

Drawing Register

	Issue Date	
day	11	14
month	3	6
year	19	19

Drawing Number	Drawing Title	Revision
A00	Drawing Register & Location Plan	o A
A01	Site Analysis Plan 1:200	o -
A02	Erosion & Sediment Ctrl. / Excavation & Fill / Demo Plan 1:200	o -
A03	Site Plan 1:200, Area Calculations	o A
A04	Lower Ground Floor Plan - Proposed 1:100	o A
A05	Ground Floor Plan - Proposed 1:100	o A
A06	First Floor Plan - Proposed 1:100	o A
A07	Roof Plan 1:100	o A
A08	Pool Plan and Sections 1:100	o A
A09	East and West Elevation 1:100	o A
A10	North & South Elevations 1:100	o A
A11	Sections 1:100	o A
A12	Driveway Long Section 1:50	o A
A13	Site Shadows - June 21 @ 9am	o -
A14	Site Shadows - June 21 @ 12 Noon	o -
A15	Site Shadows - June 21 @ 3pm	o -
A16	Landscape Area Calculation Plan 1:200	o A
A17	External Window & Door Schedule / External Finishes Schedule	o -
A18	Thermal Performance Requirements	o -
A19	BASIX Certificate	o -
A20	3D Perspective Views	o A

Document Distribution:	DA1	DA2
Client	o	o
Structural Engineer		
Hydraulic Engineer	o	
Landsc. Consultant	o	
Approval Authority	o	o

GENERAL BUILDING SPECIFICATION

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Contractor to ensure selected tiles, fittings, etc, are appropriate and suitable for each application.
- Any proposed variations to the details supplied in these documents must be discussed with and approved by Cadence & Co Design in writing, before the Contractor orders or installs the relevant materials or systems. The Contractor must ensure that all proprietary systems and materials used in the construction of these works will be compatible with the details provided by Cadence & Co Design.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co Design before proceeding.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set set down's and allowances to accommodate finished levels.

BUSHFIRE SPECIFICATION

- The highest Bushfire Attack Level to the proposed dwelling was determined from Table 2.4.2 of AS3959 – 2009 to be 'BAL 12.5'. The proposed dwelling is required to comply with section 3 and BAL 12.5 section 5 under AS 3959 – 2009 and Addendum Appendix 3 under PBP 2006.



LOCATION PLAN (NTS)

(Source SIX maps)

THERMAL COMFORT INCLUSIONS

NatHERS Thermal Comfort Inclusions
Floors
Concrete slab on ground with an R1.5 insulation
Concrete between levels, no insulation required
Timber between levels, no insulation required
Suspended timber floor with R2.5 insulation

External Walls
200mm dintel walls
Lightweight cladding on framed walls with R2.0 insulation (insulation only value)
Note: No insulation is required to garage walls
External Colour
Default colour modelled
Walls within dwellings
110mm dintel walls. R1.5 insulation to internal entry walls
Plasterboard on studs no insulation

Glazing Doors/Windows

Aluminium framed performance glazing:

U-value: 5.20 (equal to or lower than) SHGC: 0.49 ($\pm 10\%$)

Given values are AFRC total window system values (glass and frame)

Note: Openability modelled as per BASIX Thermal Protocol – 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regards to restricted openings



Skylights
Double glazed with timber or aluminium frame
R1.5 insulation to skylight shaft

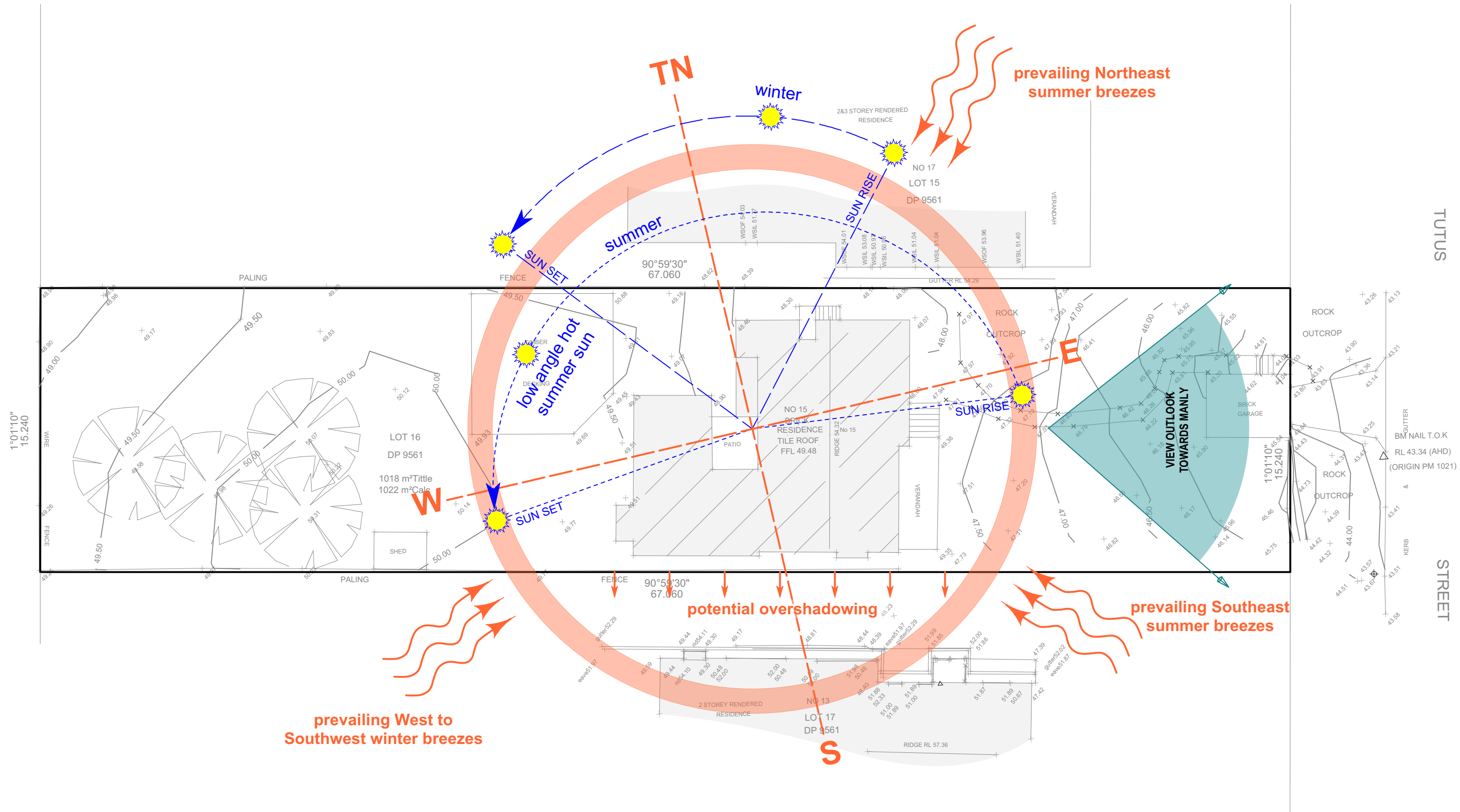
Roof
Concrete roof, no insulation
Metal roof with foil backed blanket ($R_{u1.0}$ and $R_{d1.0}$)
External Colour
Dark ($SA > 0.7$)

Ceilings
Plasterboard ceiling with R3.0 insulation (insulation only value) where roof or balcony
Plasterboard ceiling with R2.5 insulation (insulation only value) to soffit of concrete basement, storage and service areas
Ceiling Penetrations
Ceiling penetrations not to exceed NatHERS certificate

Floor coverings
Carpet to bedrooms, tiles to bathrooms and laundry, timber elsewhere

External Shading
Vergola, window boxes, pergolas and eaves as per NatHERS stamped plans

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		<p>PROJECT:</p> <p>15 Tutus St, Balgowlah Heights Being LOT 16 in D.P. 9561</p>		<p>PROJECT NO:</p> <p>PAN 0518</p>		<p>ISSUE TYPE:</p> <p>DA2</p>	<p>CHKD:</p>	<p>SCALE @ A2:</p>		
		<p>ISSUE DATE:</p> <p>14/6/19</p>		<p>REVISION:</p> <p>A</p>						
		<p>GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS. BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL. BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.</p>								



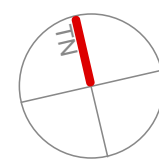
1 Site Analysis Plan
Scale: 1:200



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REVISION DATE REVISION NOTE



CLIENT:
Colin & Emily Panagakis

PROJECT:
15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561

DRAWING:
Site Analysis

PROJECT NO:
PAN 0518

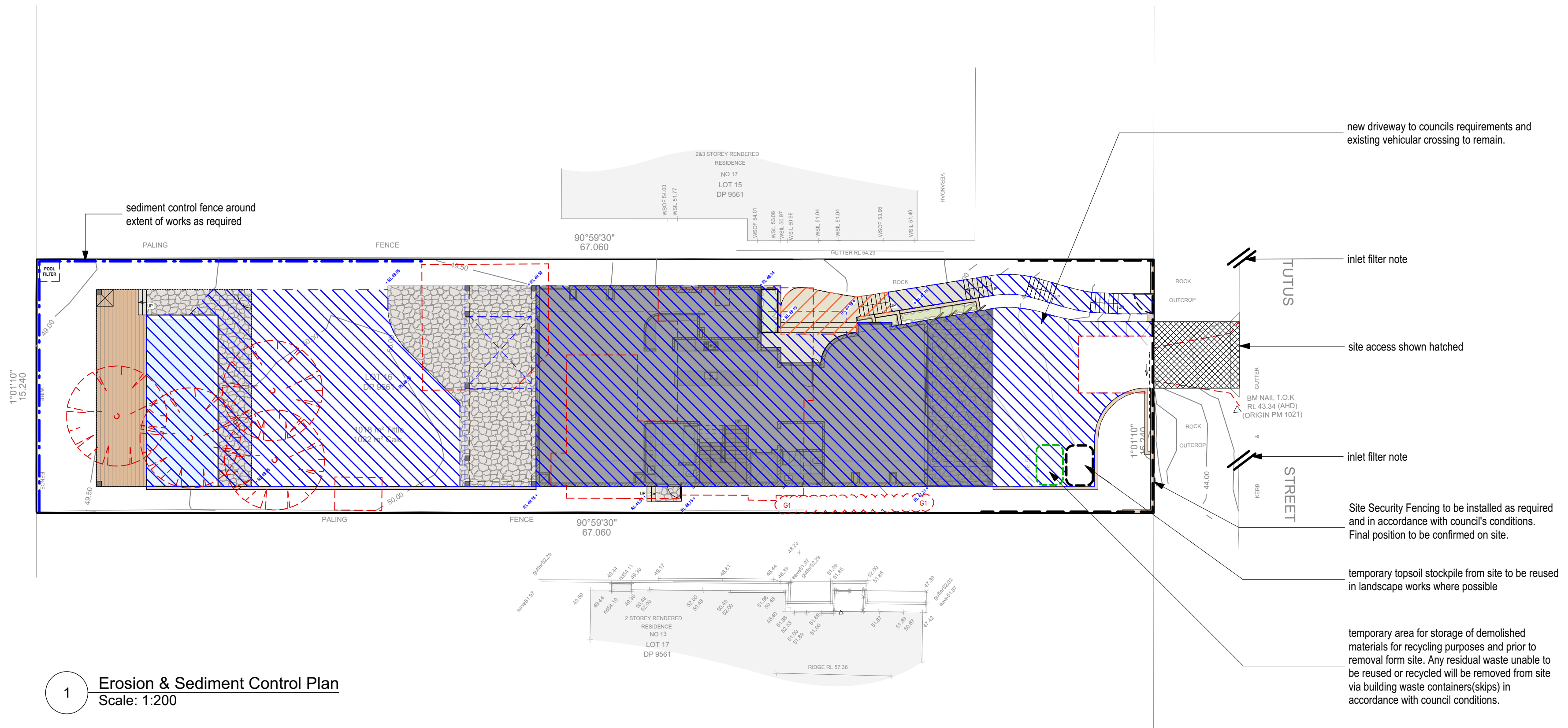
ISSUE TYPE:
DA1

DRAWN:
PV
CHKD:
ISSUE DATE:
11/3/19
SHEET NO:
A01
SCALE @ A2:
1:200
REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

