


SITE CALCULATIONS

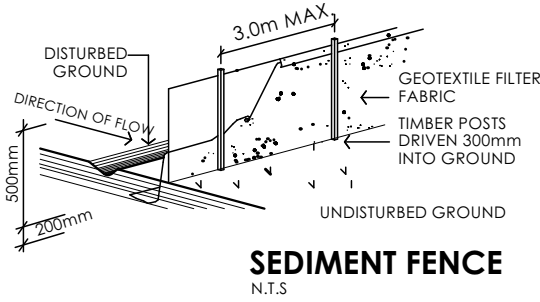
| | |
|---|---------------------------|
| SITE AREA | 490.52 m ² |
| LANDSCAPED AREA | 34% 213.54 m ² |
| FSR RESIDENCE | 0.38: 1 |
| EXISTING LIVING | 199.62 m ² |
| EXISTING DECK AREAS (EXISTING UPPER DECK TO BE REPLACED) | 103.63 m ² |
| EXISTING GARAGE | 37.16 m ² |

BASIX COMMITMENTS

| | | | | | | |
|--|---|-------------------------------------|--|---|--|---|
| Project Specification | | Form # AE0.3 | | Australian Energy Efficiency Consulting E:info@aenec.com.au P:0416 316 204 | |  www.aenec.com.au |
| Project Address: 201 Plateau Road, Bilgola Plateau | | BASIX CERTIFICATION NUMBER: A420393 | | | | |
| This Project Specification outlines ONLY some of the BASIX commitments. For the full list, you must refer to BASIX document. | | | | | | |
| External Walls Specification: | | | | | | |
| Type | Material | Added Insulation | Colour | Detail | | |
| Framed | Framed | R1.30 | - | As per drawings | | |
| Internal Walls specification: | | | | | | |
| Type | Material | Added Insulation | Colour | Detail | | |
| Framed | Plasterboard | Nil | - | - | | |
| Roof Specification: | | | | | | |
| Type | Material | Added Insulation | Colour | Detail | | |
| Framed | As per Drawings | R2.50 + sarking | Dark | As per drawings | | |
| Floors Specification: | | | | | | |
| Type | Material | Added Insulation | Covering | Detail | | |
| Framed | As per Drawings | Nil | - | Above dwelling - internal | | |
| Window Specification: | | | | | | |
| Frame material | Glazing | U Value | SHGC | Detail | | |
| Aluminum | Single | 7.63 or Lower | 0.75 or Lower | See BASIX | | |
| Skylight Specification: | | | | | | |
| Frame material | Glazing | | NOTES: | | | |
| U Value | SHGC | | 1. ALL DOWNLIGHTS TO BE : APPROVED NON VENTILATED WITH FIRERATED COVER/SHIELD TO ALLOW CONTINUOUS INSTALLATION OF INSULATION | | | |
| Various Notes if Applicable: | | | 2. ALL vents and/or wall openings to be the "SEALED" type. | | | |
| Showerheads | 3 star no grater than 9lt/min flow rate | | 3. All insulation is to be installed in accordance with AS/NZS 4859.1 | | | |
| Toilet Flush | 3 star or no grater than 4 litres/flush | | 4. All windows to comply with AS2047 | | | |
| Kitchen taps | 3 star no grater than 9lt/min flow rate | | | | | |
| Bathroom taps | 3 star no grater than 9lt/min flow rate | | | | | |
| Rainwater tank | N/A | Pool | N/A | | | |

SITE NOTES:

- REMOVE EXISTING STRUCTURES ON SITE AS NOTED
- NO KNOWN WATERCOARSES OR WATERWAYS ON SITE
- NO CUT AND FILL REQUIRED
- PROVIDE SILTATION BARRIER AS REQUIRED BY COUNCIL
- STORMWATER TO BE CONNECTED INTO EXISTING SYSTEM
- NO EXISTING TREES TO BE REMOVED
- THE BUILDING SITE IS TO BE SECURED BY A SAFETY FENCE TO PROHIBIT UNAUTHORISED PUBLIC ACCESS DURING THE COURSE OF CONSTRUCTION
- ALL LEVELS ARE TO AHD
- DRAINAGE/STORMWATER INDICATIVE ONLY:- SUBJECT TO SITE CONDITIONS



- SEDIMENT CONTROL NOTES
1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO COUNCIL REQUIREMENTS.
 2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE X 300mm DEEP TRENCH.
 4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE.
 7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.



