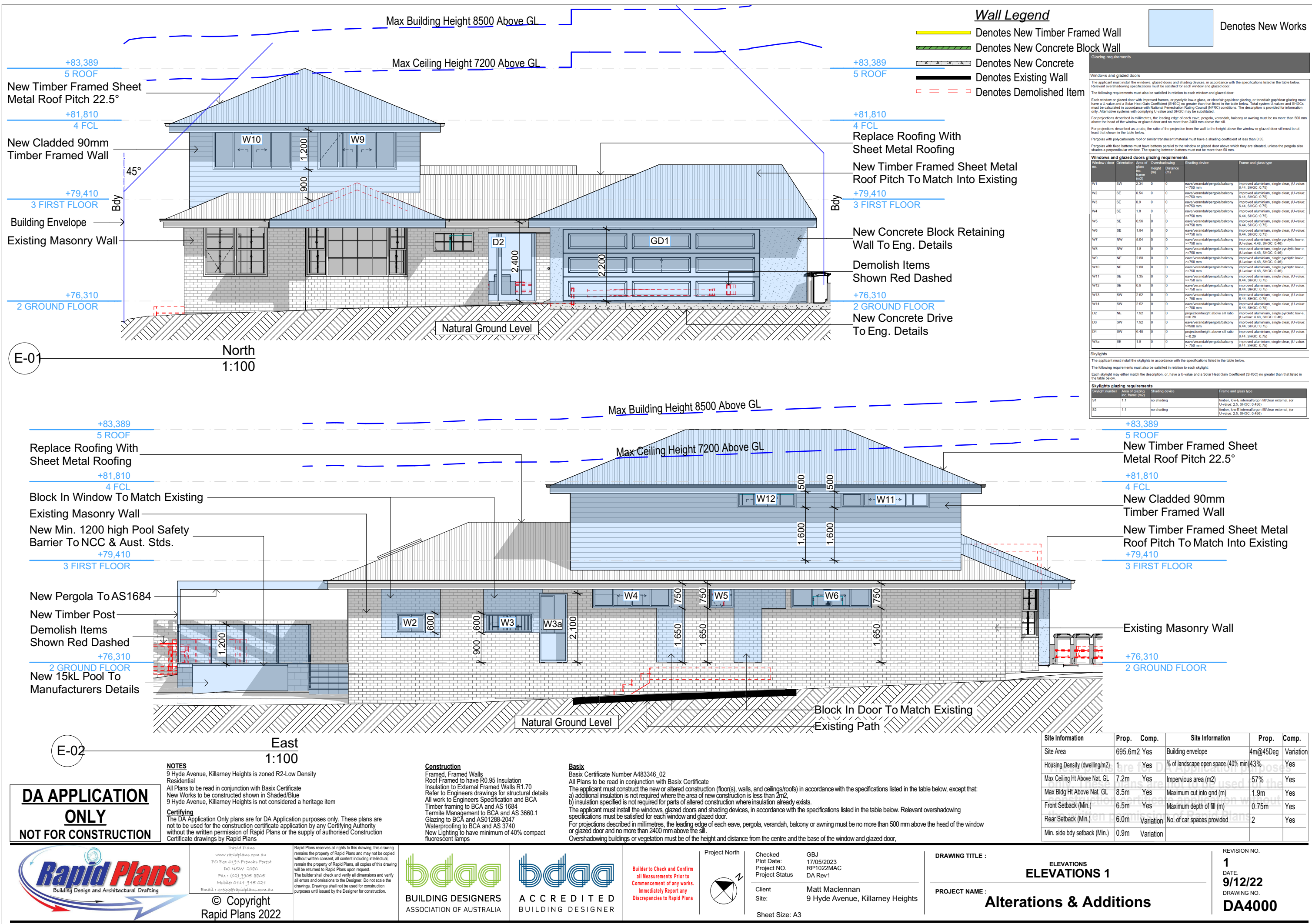
PROJECT NAME : Alterations & Additions

REVISION NO.	DATE
1	9/12/22

DRAWING NO. DA3002

Plot Date: 17/05/2023  
Sheet Size: A3



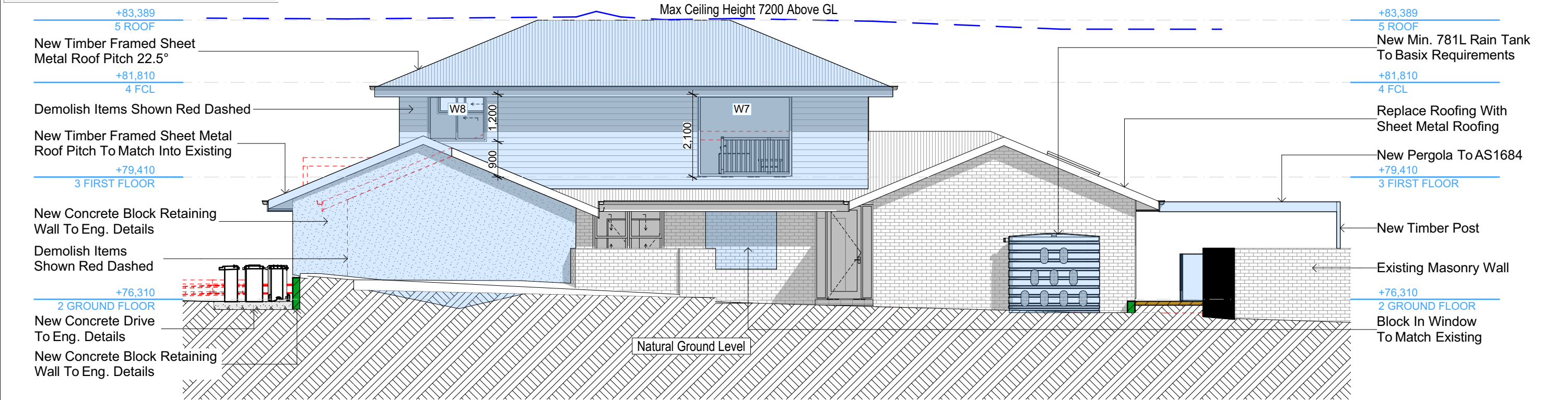


Plot Date: 17/05/2023  
Sheet Size: A3  
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Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/air clear glazing, or toned/air gap/air clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing height (m)	Distance (m)	Shading device	Frame and glass type
W1	SW	2.34	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SE	0.54	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	0.56	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SE	1.84	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	5.04	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NW	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	SE	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NE	7.92	0	0	projection/height above sill ratio <=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SW	7.92	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SW	6.48	0	0	projection/height above sill ratio <=0.29	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3a	SE	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m <sup>2</sup> )	Shading device	Frame and glass type