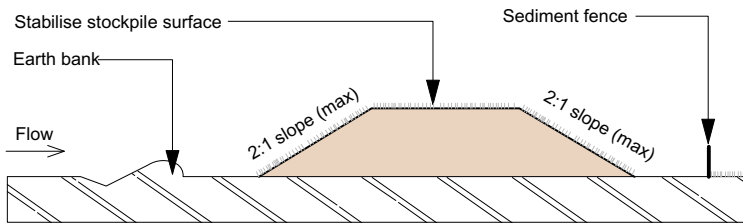
DRAWING REFERENCE KEY

- Existing structures and outbuildings to be demolished
- Existing trees to be removed
- Proposed excavation area
- Proposed area of site fill



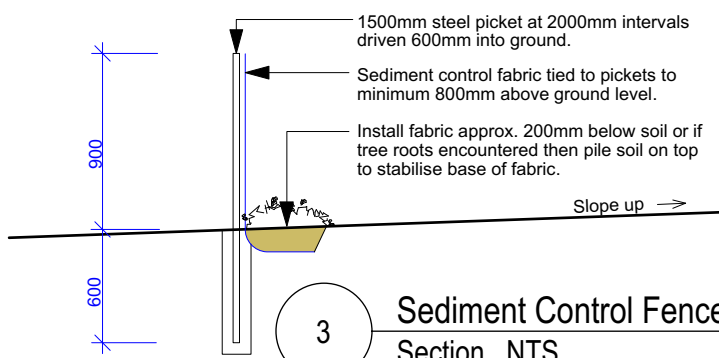
1

Erosion & Sediment Control Plan
Scale: 1:200



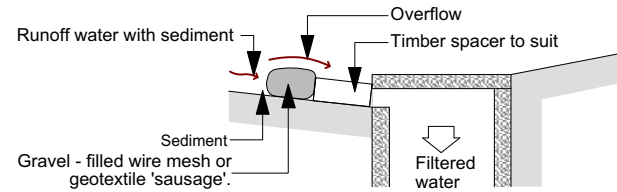
2

Soil Stockpile detail
Section NTS



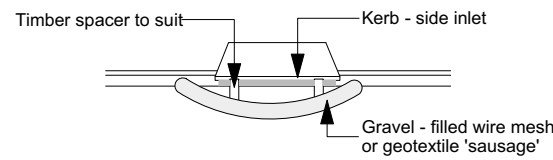
3

Sediment Control Fence
Section NTS



4

Mesh & gravel inlet filter
Section NTS



5

Mesh & gravel inlet filter
Plan NTS

GENERAL NOTES:

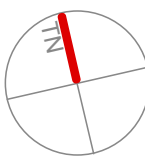
- Install temporary sediment control fence as shown.
- Provide temporary haybales where sediment control fence requires dismantling for site access.
- Install mesh and drainage inlet protection on stormwater inlets down slope of site



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REVISION DATE REVISION NOTE



CLIENT:

Colin & Emily Panagakis

PROJECT:

15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561

DRAWING:

Erosion & Sediment Ctrl. / Excav. & Fill /
Demolition Plan

PROJECT NO:

PAN 0518

ISSUE TYPE:

DA1

DRAWN:

PV

CHKD:

ISSUE DATE:

11/3/19

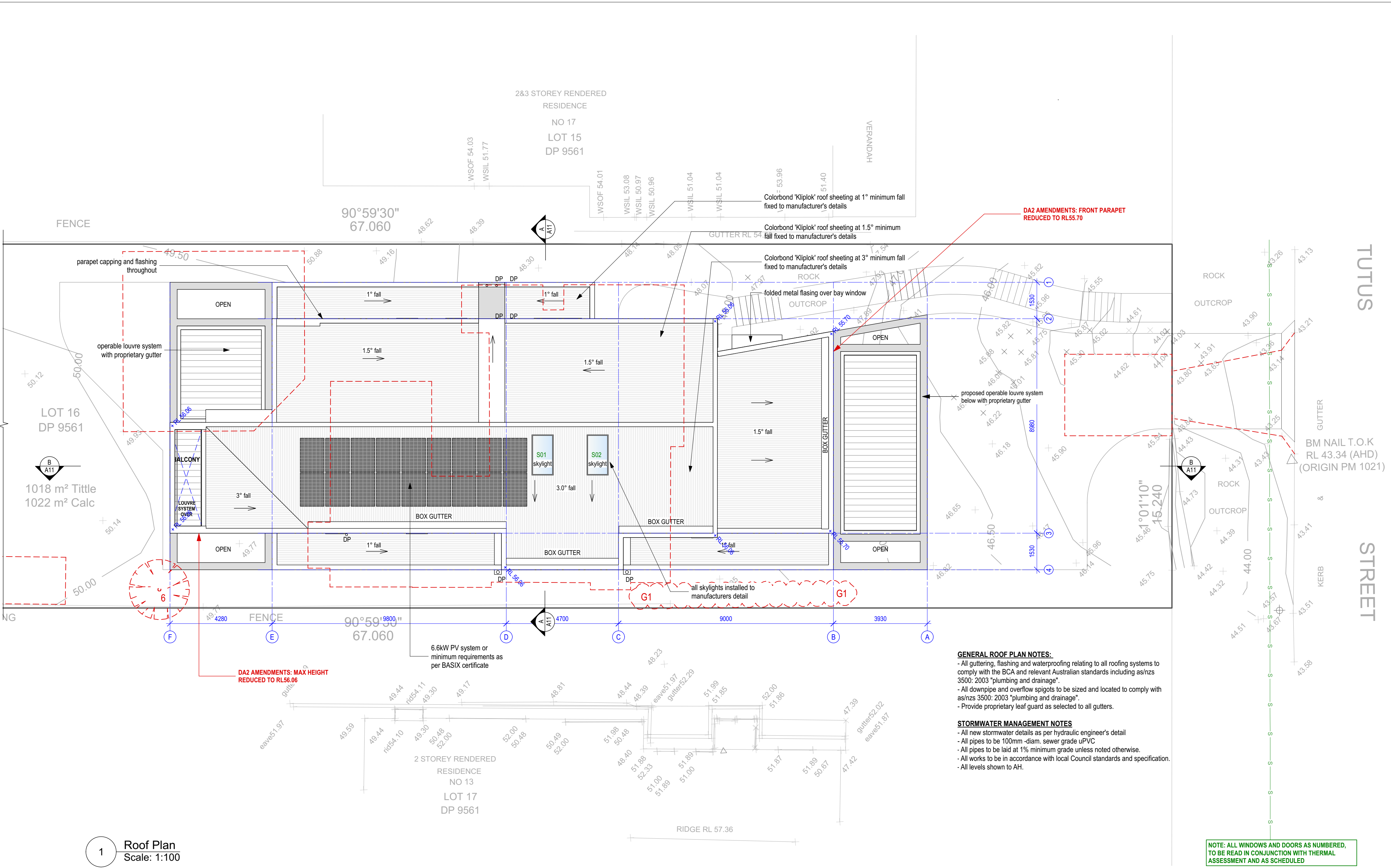
SHEET NO:

A02

SCALE @ A2:

1:200

REVISION:



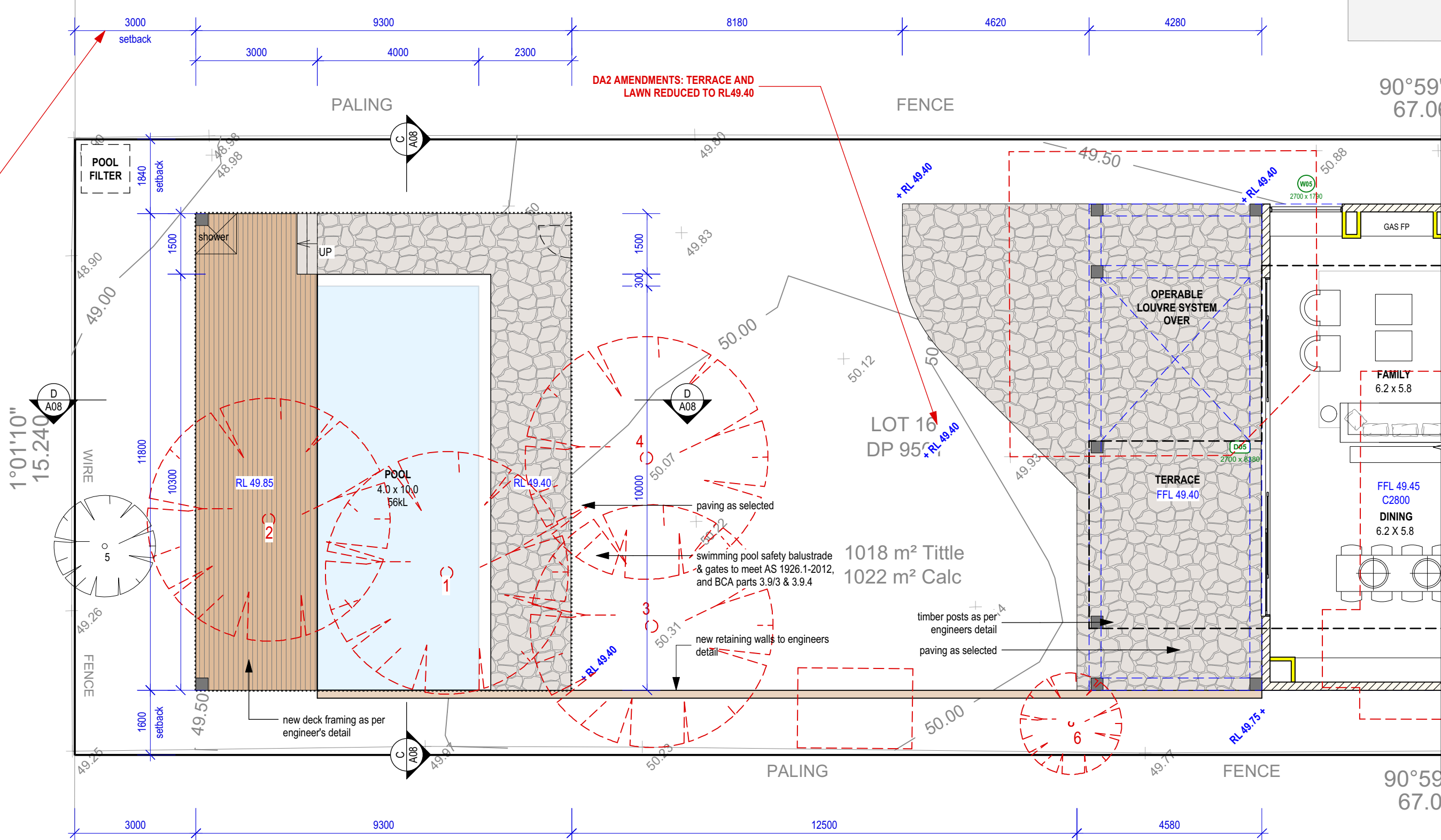
1 Roof Plan
Scale: 1:100

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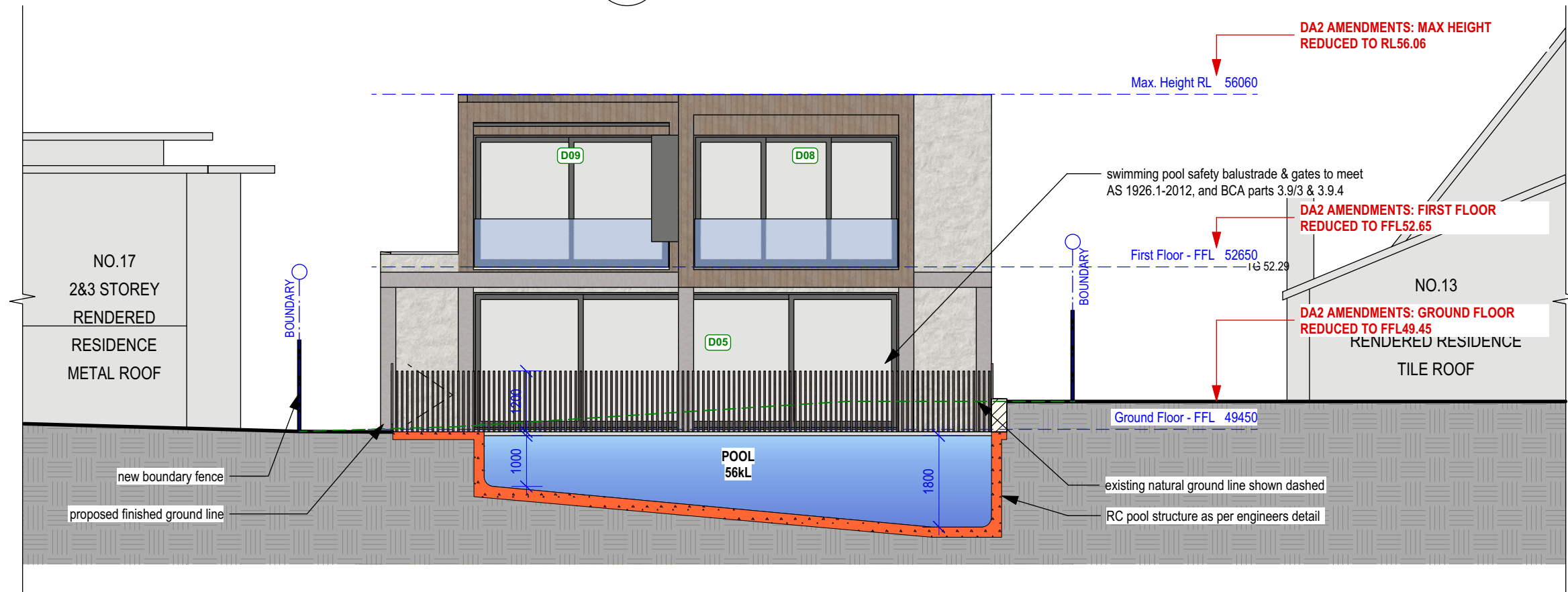
PLAN REFERENCE KEY

- Proposed new stud wall
- Proposed new dincel wall
- New internal wet area
- Proposed new deck
- Proposed new external pavers
- Proposed new external landscape retaining walls

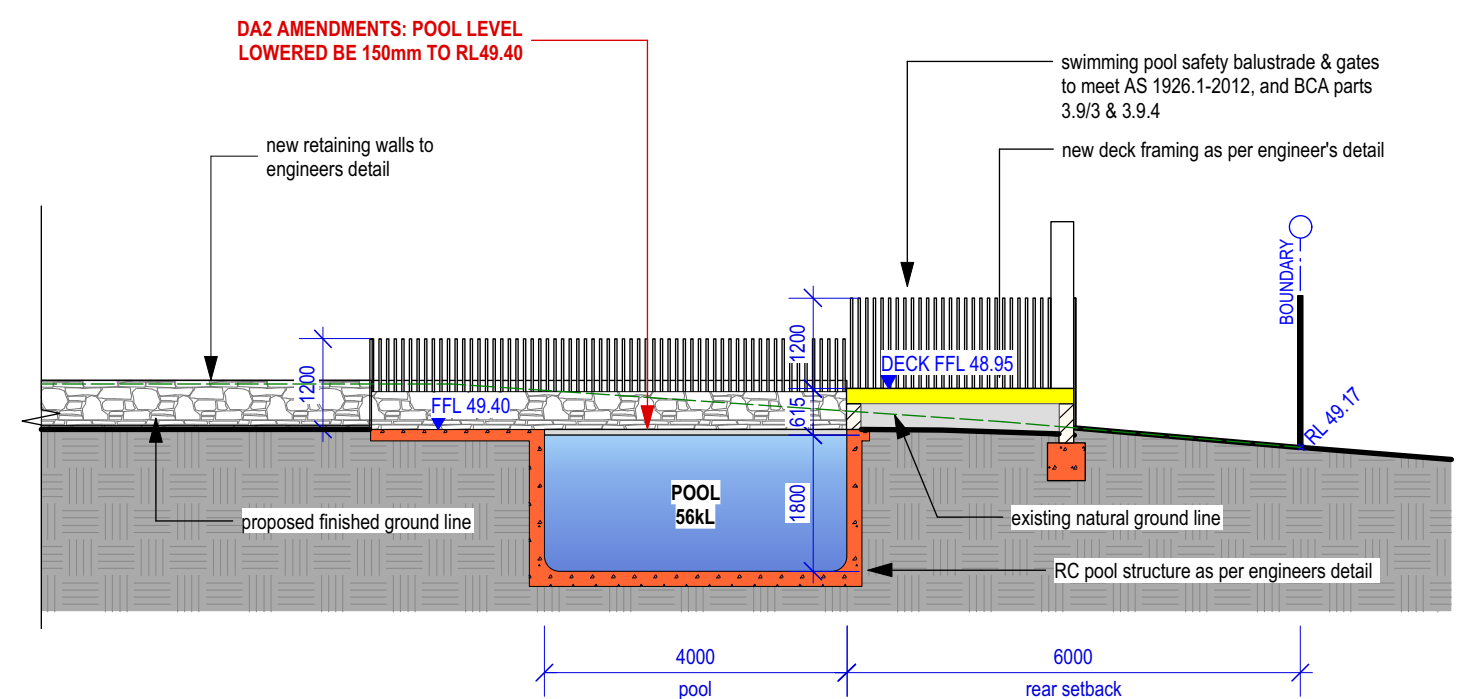
DA2 AMENDMENTS: REAR SETBACK REDUCED BY 600mm