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**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

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PLATEAU
ROAD

PARTIALLY PROTECTED
FROM SOUTHERLY WINDS

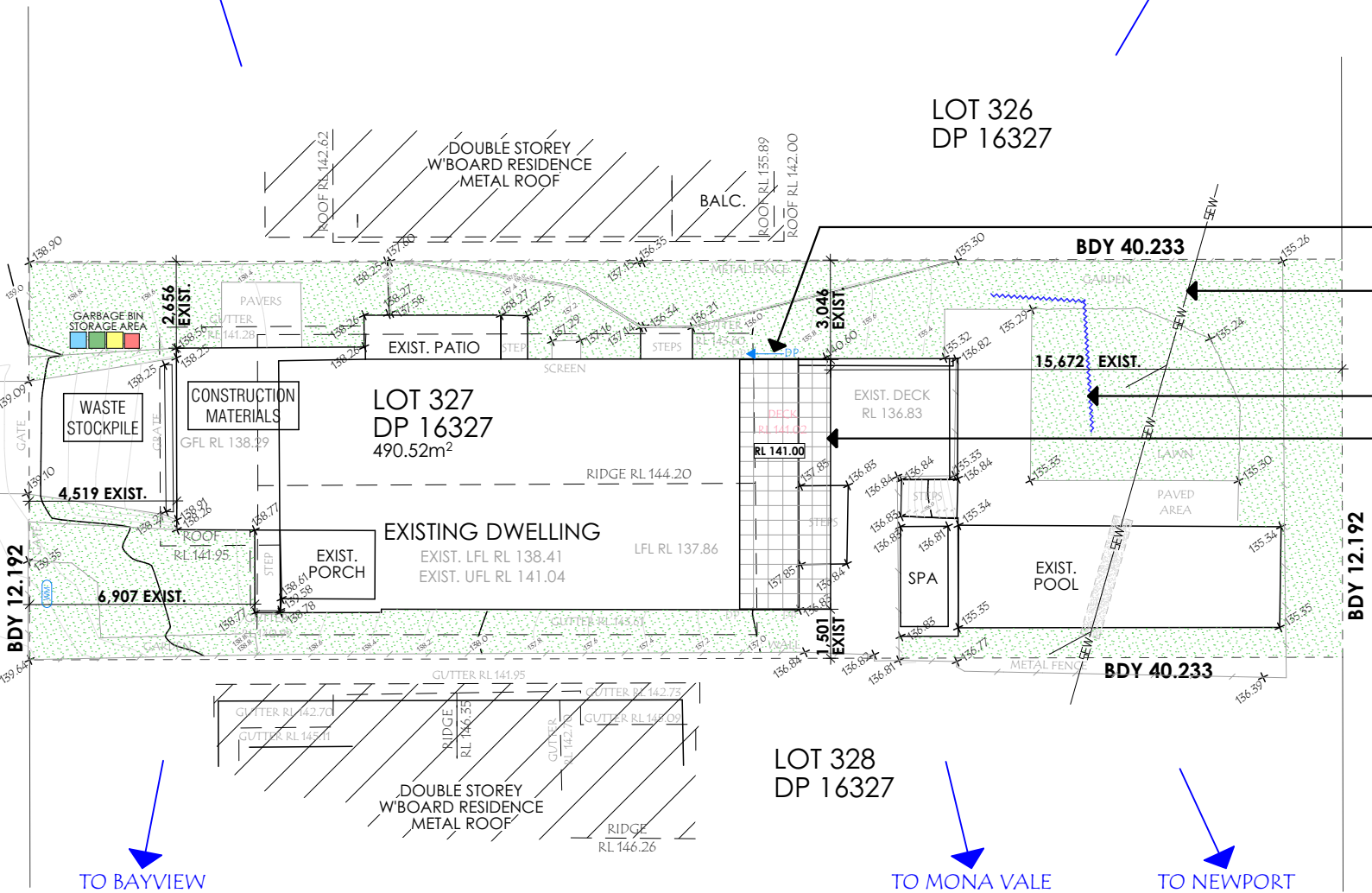
BM PAINT ON
D.HOLE IN KERB
RL 139.68 (AHD)