S1	1.1	no shading	timber, low-E internal/argon filled/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.1	no shading	timber, low-E internal/argon filled/clear external, (or U-value: 2.5, SHGC: 0.456)



E-04

West

1:100

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

9 Hyde Avenue, Killarney Heights is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A483346\_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2.


b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,


Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	695.6m2	Yes	Building envelope	4m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	43%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	57%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	1.9m	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	0.75m	Yes
Rear Setback (Min.)	6.0m	Variation	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			




Building Design and Architectural Drafting

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
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BUILDING DESIGNER

Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

Project North



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
17/05/2023  
RP1022MAC  
DA Rev1

Client  
Site:

Matt MacLennan  
9 Hyde Avenue, Killarney Heights

Sheet Size: A3

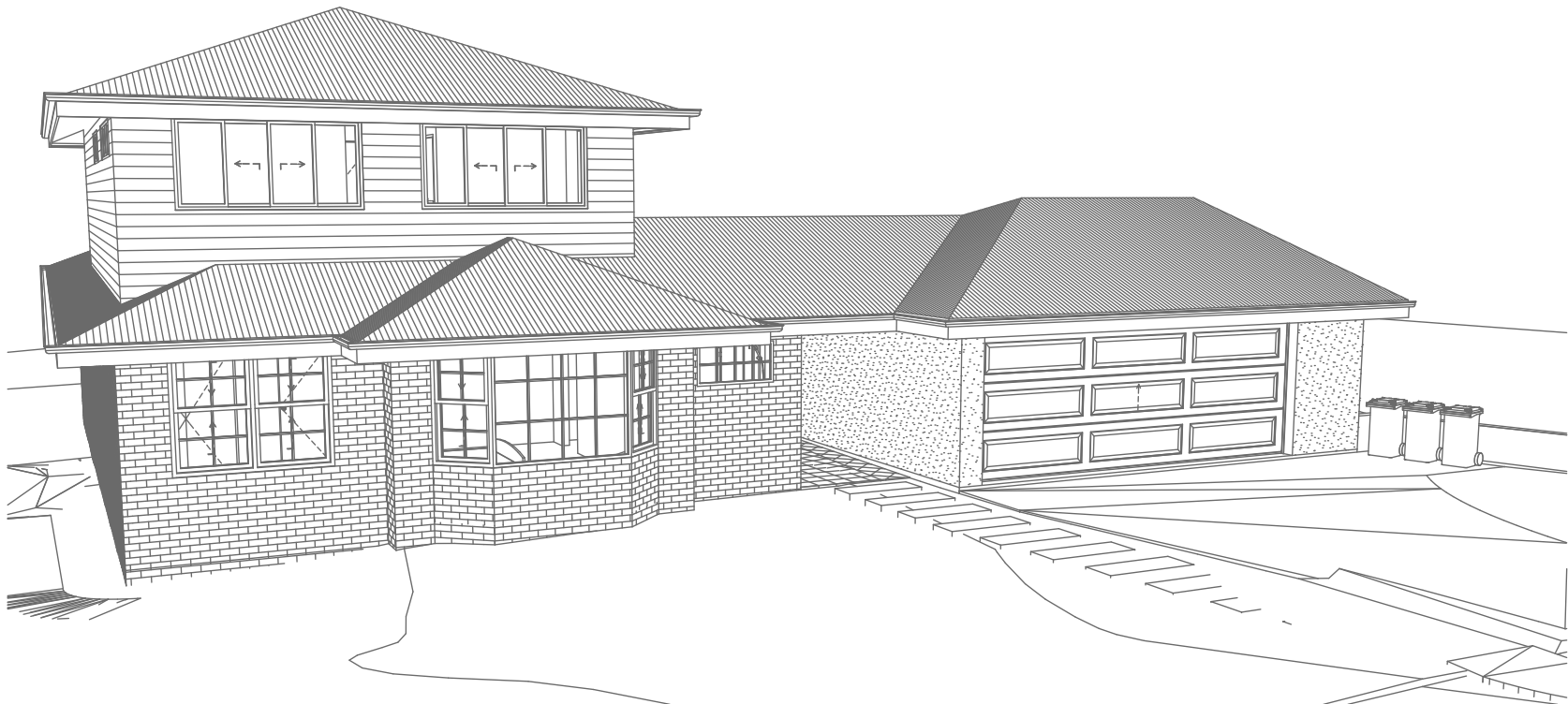
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ELEVATIONS  
ELEVATIONS 3

PROJECT NAME :