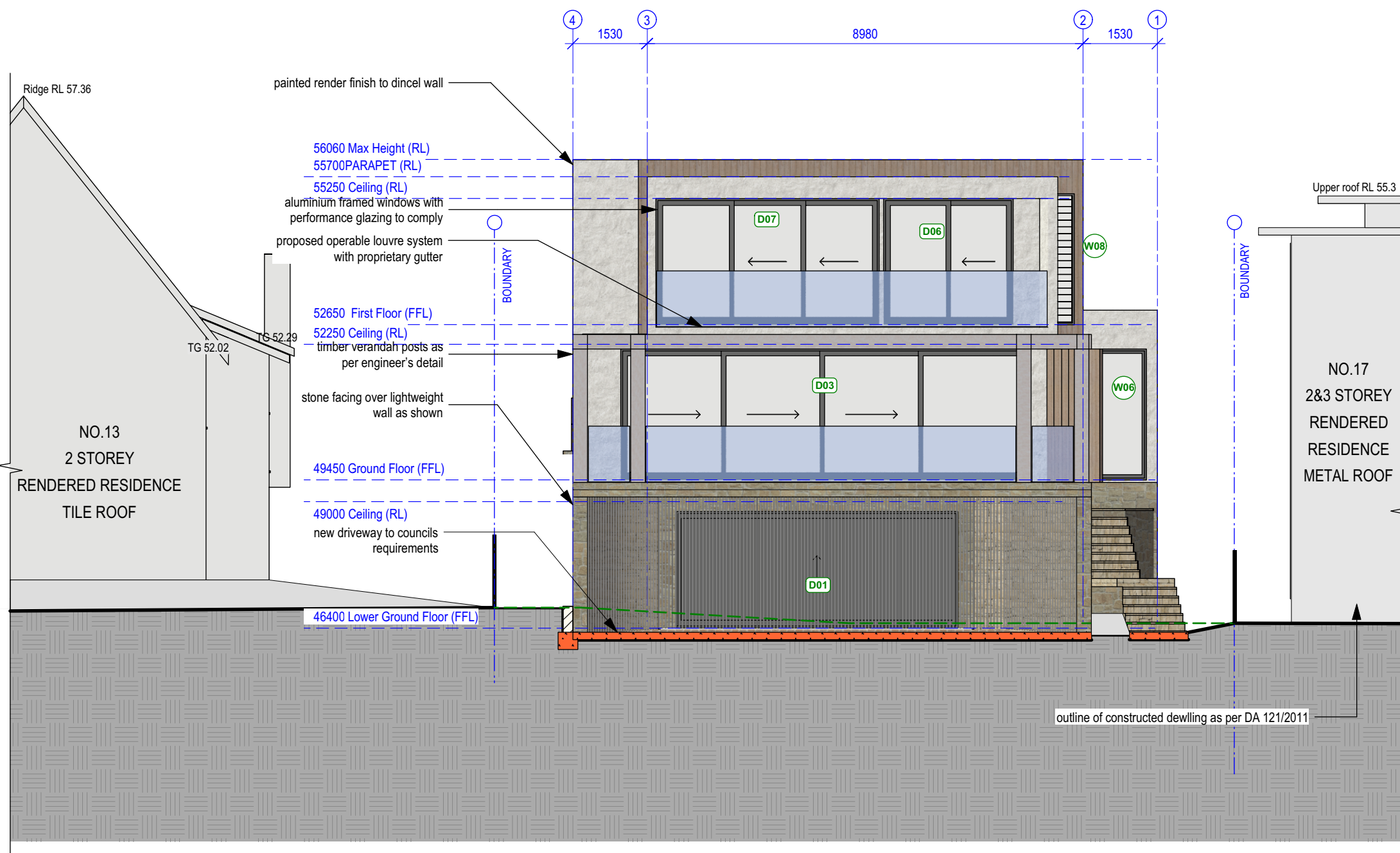
1 Pool Plan
Scale: 1:100



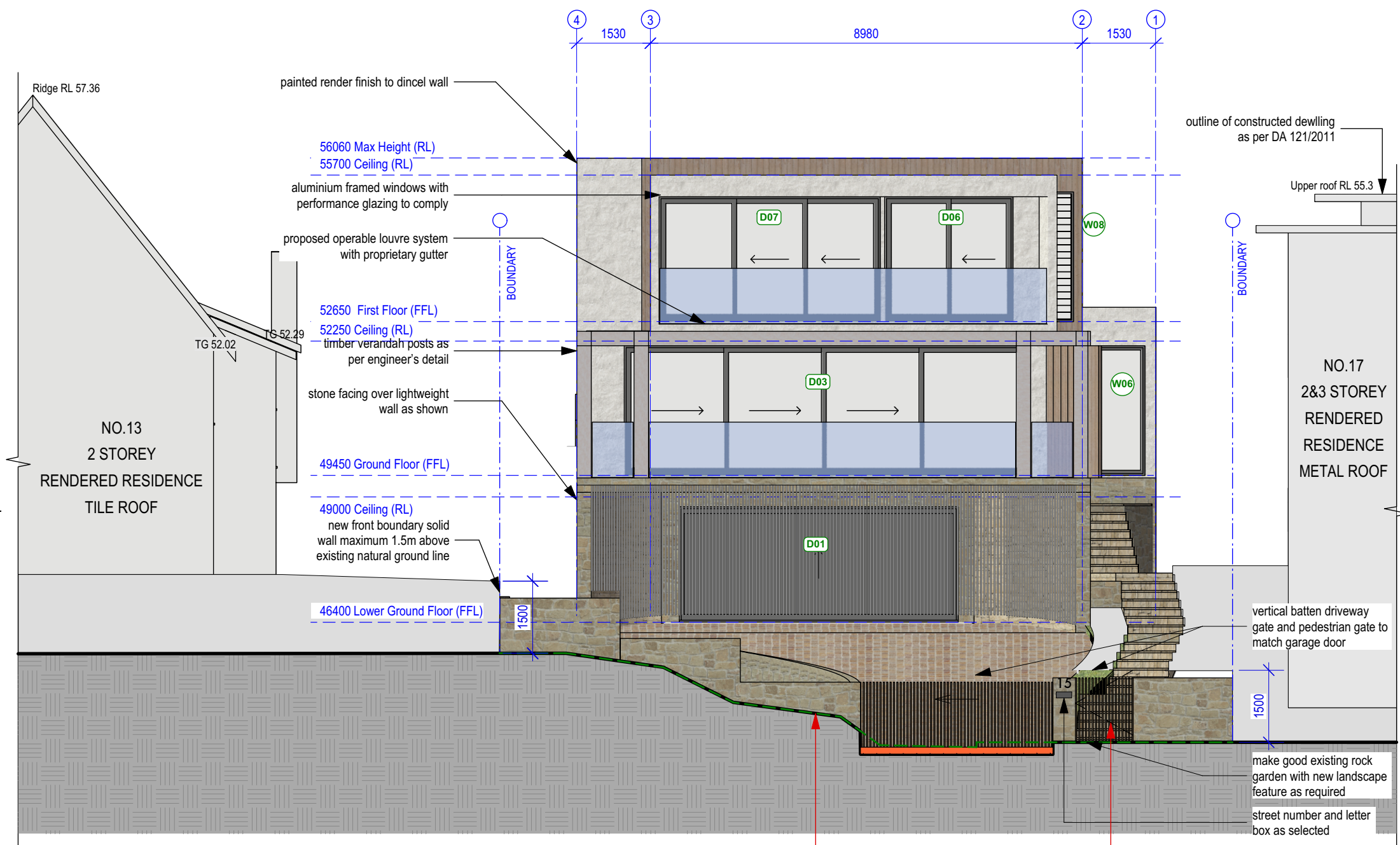
2 Section C-C - Swimming Pool
Scale: 1:100



3 Section D-D - Swimming Pool
Scale: 1:100

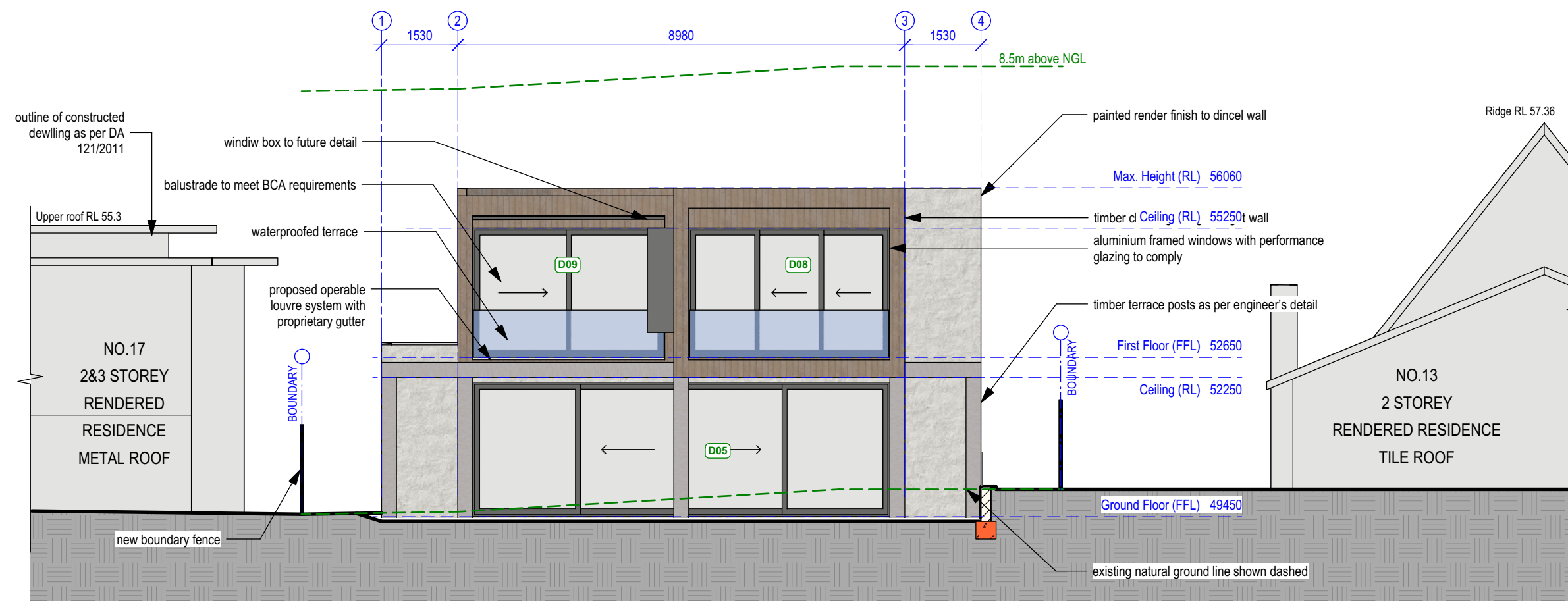


1 East Elevation
Scale: 1:100



3 Front Fence Elevation
Scale: 1:100

- DA2 AMENDMENTS:
- MAX HEIGHT REDUCED TO RL 56.06
 - PARAPET HEIGHT FACING STREET REDUCED TO RL 55.70
 - FIRST FLOOR REDUCED TO FFL 52.65
 - FIRST FLOOR CEILING HEIGHT REDUCED TO 2600mm
 - GROUND FLOOR REDUCED TO FFL 49.45
 - GROUND FLOOR CEILING REDUCED TO 2800mm
 - GARAGE / BASEMENT REDUCED TO FFL 46.40



2 West Elevation
Scale: 1:100



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REVISED DA - 14/6/19

REVISION	DATE	REVISION NOTE
A	14/6/19	ALL DA AMENDMENTS AS NOTED RED ON THE DRAWINGS

CLIENT:
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PROJECT:
**15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561**

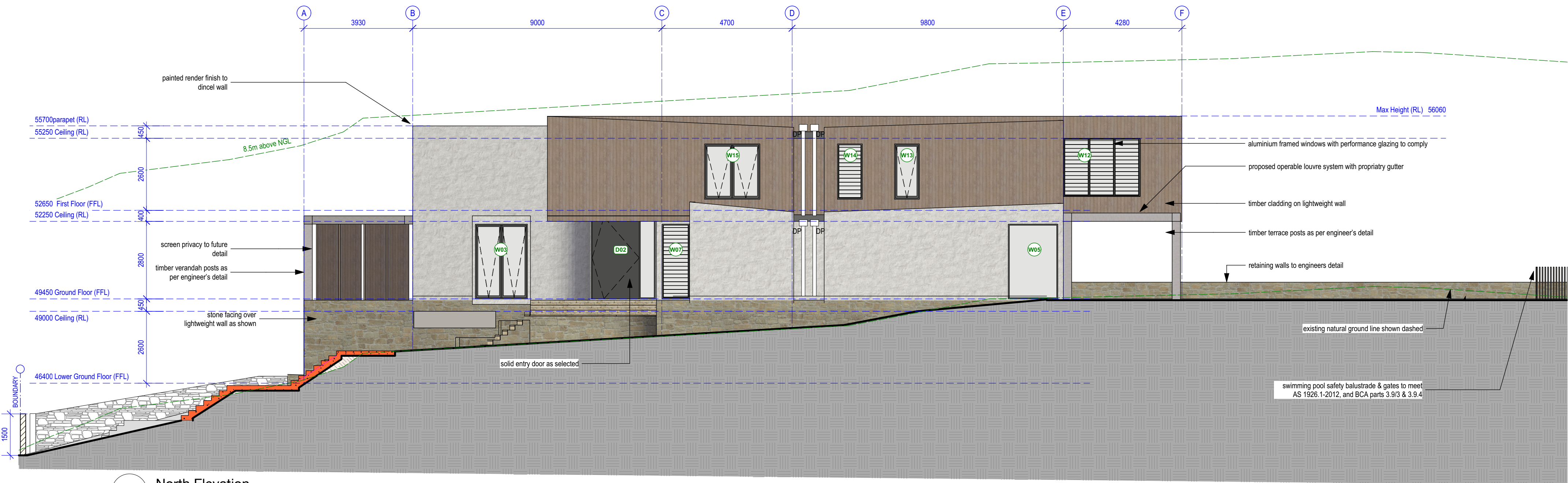
DRAWING:
East & West Elevations

PROJECT NO:
PAN 0518

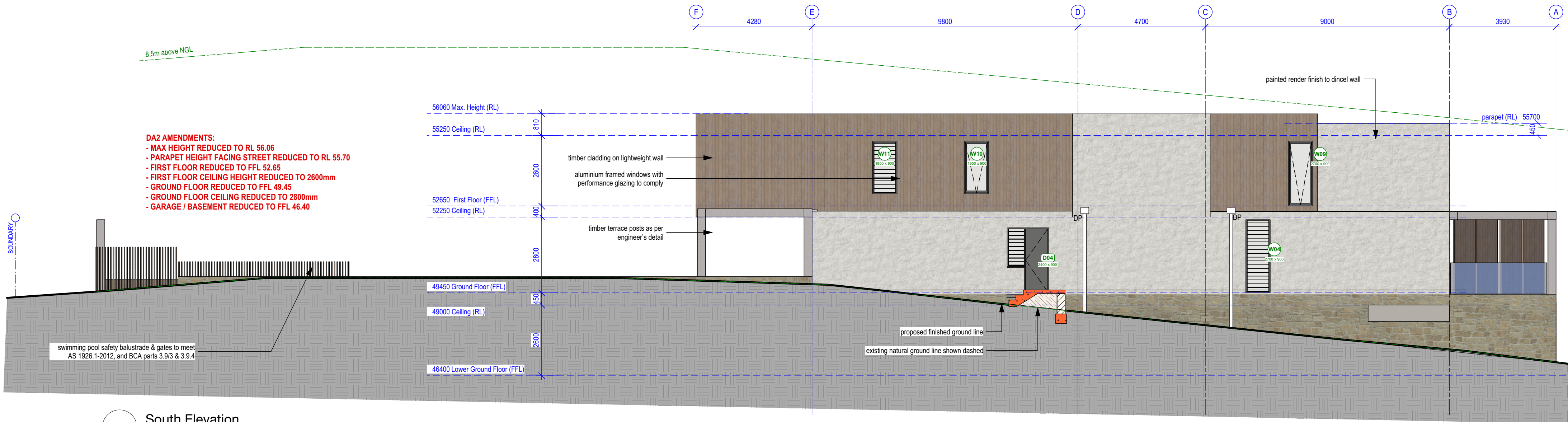
ISSUE TYPE:
DA2

DRAWN: PV	SHEET NO: A09
CHKD:	SCALE @ A2: 1:100
ISSUE DATE: 14/6/19	REVISION: A

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1 North Elevation
Scale: 1:100