TO CHURCH POINT

TO PALM BEACH

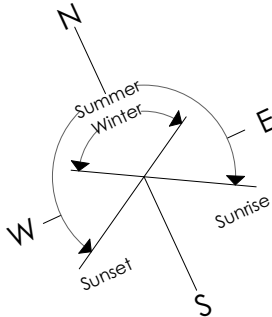
TO AVALON BEACH

LOT 326
DP 16327



- STORMWATER TO BE CONNECTED INTO EXISTING SYSTEM
- EXACT POSITION OF SEWER MAIN TO BE DETERMINED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
- SILTATION FENCE AND DIVERTER DRAINS TO COUNCIL REQUIREMENTS
- EXISTING FAILING DECK TO BE REPLACED

SUMMER
BREEZE

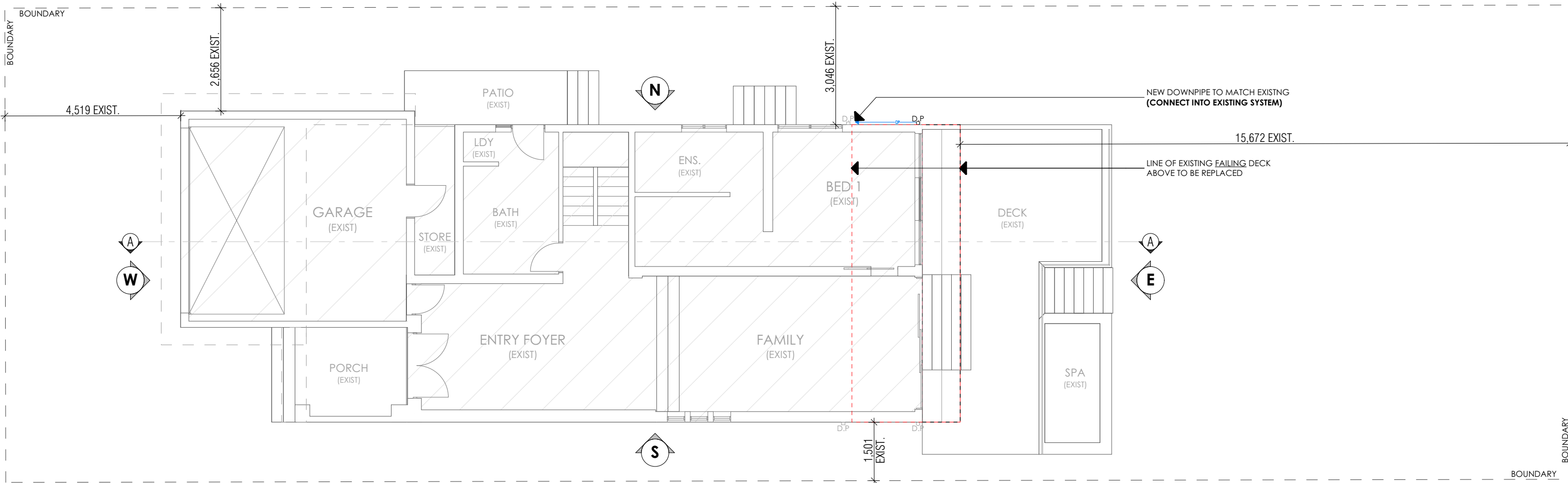


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Tuesday, June 15, 2021

| AREA TABLE | AREA m2 | SURFACE m2 |
|---|------------------|------------------|
| EXISTING ROOF SHEETING | 163.35 | 164.51 |
| SELECTED ROOF SHEETING (TO MATCH EXISTING) | 21.47 | 23.04 |
| TOTAL | 184.82 m² | 187.55 m² |

| | |
|---------------------------------|------------------|
| LOWER LEVEL (EXISTING) | 96.53 |
| UPPER LEVEL (EXISTING) | 103.09 |
| PORCH (EXISTING) | 6.98 |
| PATIO (EXISTING) | 5.72 |
| LOWER DECK (EXISTING) | 32.28 |
| UPPER DECK (TO BE REPLACED) | 21.29 |
| POOL / SPA SURROUNDS (EXISTING) | 37.36 |
| GARAGE (EXISTING) | 37.16 |
| TOTAL | 340.41 m² |