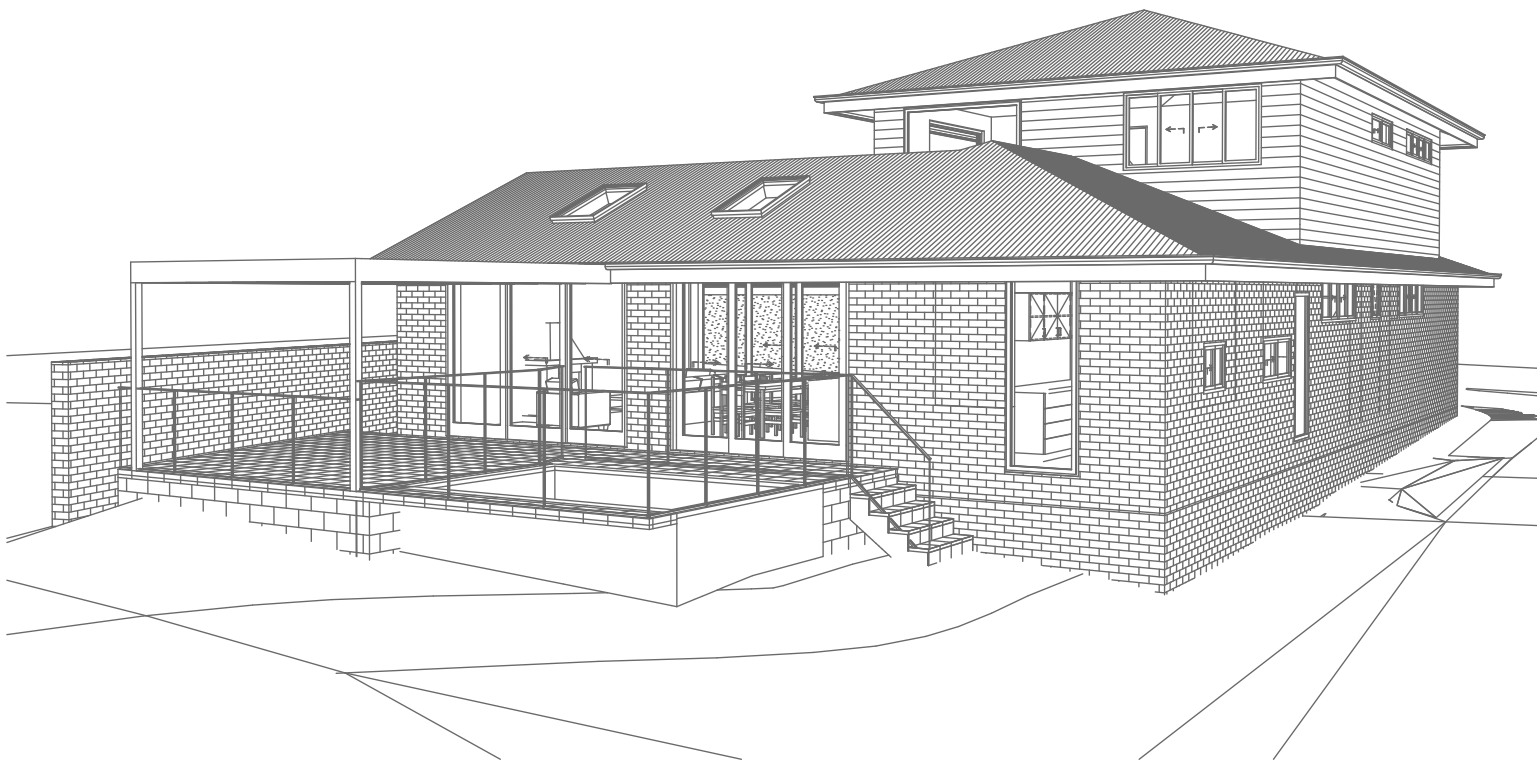
Alterations & Additions

REVISION NO.  
1  
DATE:  
9/12/22  
DRAWING NO.  
DA4002



1  
-

Perspective 1  
1:200



2  
-

Perspective 2  
1:200

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Wendell Plans

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**

9 Hyde Avenue, Killamey Heights is zoned R2-Low Density Residential

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

**Construction**

Framed, Framed Walls

Roof Framed to have R0.95 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10198-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A483346\_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m <sup>2</sup> )	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killamey Heights

DRAWING TITLE :  
SHADOW PLANS  
**PERSPECTIVE**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO. DATE

1 9/12/22

DRAWING NO. DA5000

Plot Date: 17/05/2023  
Sheet Size: A3

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Maximum size 22-DIN A3 (Portrait) 1:1





Denotes Sheet Metal Roof (Typical).  
Owner To Confirm Type & Colour



Denotes Skylight (Typical).  
Owner To Confirm Type & Colour



Denotes Cladding (Typical).  
Owner To Confirm Type & Colour



Denotes Concrete Drive (Typical).  
Owner To Confirm Type & Colour



Denotes Rendered Wall (Typical).  
Owner To Confirm Type & Colour



Denotes Paving (Typical).  
Owner To Confirm Type & Colour



Denotes Stepping Stone (Typical).  
Owner To Confirm Type & Colour



Denotes Glass Pool Barrier (Typical).  
Owner To Confirm Type & Colour

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clearstar gap/clear glazing, or tonedstar gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overhanging height (m) / Distance (m)	Shading device	Frame and glass type	
W1	SW	2.34	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	SE	0.54	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	SE	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	SE	0.56	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	SE	1.84	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	NW	5.04	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	NW	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W10	NE	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W11	SE	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	SE	0.9	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	SW	2.52	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D2	NE	7.92	0	0	projection/height above sill ratio >=0.29	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D3	SW	7.92	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D4	SW	6.48	0	0	projection/height above sill ratio >=0.29	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3a	SE	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glass inc. frame (m <sup>2</sup> )	Shading device	Frame and glass type
S1	1.1	no shading	timber, low-E internal/argon filled external, (or U-value: 2.5, SHGC: 0.456)
S2	1.1	no shading	timber, low-E internal/argon filled external, (or U-value: 2.5, SHGC: 0.456)