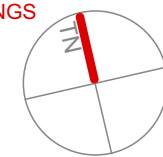
2 South Elevation
Scale: 1:100



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REVISED DA - 14/6/19

REVISION DATE REVISION NOTE
A 14/6/19 ALL DA AMENDMENTS AS NOTED RED ON THE DRAWINGS



CLIENT:
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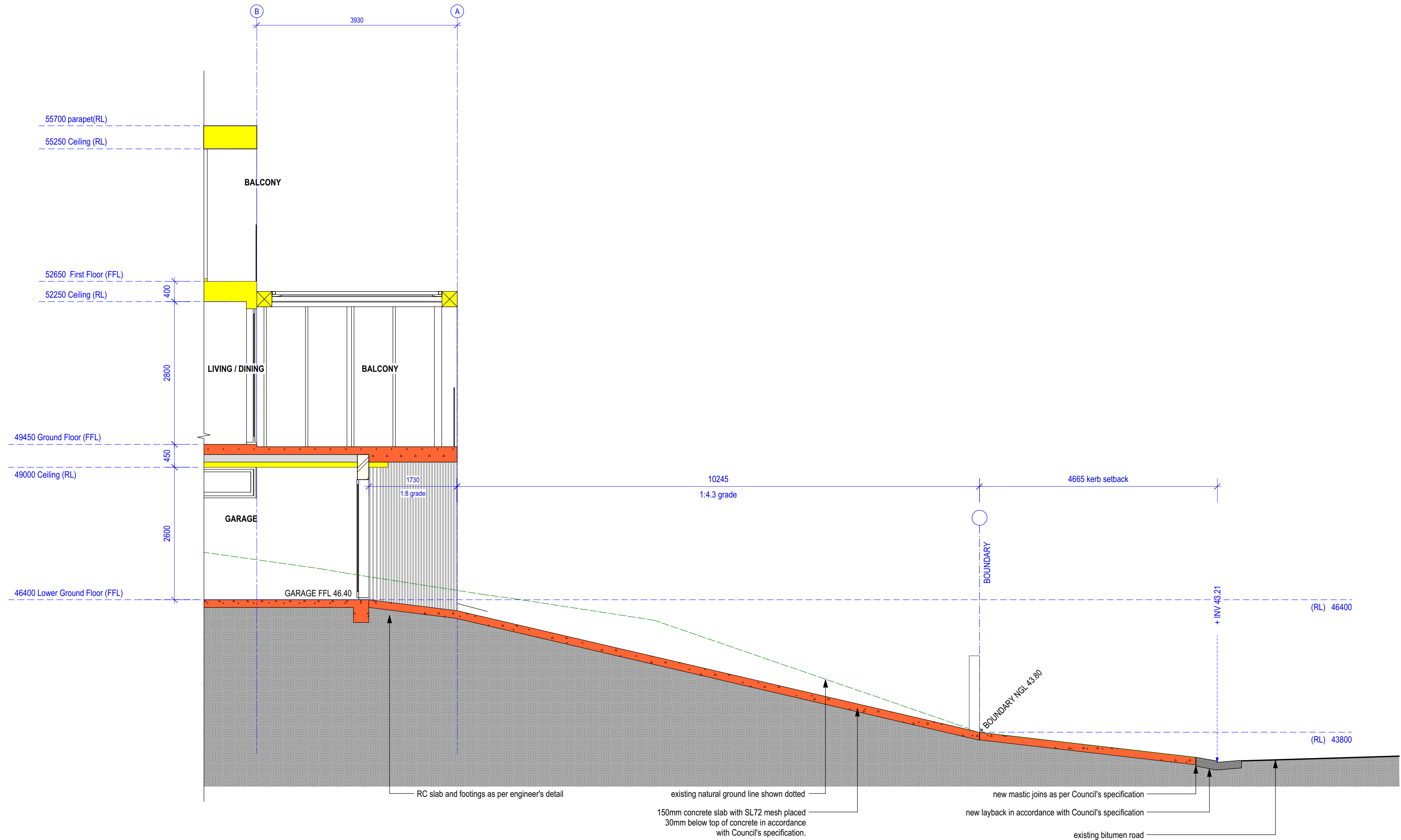
PROJECT:
15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561

DRAWING:
North & South Elevations

PROJECT NO: PAN 0518
ISSUE TYPE: DA2

DRAWN: PV
CHKD: SCALE @ A2:
1:100
ISSUE DATE: 14/6/19
REVISION: A

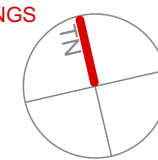
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REVISED DA - 14/6/19

REVISION	DATE	REVISION NOTE
A	14/6/19	ALL DA AMENDMENTS AS NOTED RED ON THE DRAWINGS



CLIENT:
Colin & Emily Panagakis
PROJECT:
**15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561**

DRAWING:
Driveway Long Section
PROJECT NO:
PAN 0518
ISSUE TYPE:
DA2

DRAWN: PV	SHEET NO: A12
CHKD:	SCALE @ A2: 1:50
ISSUE DATE: 14/6/19	REVISION: A

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N

9:00 AM

Sydney

June 21

Azimuth: 42° 32' [42° 0' east]

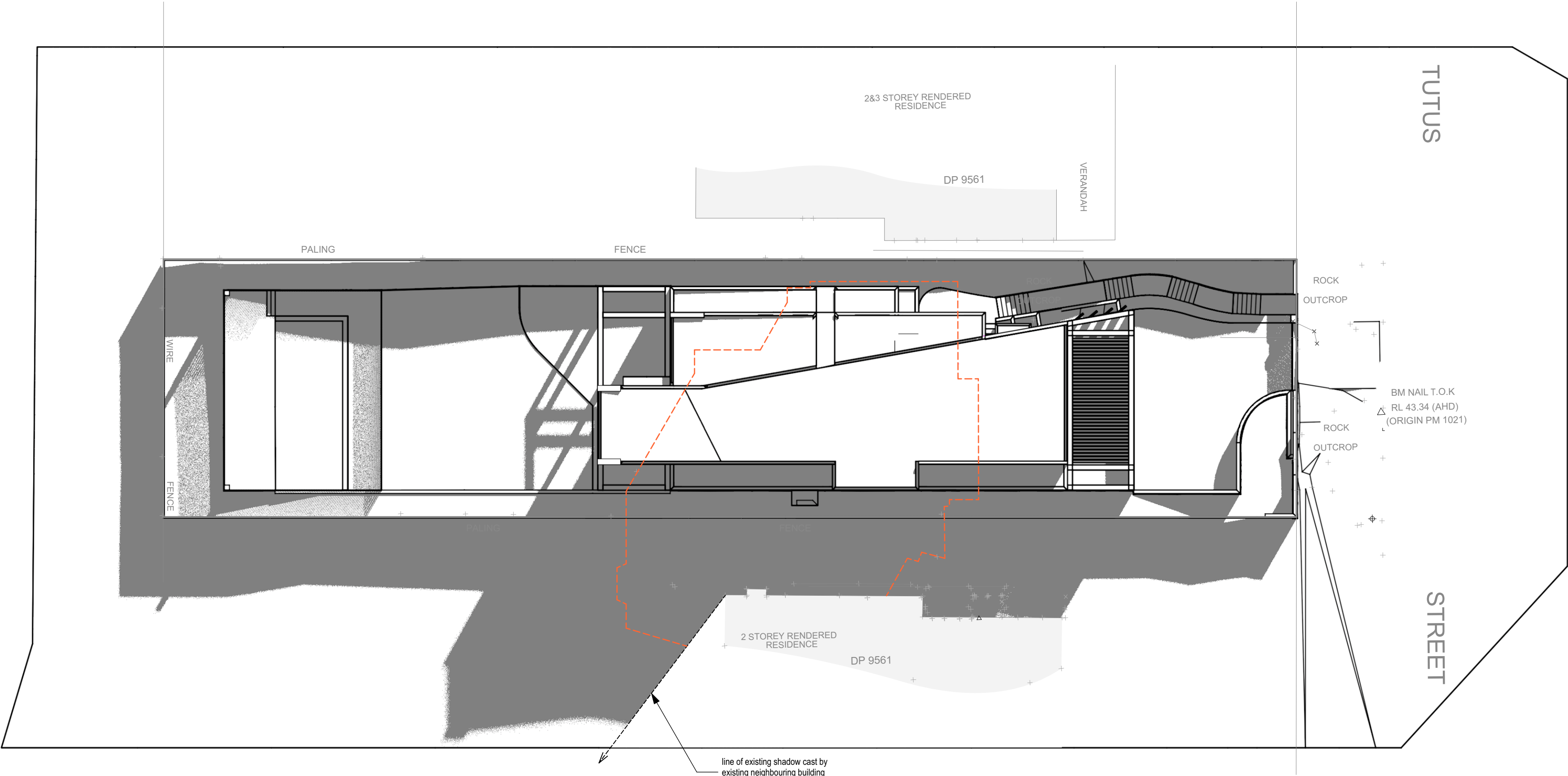
Altitude: 18° 56'

Solar Time: 9:03 AM

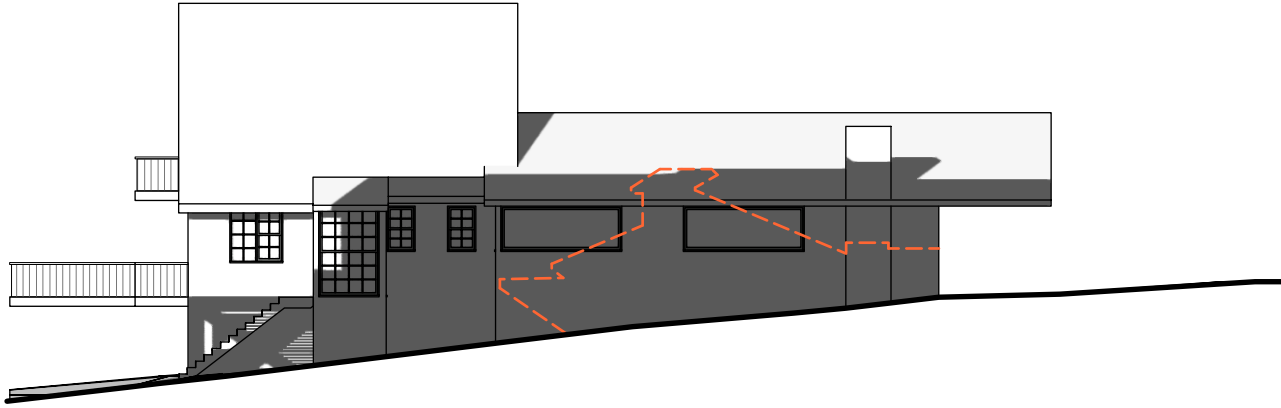
SHADOW KEY

PROPOSED SITE SHADOWS

EXISTING SITE SHADOWS



1 Site Shadows - June 21 @ 9am
Scale: 1:200



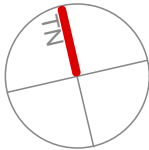
2 Elevational shadow diagram - June 21 @ 9am
Scale: 1:200