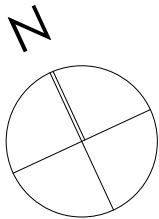
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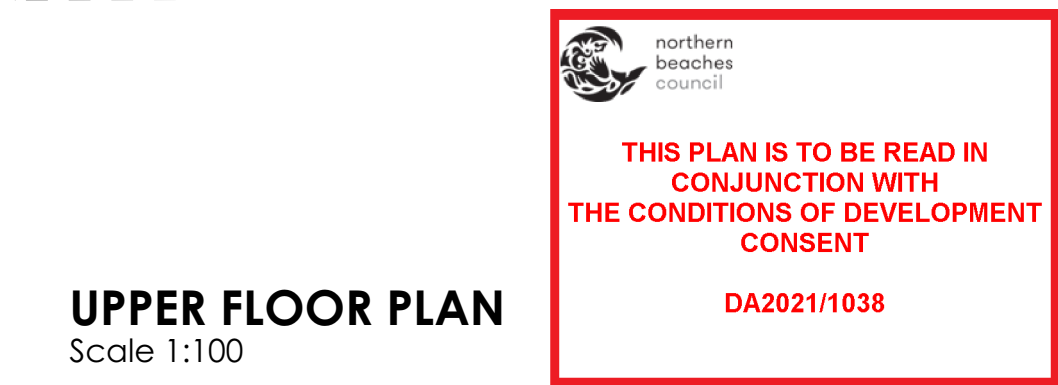
LOWER FLOOR PLAN
Scale 1:100