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Rapid Plans  
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential  
9 Hyde Avenue, Killarney Heights is not considered a heritage item  
New Works to be constructed shown in Shaded/Blue

**Construction**  
Framed, Framed Walls  
Roof Framed to have R0.95 insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS10788-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**  
Basic Certificate Number A483346\_02  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor [s], walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@ 45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m <sup>2</sup> )	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

**DRAWING TITLE**  
SHADOW PLANS  
**MATERIAL & COLOUR SAMPLE BOARD**

**PROJECT NAME:**  
**Alterations & Additions**

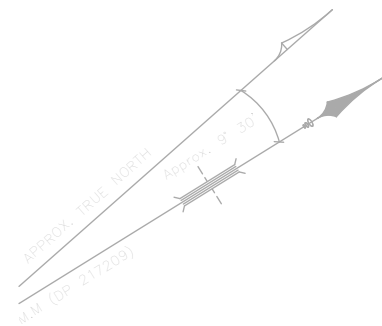
REVISION NO.	DATE
1	9/12/22

DRAWING NO. **DA5001**

Plot Date: 17/05/2023  
Sheet Size: A3

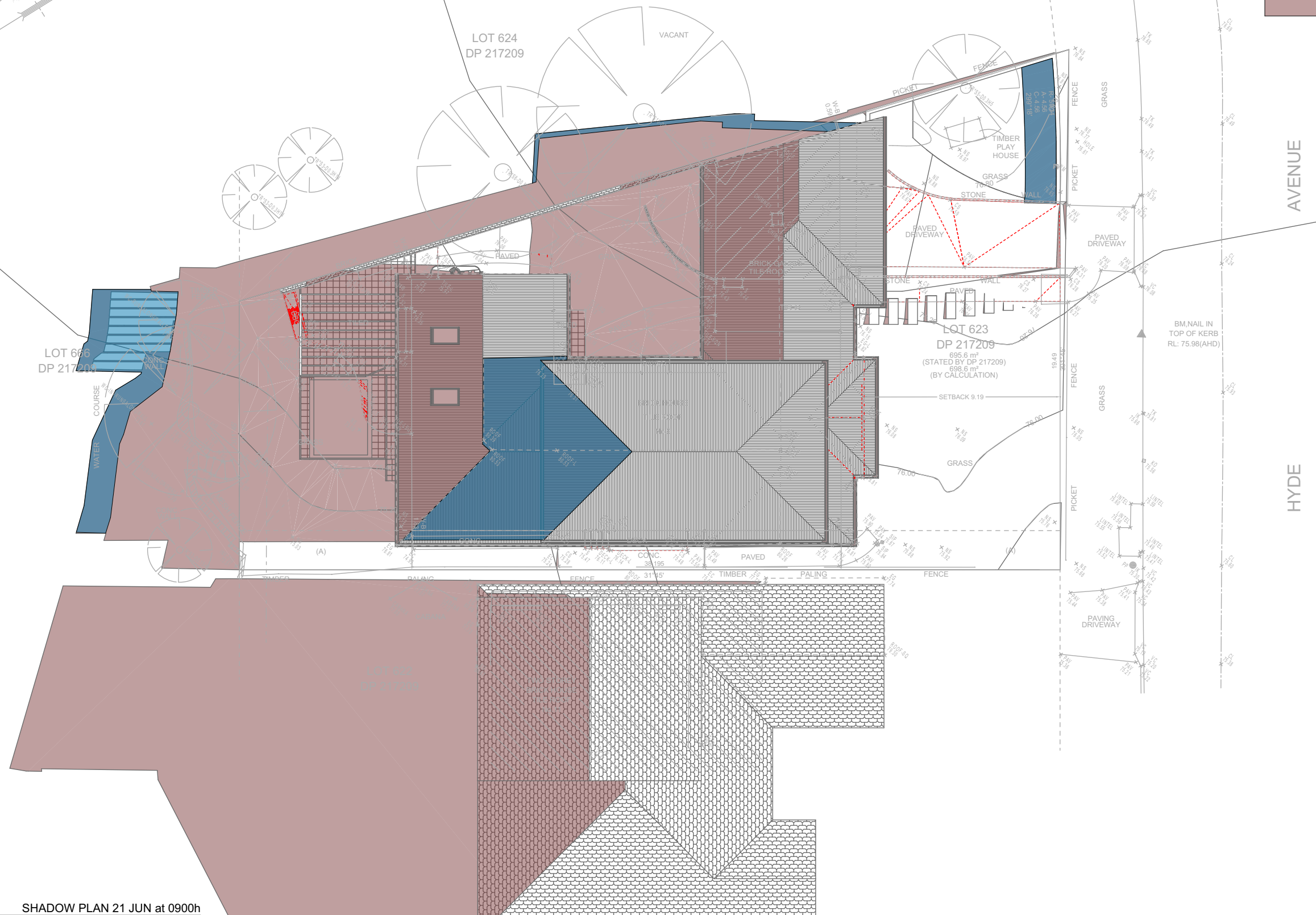
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Maximum 20 DA's Per Plan per year





Denotes Proposed Shadow

Denotes Existing Shadow



01

SHADOW PLAN 21 JUN at 0900h  
1:200

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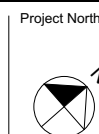
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PO Box 6193 Frenchs Forest  
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



Checked  
Plot Date:  
Project NO.  
Project Status

GBJ  
17/05/2023  
RP1022MAC  
DA Rev1

Client  
Site:

Matt MacLennan  
9 Hyde Avenue, Killarney Heights

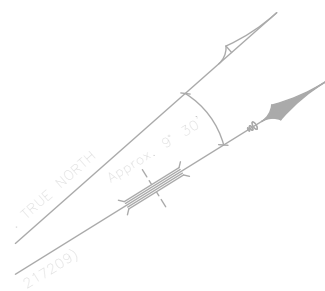
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DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June  
9am**

PROJECT NAME :  
**Alterations & Additions**

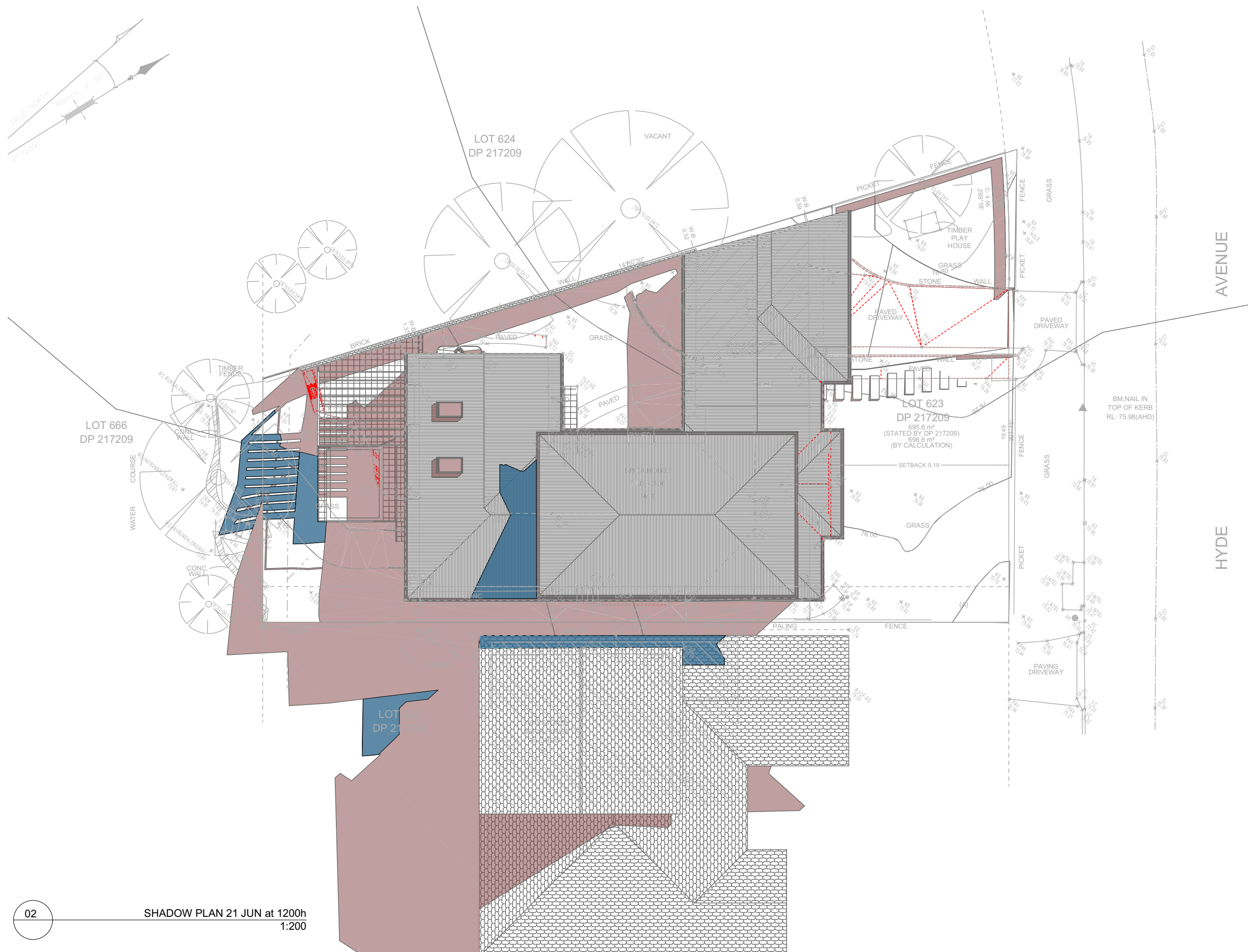
REVISION NO.  
**1**  
DATE  
**9/12/22**  
DRAWING NO.  
**DA5002**





Denotes Proposed Shadow

Denotes Existing Shadow



02 SHADOW PLAN 21 JUN at 1200h  
1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

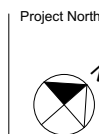


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NSW 2086  
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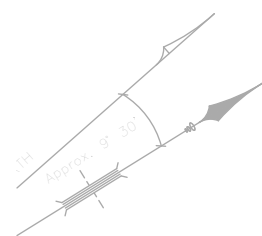
**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**



Checked  
Plot Date: 17/05/2023  
Project NO. RP1022MAC  
Project Status DA Rev1  
Client  
Site: Matt MacLennan  
9 Hyde Avenue, Killarney Heights  
Sheet Size: A3