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REVISION DATE REVISION NOTE



CLIENT:
Colin & Emily Panagakis

PROJECT:
15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561

DRAWING:
Site Shadows - June 21 @ 9am

PROJECT NO:
PAN 0518

ISSUE TYPE:
DA1

DRAWN:
PV

CHKD:

ISSUE DATE:
11/3/19

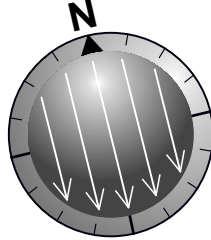
SHEET NO:
A13

SCALE @ A2:
1:200

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

N



12:00 PM


Sydney
June 21


Azimuth: 359° 7' [0° 0' west]

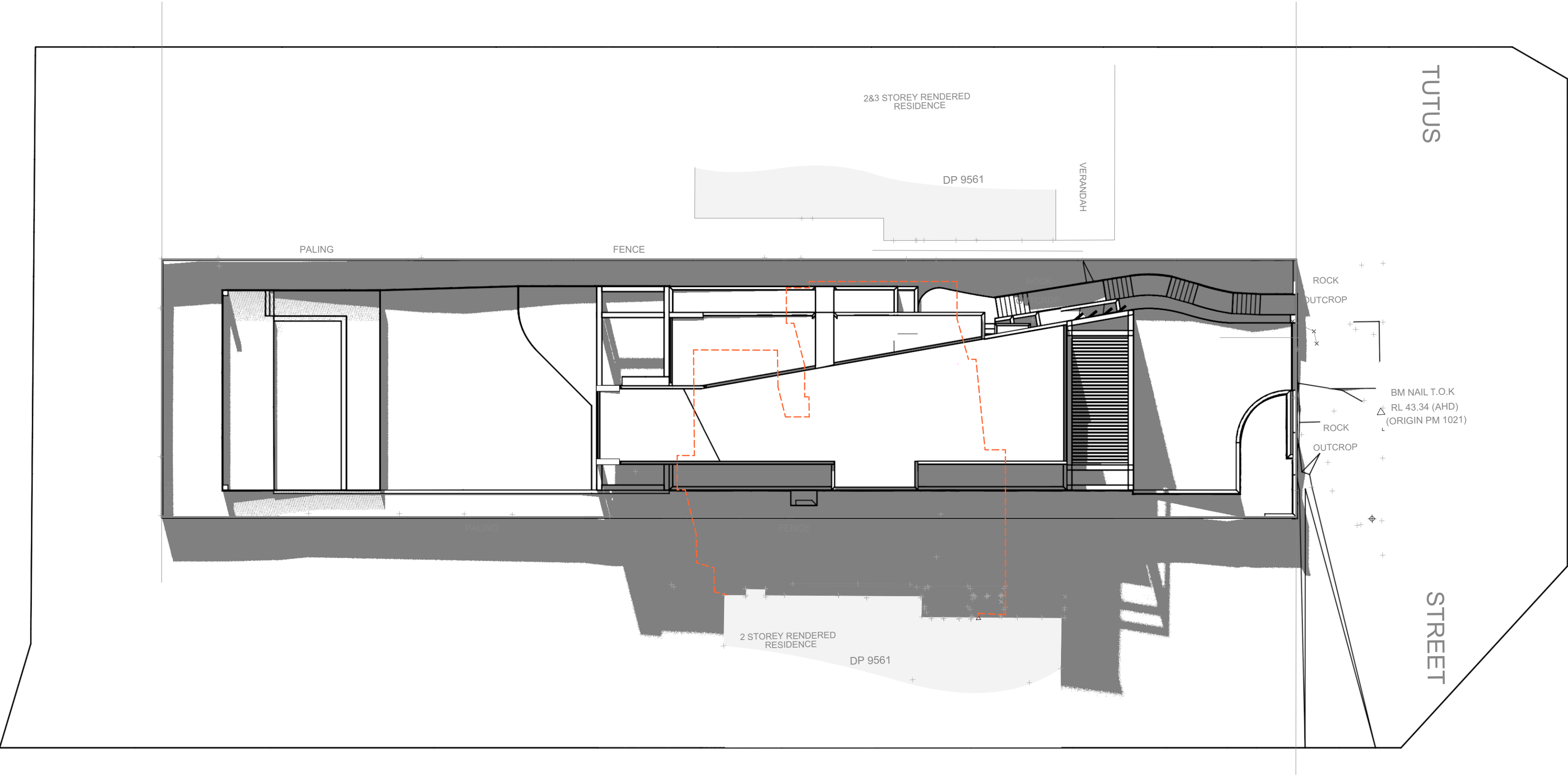
Altitude: 32° 40'

Solar Time: 12:03 PM

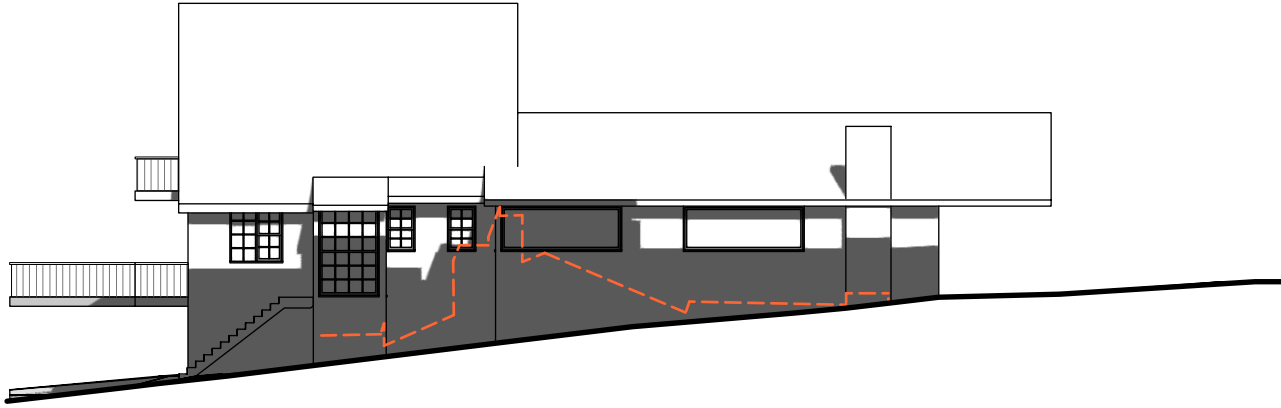
SHADOW KEY

 PROPOSED SITE SHADOWS

 EXISTING SITE SHADOWS



1 Site Shadows - June 21 @ 12noon
Scale: 1:200



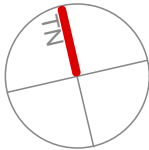
2 Elevational shadow diagram - June 21 @ 12noon
Scale: 1:200



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CLIENT:
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PROJECT:
15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561

DRAWING:
Site Shadows - June 21 @ 12Noon

PROJECT NO:
PAN 0518

ISSUE TYPE:
DA1

DRAWN: PV	SHEET NO: A14
CHKD:	SCALE @ A2: 1:200
ISSUE DATE: 11/3/19	REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