- LEGEND
-  = EXISTING WALLS
 -  = PROPOSED WALLS
 -  = EXISTING WALLS TO BE REMOVED



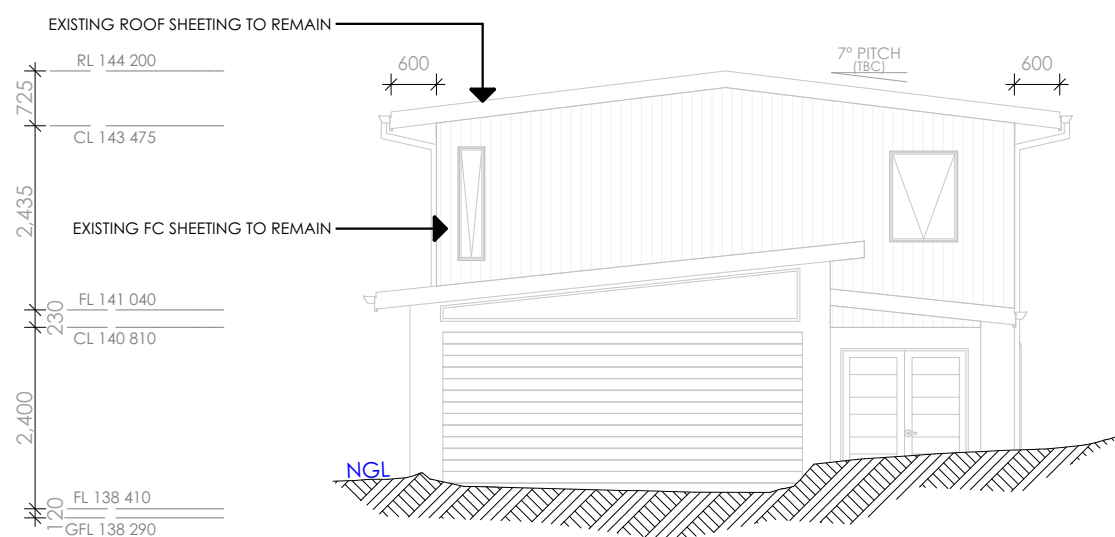
Tuesday, June 15, 2021