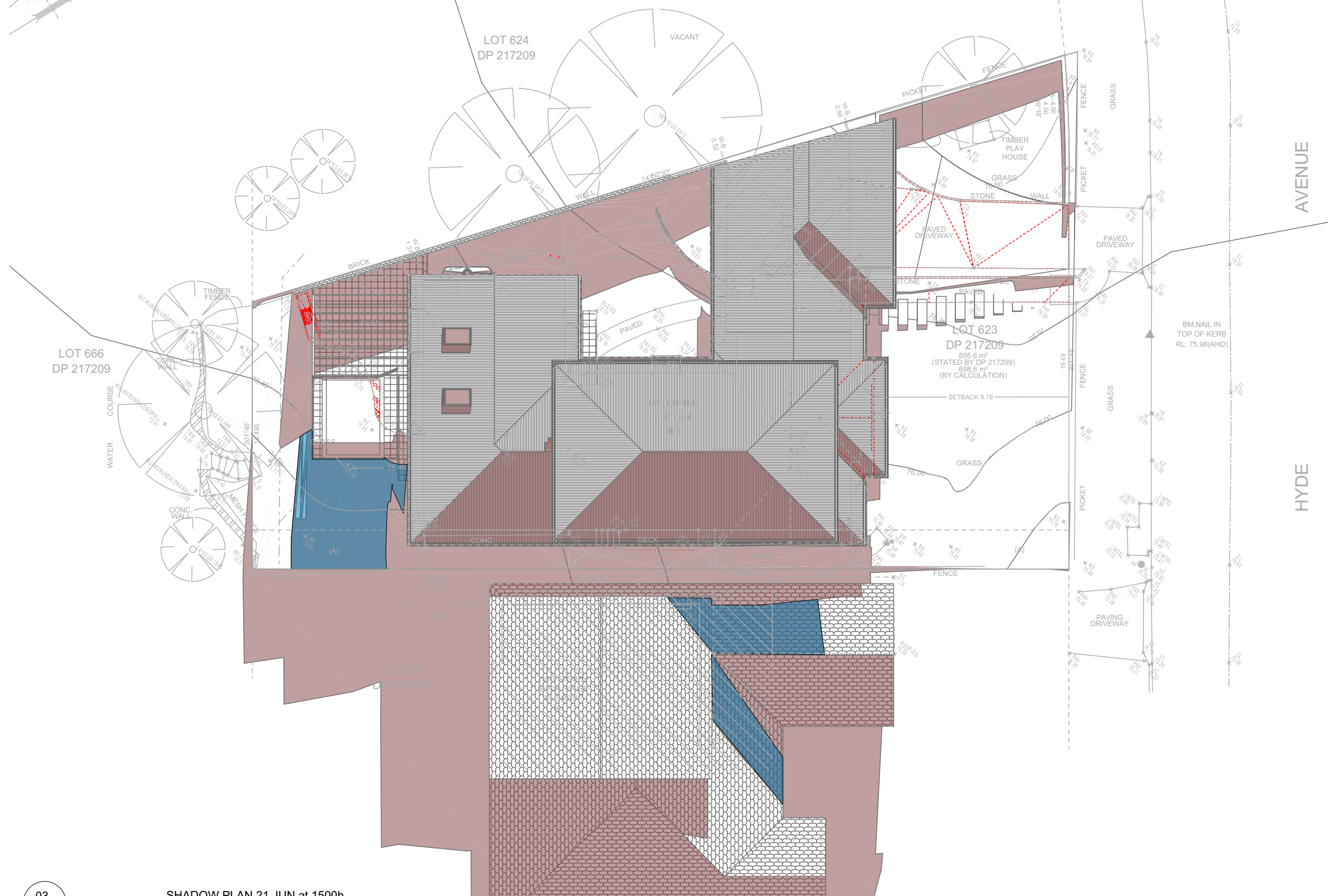
DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June  
12pm**  
PROJECT NAME : **Alterations & Additions**

REVISION NO.  
**1**  
DATE  
**9/12/22**  
DRAWING NO.  
**DA5003**



Denotes Proposed Shadow

Denotes Existing Shadow



03 SHADOW PLAN 21 JUN at 1500h  
1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**



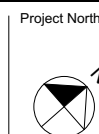
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**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
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Checked  
Plot Date:  
Project No.  
Project Status

GBJ  
17/05/2023  
RP1022MAC  
DA Rev1

Client  
Site:

Matt MacLennan  
9 Hyde Avenue, Killarney Heights

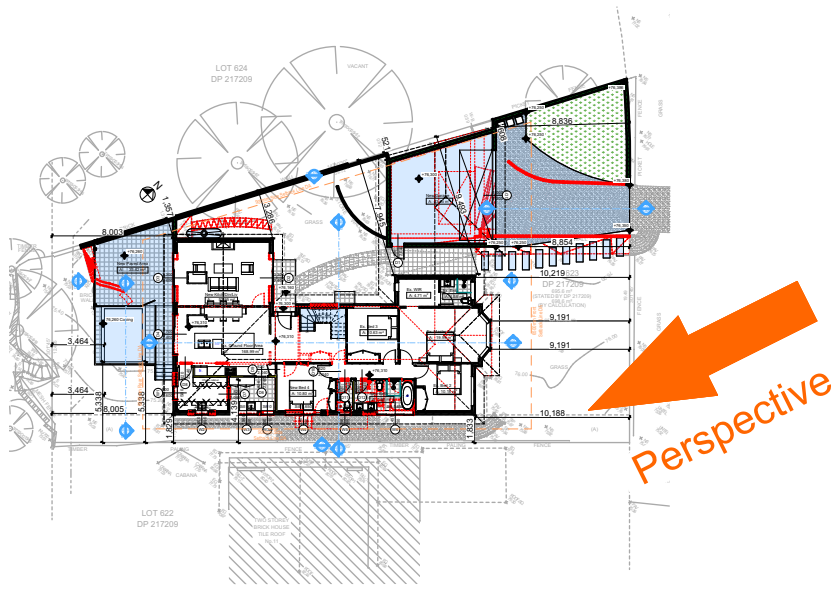
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DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June  
3pm**