N

3:00 PM

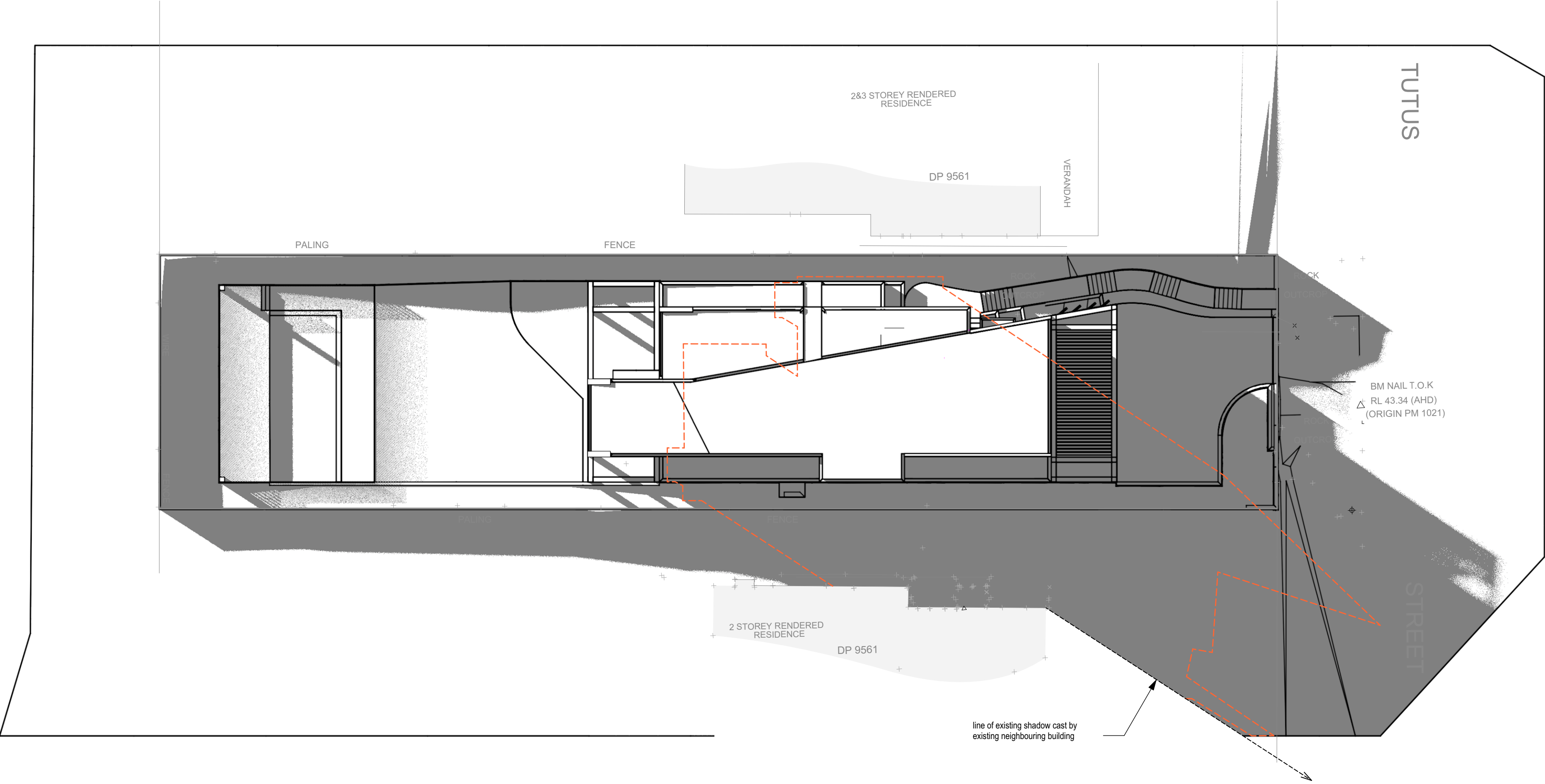
Sydney
June 21

Azimuth: 316° 14' [43° 0' west]
Altitude: 18° 0'
Solar Time: 3:03 PM

SHADOW KEY

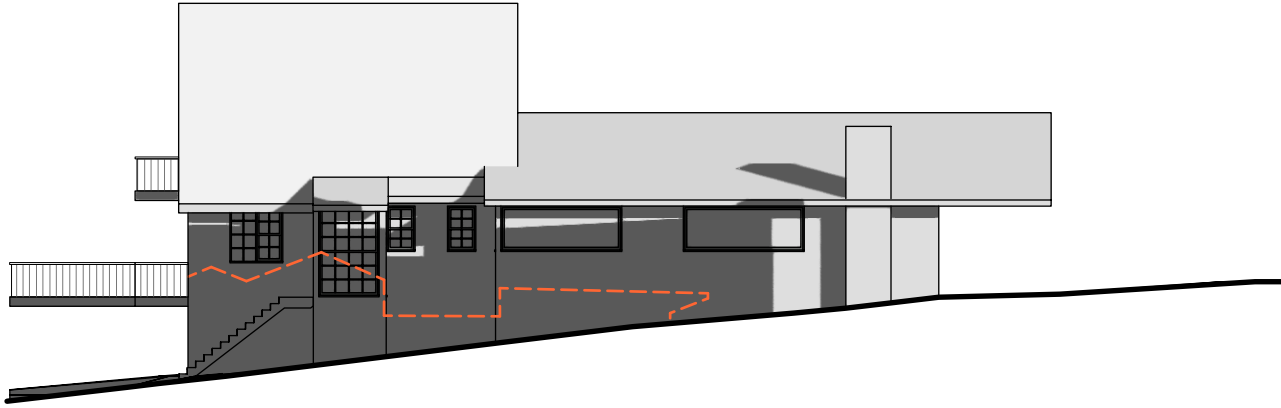
PROPOSED SITE SHADOWS

EXISTING SITE SHADOWS



1

Site Shadows - June 21 @ 3pm
Scale: 1:200



2

Elevational shadow diagram - June 21 @ 3pm
Scale: 1:200

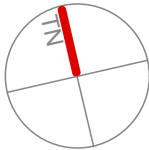


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REVISION DATE REVISION NOTE



CLIENT:
Colin & Emily Panagakis

PROJECT:
15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561

DRAWING:
Site Shadows - June 21 @ 3pm

PROJECT NO:
PAN 0518

ISSUE TYPE:
DA1

DRAWN:
PV

CHKD:

ISSUE DATE:
11/3/19

SHEET NO:
A15

SCALE @ A2:
1:200

REVISION:

WINDOWS SCHEDULE

ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	Comments
W01	awning	600 mm	3000 mm	1.8 m2		2600	
W02	awning	600 mm	3000 mm	1.8 m2		2600	
W03	awning	2700 mm	1880 mm	5.076 m2		2700	
W04	louvre	2700 mm	900 mm	2.43 m2		2700	
W05	fixed	2700 mm	1790 mm	4.833 m2		2700	
W06	awning	2700 mm	2650 mm	7.155 m2		2700	
W07	louvre	2700 mm	1000 mm	2.7 m2		2700	
W08	fixed	2700 mm	1020 mm	2.754 m2		2700	
W08	fixed	2700 mm	1020 mm	2.754 m2		2700	
W09	awning	2400 mm	900 mm	2.16 m2		2400	
W10	awning	1950 mm	900 mm	1.755 m2		2400	
W11	louvre	1950 mm	900 mm	1.755 m2		2400	
W12	louvre	2100 mm	2770 mm	5.817 m2		2700	
W13	awning	1950 mm	900 mm	1.755 m2		2400	
W14	louvre	1950 mm	900 mm	1.755 m2		2400	
W15	awning	1950 mm	2000 mm	3.9 m2		2400	

DOORS SCHEDULE

ID	Type	Opening Height	Opening Width	Unit Area	Glazing Type	Head (nom.)	No. Doors	Comments
D01	garage	2400 mm	6530 mm	15.672 m2	Solid	2400	1	Solid garage door as selected
D02	entry door	3000 mm	2320 mm	6.96 m2		3000		Solid entry pivot door as selected with 600mm side light
D03	sliding	2700 mm	8300 mm	22.41 m2		2700		Stacking sliding
D04	solid door	2400 mm	1540 mm	3.696 m2		2400		Solid door with side light
D05	sliding	2700 mm	8380 mm	22.626 m2		2700		Stacking sliding
D06	sliding	2700 mm	2670 mm	7.209 m2		2700		Stacking sliding
D07	sliding	2700 mm	4600 mm	12.42 m2		2700		Stacking sliding
D08	sliding	2700 mm	4040 mm	10.908 m2		2700		Stacking sliding
D09	sliding	2700 mm	3850 mm	10.395 m2		2700		Stacking sliding

Glazing Doors/Windows

Aluminium framed performance glazing:
U-value: 5.20 (equal to or lower than) SHGC: 0.49 (±10%)
Given values are AFRC total window system values (glass and frame)
Note: Openability modelled as per BASIX Thermal Protocol – 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regards to restricted openings

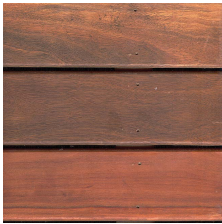
Skylights

Double glazed with timber or aluminium frame
R1.5 insulation to skylight shaft

NOTES


1. All external glazing units to have powder coated aluminium frames as selected. Owner to give final approval to external glazing units before ordering.
2. All glazing to comply with U-Value and SHGC as specified in the Thermal report, and Part 3.6 of the current BCA.
3. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units. Contact Cadence & Co Design if dimensions conflict.
4. Refer to Elevations for fixed/openable sashes.
5. Provide approved matching insect screens to opening window and door sashes.
6. Internal door sixes generally as noted on plan, to be painted flush solid core doors unless noted otherwise.
7. Provide Brio (or similar) retractable screens to all glazed external sliding doors. Owner to confirm
8. The highest Bushfire Attack Level to the proposed dwelling was determined from Table 2.4.2 of AS3959 – 2009 to be 'BAL 12.5'. The proposed dwelling is required to comply with section 3 and BAL 12.5 section 5 under AS 3959 – 2009 and Addendum Appendix 3 under PBP 2006.

EXTERNAL FINISHES SCHEDULE



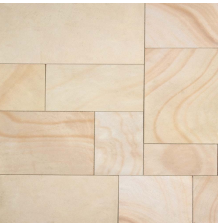
TIMBER WEATHERBOARD CLADDING

HARDWOOD CLADDING




PAINTED RENDER

PAINTED WARM GREY




SANDSTONE FACING

SANDSTONE FACING




ALUMINIUM WINDOW AND EXTERNAL DOOR FRAMES

DARK GREY / CHARCOAL



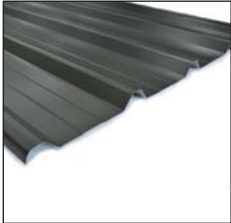
EXTERNAL WOODWORK / FASCIA'S & GUTTERS

DARK GREY / CHARCOAL



DECKING

HARDWOOD AS SELECTED




STEEL ROOF SHEETING - 'KLIPILOK' or similar

eg. MONUMENT


NOTE:
All colour selections shall be sampled and swatch tested on subject surface prior to final application.


Colours represented on this schedule do NOT necessarily reflect true colours.



Certificate no.: 0003691864-01
Assessor Name: Tracey Cools
Accreditation no.: VIC/BDAN/12/1473
Certificate date: 15 Mar 2019
Dwelling Address: Tutus Street
Balgowlah Heights, NSW 2093
www.nathers.gov.au

69.1 MJ/m²





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DA SUBMISSION ONLY - NOT FOR CONSTRUCTION

REVISION DATE REVISION NOTE

CLIENT:
Colin & Emily Panagakis

PROJECT:
15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561

DRAWING:
External Window & Door Schedule

PROJECT NO:
PAN 0518

ISSUE TYPE:
DA1

DRAWN:
DV

CHKD:

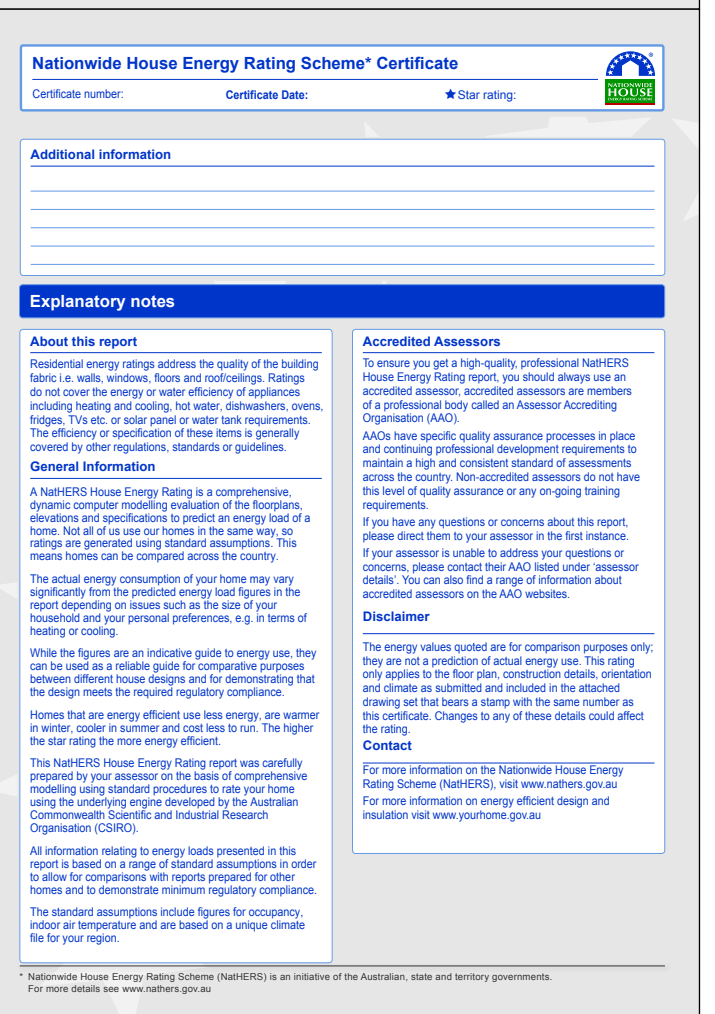
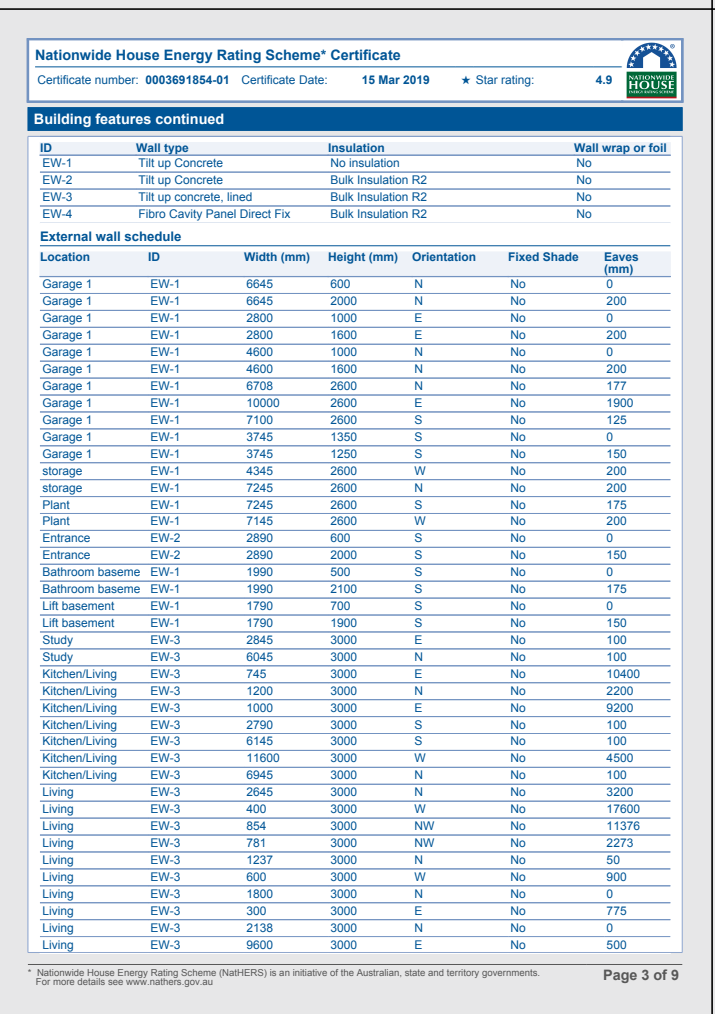
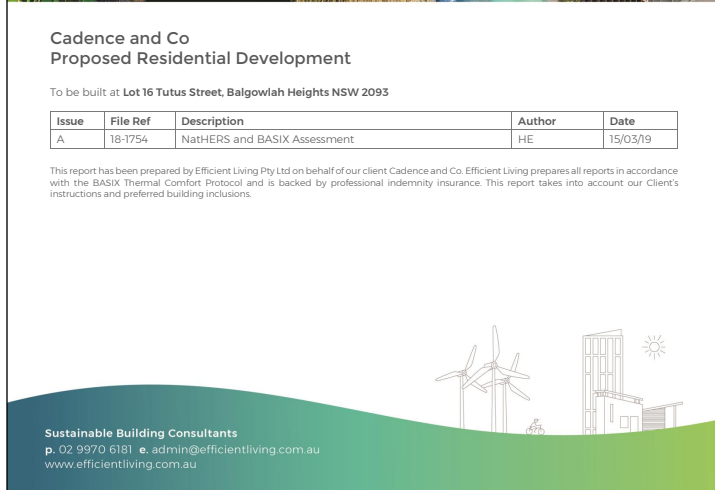
ISSUE DATE:
11/3/19