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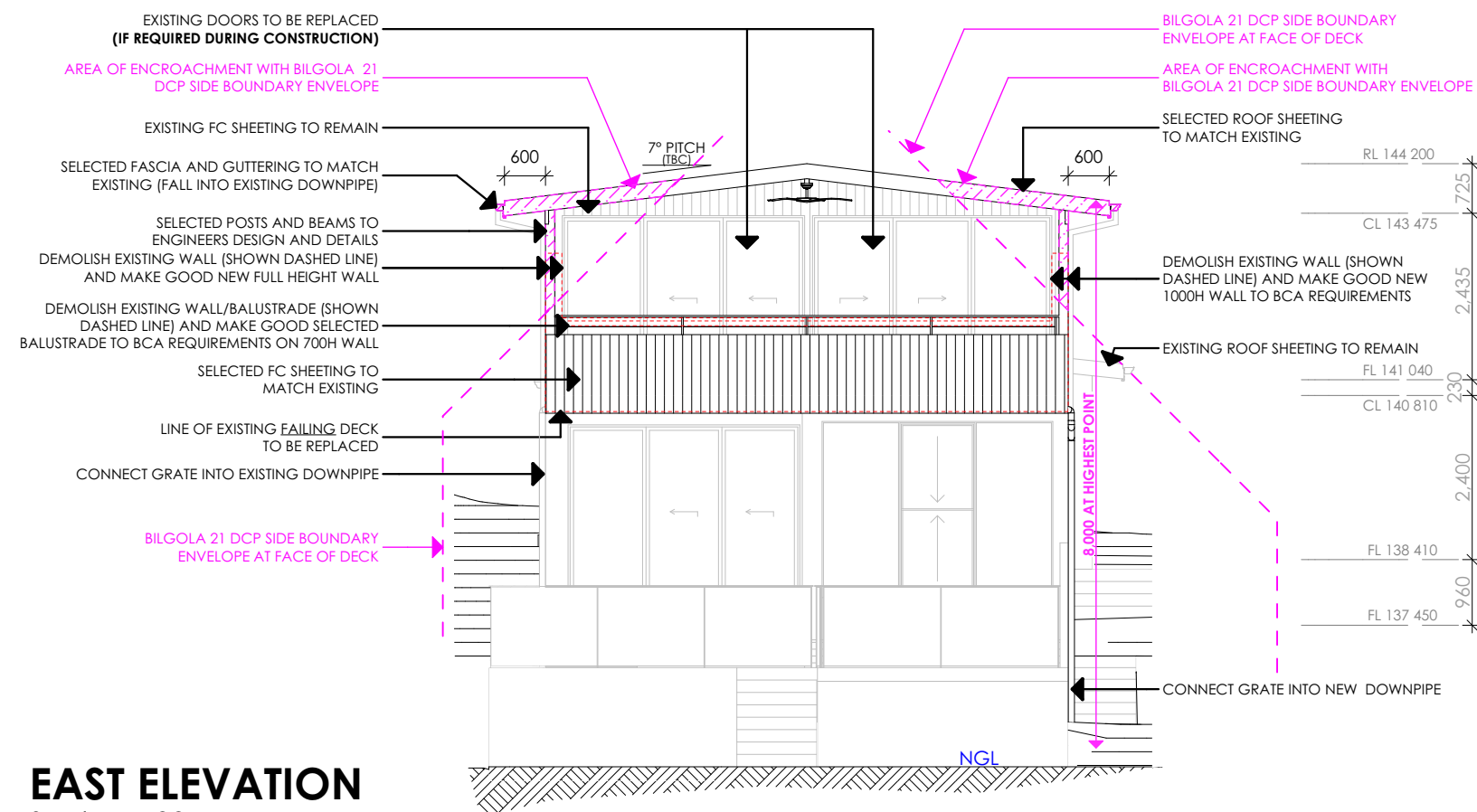
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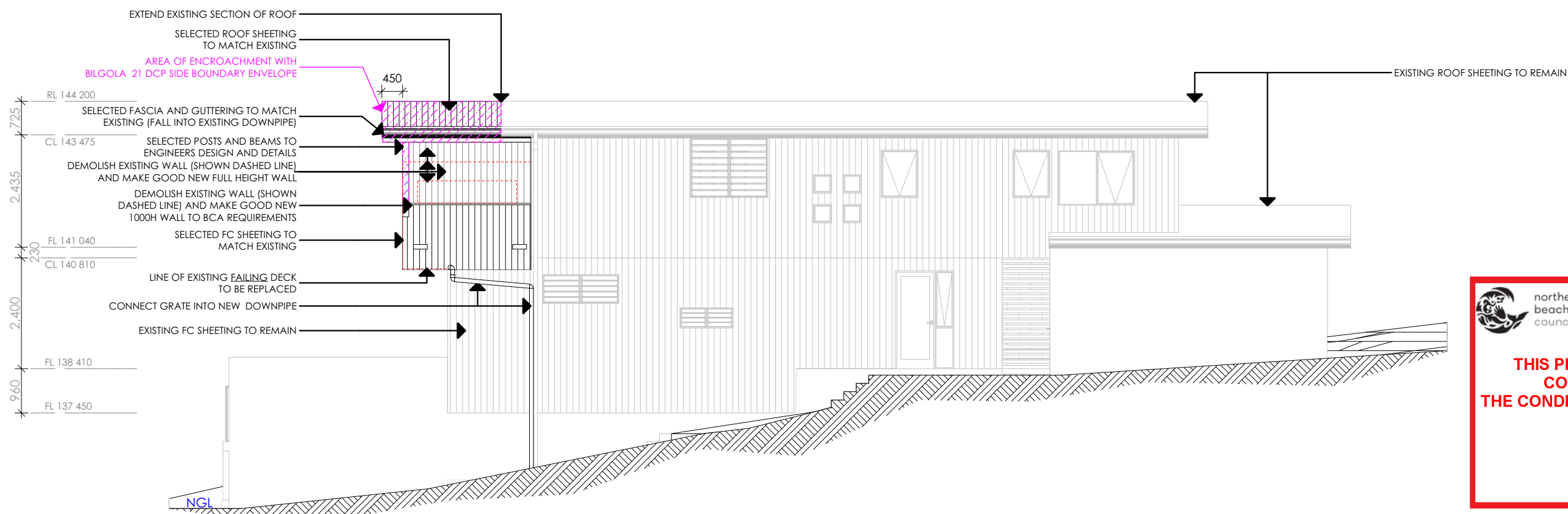
WEST ELEVATION