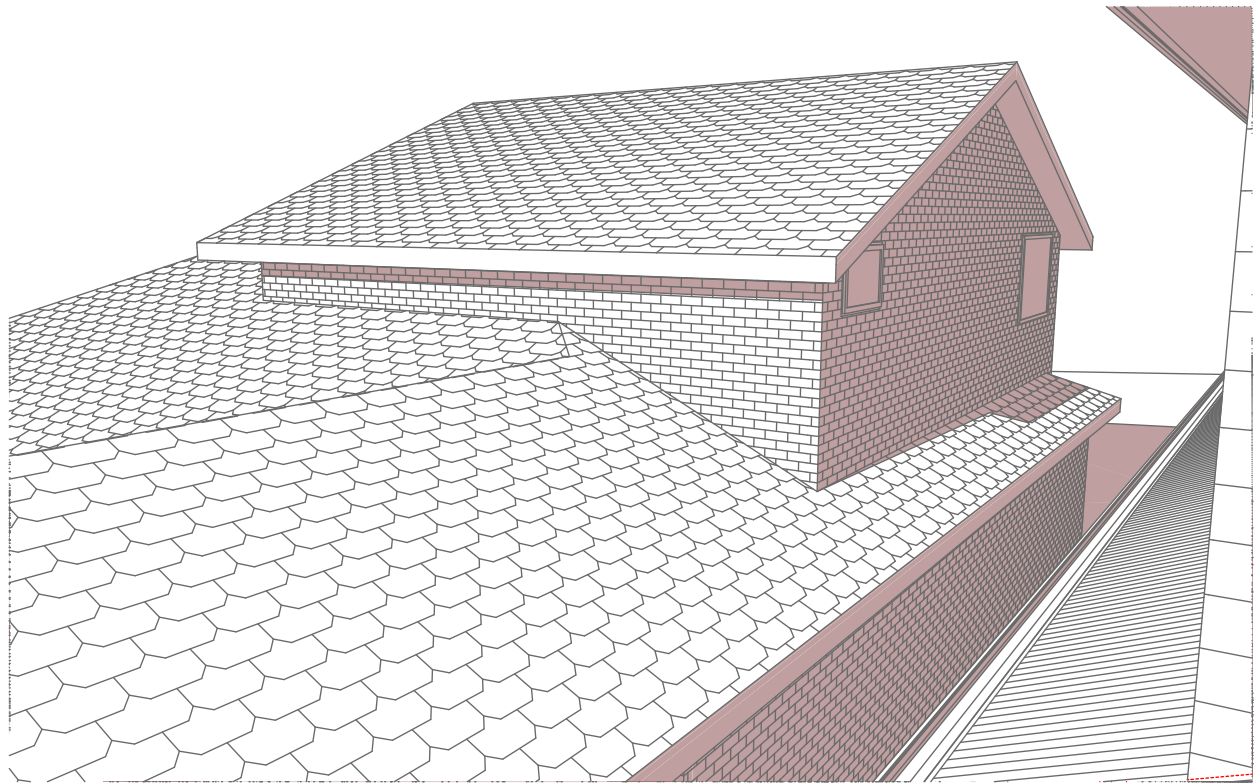
PROJECT NAME :  
**Alterations & Additions**