SHEET NO:
A17

SCALE @ A2:
1:100

REVISION:

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



Single Dwelling

Certificate number: 994011S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 18 March 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	15 Tutus Street, Balgowlah Heights	
Street address	15 Tutus Street Balgowlah Heights 2093	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 16	
Lot no.	9561	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 43	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 53	Target 50

Certificate Prepared by	
Name / Company Name: Efficient Living Pty Ltd	
ABN (if applicable): 82116346082	

Description of project

Project address		Assessor details and thermal loads	
Project name	15 Tutus Street, Balgowlah Heights	Assessor number	BDAV12/1473
Street address	15 Tutus Street Balgowlah Heights 2093	Certificate number	0003691854
Local Government Area	Northern Beaches Council	Climate zone	56
Plan type and plan number	Deposited Plan 16	Area adjusted cooling load (MJ/m²·year)	26
Lot no.	9561	Area adjusted heating load (MJ/m²·year)	43
Section no.	-	Project score	
Project type		Water	✓ 43 Target 40
Project type	separate dwelling house	Thermal Comfort	✓ Pass Target Pass
No. of bedrooms	4	Energy	✓ 53 Target 50
Site details			
Site area (m²)	1022		
Roof area (m²)	246		
Conditioned floor area (m2)	386.8		
Unconditioned floor area (m2)	46.6		
Total area of garden and lawn (m2)	344		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 10000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 240 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
• a tap that is located within 10 metres of the swimming pool in the development		✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 56 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must be outdoors.	✓	✓	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below:	✓	✓	✓
Floor and wall construction			
floor - concrete slab on ground		36.0 square metres	
floor - suspended floor/open subfloor		27.0 square metres	
floor - suspended floor above garage		All or part of floor area	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed flued heater; Energy rating: 4 Star		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 4 of the bedrooms / study;		✓	✓
• at least 2 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
• all hallways;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



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REVISED DA - 14/6/19

REVISION	DATE	REVISION NOTE
A	14/6/19	ALL DA AMENDMENTS AS NOTED RED ON THE DRAWINGS

CLIENT:
Colin & Emily Panagakis

PROJECT:
**15 Tutus St, Balgowlah Heights
Being LOT 16 in D.P. 9561**

DRAWING:
Perspective Views

PROJECT NO:	ISSUE TYPE:
PAN 0518	DA2

DRAWN: DV	SHEET NO: A20
CHKD:	SCALE @ A2:
ISSUE DATE: 14/6/19	REVISION: A

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.





Plumeria rubra Tristaniopsis laurina 'Luscious' Banksia integrifolia Howea forsteriana Syzygium 'Cascade' Zamia furfuracea Echium candicans

Hibiscus tiliaceus 'Rubra' Dietes robinsoniana Westringia 'Smokey' Westringia 'Blue Gem' Pennisetum 'Nafray' Correa alba Lomandra 'Tanika'

Livistona australis Arthropodium cirratum Brachyscome multifida Senecio mandraliscae Viola hederacea Casuarina 'Cousin It' Pandorea jasminoides



SITE NOTES:

SITE PREPERATION

Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution or landscape works. In particular, root systems of existing plants must not be disturbed. Any nearby site works should be carried out carefully using hand tools. Trees shall not be removed or lopped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refuelling, site office and sheds shall not occur within three (3) metres of any existing or new trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials within the drip line of existing or new trees.

SERVICE

Services and utilities shown have been located by physical evidence and/or by reference to surveys provided. Pits may not have been opened to verify the type of utility. Excavation has not been carried out to confirm underground location. Service details should be confirmed with the relevant service authority during design and prior to commencement of construction.

SOIL PREPERATION

All proposed planting areas to be deep ripped to 300mm. Clay soils to be combined with 50-100mm of A.N.L 'Organic Clay Breaker'. 75mm depth of A.N.L 'Organic Garden Mix' to be imported and combined with 25mm depth of A.N.L 'Greenlife' compost or approved equivalent. Care to be taken to hand cultivate in any area where existing tree roots exist to preserve health of trees.

NEW PLANTINGS

Newly planted advanced trees are to be secured with 3 @ 1.8mm x 22mm x 22mm hardwood stakes with hessian ties to prevent excessive movement. Planting holes for plants are to be large enough to take the root ball with additional space for back fill with soil prepared as

MULCHING

All planting areas, unless otherwise specified to me mulched with A.N.L 'Droughtmaster' to 50mm deep with catchment dish to be left around base of plants.

FERTILISER

On completion of work all planting areas are to be fertilised with 'Osmocote Pro (8-9mo) Controlled Release Fertiliser' which is to be sufficiently watered in.

GARDEN EDGING

All planter beds adjacent to lawn areas to have flush 3mm corten steel.

IRRIGATION

By others

Plants require hand watering until established, in addition to irrigation

PAVING

All paving to be selected by client.

All paving to be laid to maufacturers recommendations. All paving adjacent to house to have a minimum fall of 1:100 directed away from residence. Sealing of all paving should be a consideration with the supplier. This is to be sought by client.

DRAINAGE

To intercept rainwater at the bottom of the fall, install a grated surface drain at the edge of the paving. If draining a large area or you are likely to get a lot of silt in the runoff captured by the drain, install a sump or clean-out section between the drain and the stormwater pipe to collect soil and sand. Clean it out periodically.

POOL ENCLOSURE

Pool fencing material to comply Australian Standards for Pool enclosure requirements regarding height and gate fixtures. AS1926

TURF

Turf to be as specified. Turf to be laid on 50mm topsoil over 200mm deep rotary hoed prepared area. Turf areas to be evenly graded. Adequate drainage to be provided under lawn area.

Weed Control

Identify weed species and eradicate as per best horticultural practice. On going maintenance plan to be discussed with client.

RETAINING WALLS

All retaining walls over 600mm to be to constructed to Engineers specifications.

HARD CONSTRUCTION

All civil, structural and hydraulic work associated with this project shall be to consulting Engineers details. All external stairs to be constructed in accordance with Clause D2.13 of the Building Code of Australia.

PLANTING

Unless supplied, installed and maintained by **Sticks & Stones Landscape Design** takes no responsibility taken for the vigour, condition or life span of any plant material.

EXTRAS

80mm DIA conduit required under all paving and paths for cable access.

TREE REMOVAL

Where trees are recommended for removal, client should seek council approval to do so.

1

DETAIL DRAWINGS



Stake all trees with 3x hardwood stakes. Tie trees immediately after planting with hessian ties, secured with staples to hardwood stakes

75mm Specified mulch. Form saucer with a continuous rim for water collection. Keep mulch away from base of trunk

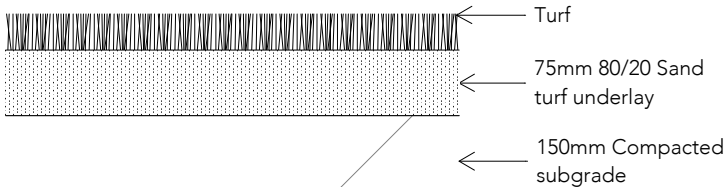
Backfill hole with 50% existing site soil & 50% premium garden mix

Extend stakes into undisturbed soil

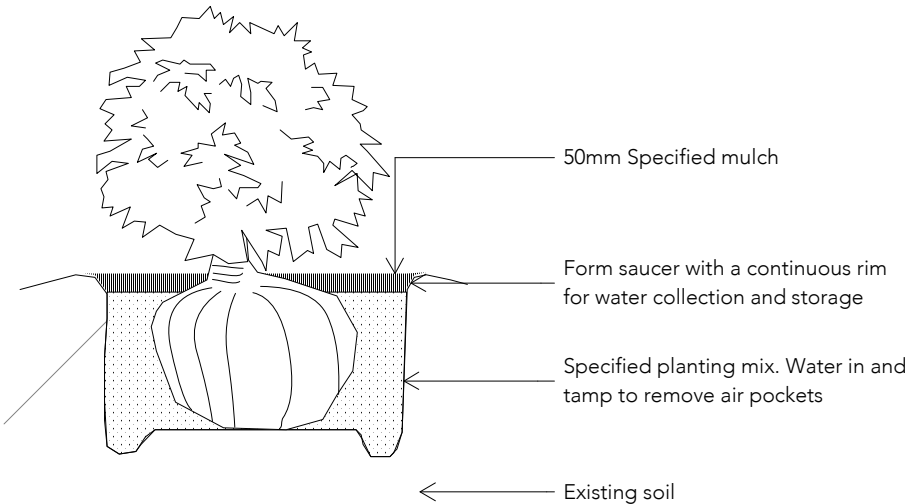
Existing soil

NOTE: Planting hole must be minimum 2.5 times rootball size. Apply 'Osmocote' or equivalent to manufacturers specifications

Tree planting/staking detail
NTS



Turf detail
NTS



Shrub planting detail
NTS

NOTES:

1. Do not scale from drawings
2. Verify all measurements on site
3. Notify S&S of any inconsistencies
4. Copyright © Sticks & Stones Landscape Design. All rights reserved
5. Drawing remains the property of Sticks & Stones Landscape Design
6. All works to comply with relevant Australian Standards and Building Code of Australia
7. All work to be performed by suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

DRAWING NAME

DETAIL DRAWINGS

CLIENT

Colin & Emily Panagakis

ADDRESS

15 Tutus Street, Balgowlah Heights

REF#

A

SCALE

NTS

PROJECT NO.

0683

DRAWING NO.

F103

REV #

DATE DRAWN

01.03.2019

DRAWN BY

KR

CHECKED BY

JL