Scale 1:100



EAST ELEVATION

Scale 1:100

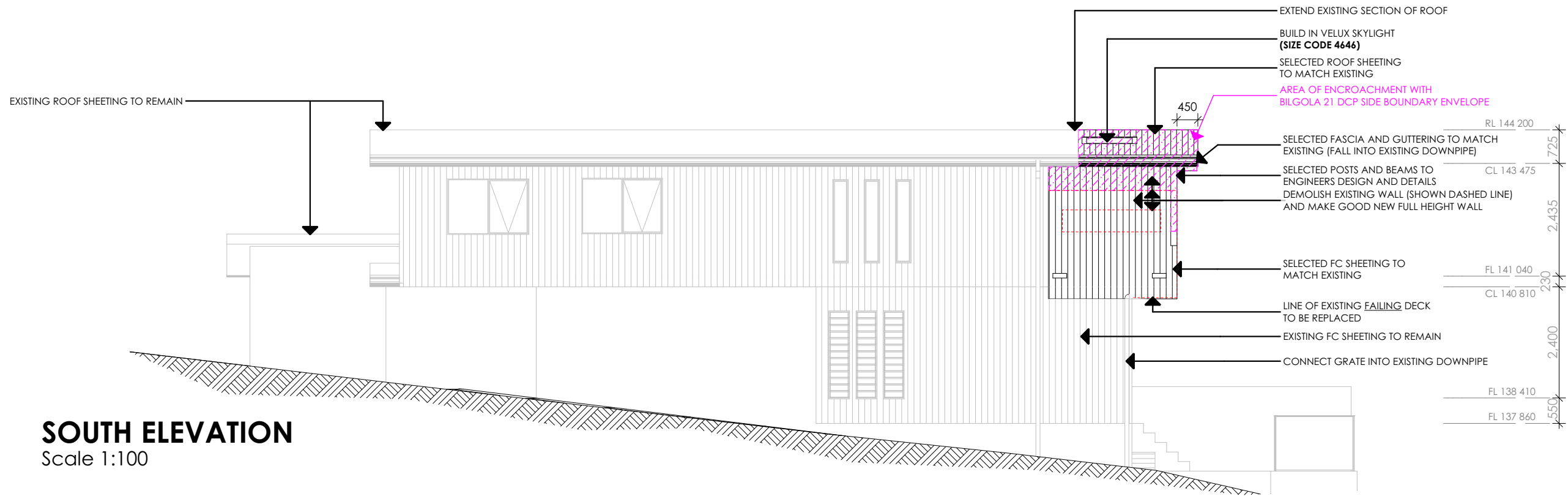


NORTH ELEVATION

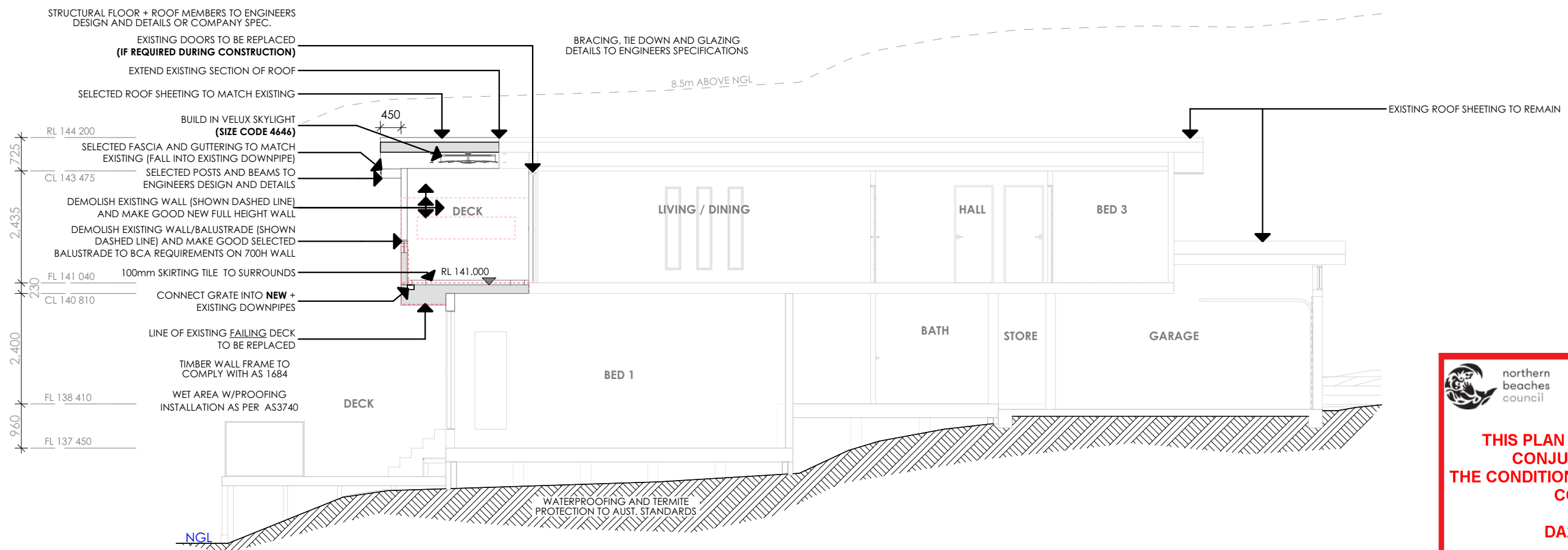
Scale 1:100



Tuesday, June 15, 2021



SOUTH ELEVATION
Scale 1:100



SECTION A-A
Scale 1:100

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