REVISION NO.  
**1**  
DATE  
**9/12/22**  
DRAWING NO.  
**DA5004**





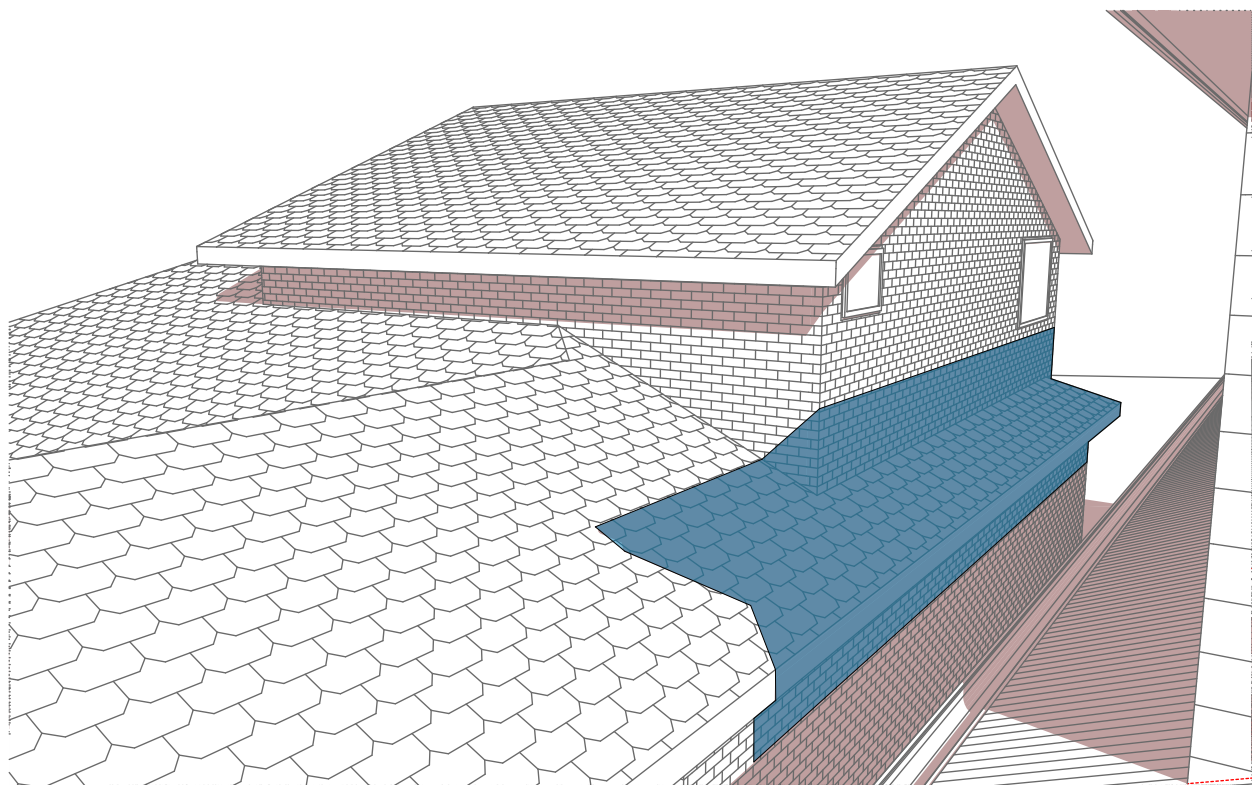
2 SITE PLAN  
1:500



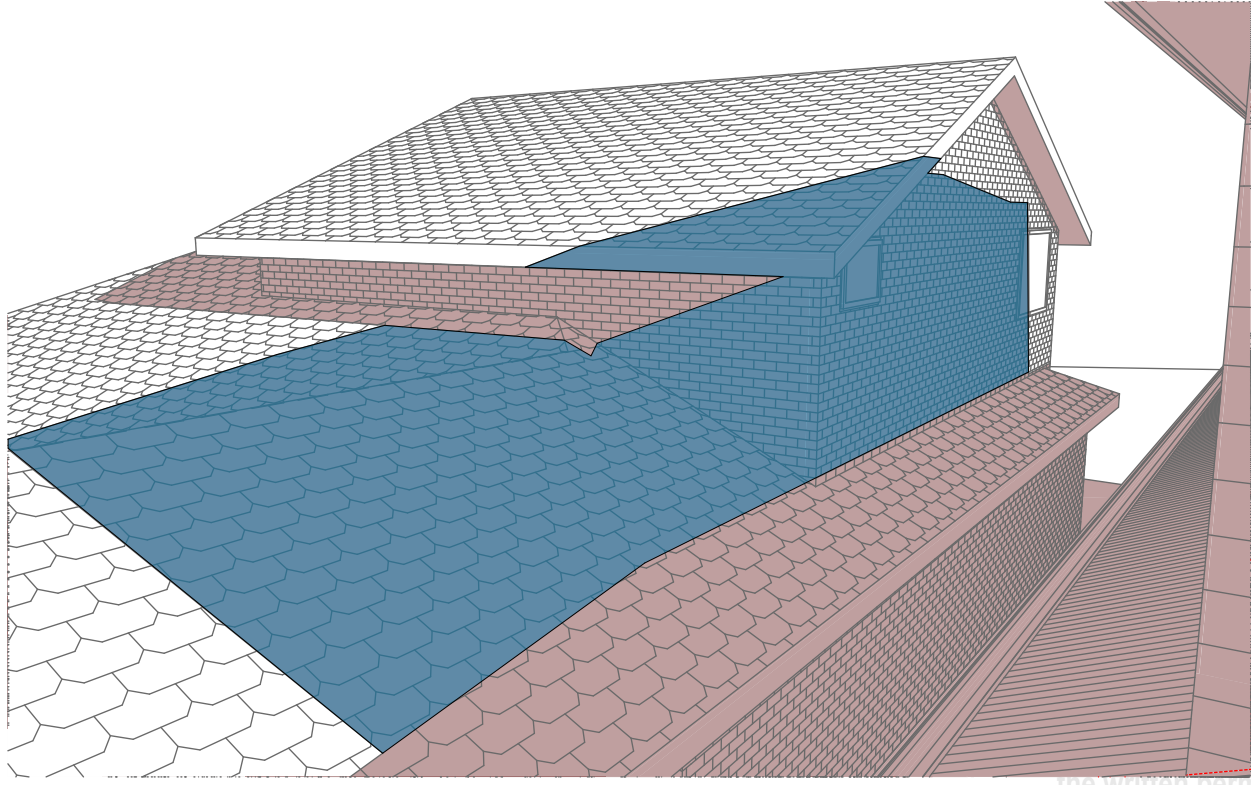
1 SHADOW ELEVATION 21 JUN at 0900h

Denotes Proposed Shadow

Denotes Existing Shadow



2 SHADOW ELEVATION 21 JUN at 1200h



3 SHADOW ELEVATION 21 JUN at 1500h

**DA APPLICATION  
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**Rapid Plans**  
Building Design and Architectural Drafting

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**bdca**  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

**bdca**  
ACCREDITED  
BUILDING DESIGNER

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**NOTES**  
9 Hyde Avenue, Killarney Heights is zoned R2-Low Density Residential.  
9 Hyde Avenue, Killarney Heights is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

**Construction**  
Framed: Framed Walls  
Roof Framed to have R0.95 insulation  
Insulation to External Framed Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

**Basic**  
Basic Certificate Number A483346, 02  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each space, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	695.6m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Variation
Min. side bdy setback (Min.)	0.9m	Variation
Building envelope	4m@45Deg	Variation
% of landscape open space (40% min)	43%	Yes
Impervious area (m <sup>2</sup> )	57%	Yes
Maximum cut into gnd (m)	1.9m	Yes
Maximum depth of fill (m)	0.75m	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 17/05/2023  
Project NO.: RP1022MAC  
Project Status DA Rev1

Client Matt MacLennan

Site: 9 Hyde Avenue, Killarney Heights

**DRAWING TITLE** SHADOW PLANS  
**WALL ELEVATION SHADOWS**

**PROJECT NAME:** Alterations & Additions

REVISION NO.	DATE
1	9/12/22

DRAWING NO. DA5005

Plot Date: 17/05/2023  
Sheet Size: A3